

**TOWN OF OCEAN RIDGE
PLANNING & ZONING REGULAR MEETING
AGENDA**



**April 16, 2024 at 9:00 AM
Town Hall - Meeting Chambers**

COMMISSIONERS

Chair Ric Carey
Vice Chair P. Shields Ferber
Member Ferenc Stephen Varga
Member Sydney M. Ray
Alt. Member Marc de Baptiste
Alt. Member Roger Brinner

ADMINISTRATION

Town Manager Lynne Ladner
Town Attorney Christy Goddeau
Town Clerk Kelly Avery
Town Planner Corey O'Gorman
Town Engineer Tara Bamber
Town Zoning Official Manual Palacios

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT – (3-minute individual limit)

APPROVAL OF MINUTES

1. Adopt Minutes of the March 26, 2024 Meeting

DISCUSSION / ACTION ITEMS

2. Quasi-Judicial Hearing: Development Plan Review for 3 Hudson Ave.

COMMISSIONER COMMENTS

This item is reserved for any Commissioner Comments that are not related to any item printed on the agenda.

ADJOURNMENT

**THE NEXT MEETING OF THE PLANNING & ZONING COMMISSION WILL BE
HELD ON TUESDAY, MAY 21, 2024, AT 9:00 AM AT TOWN HALL.**

The Town of Ocean Ridge is holding all meetings in-person, with an additional option of listening to the audio live. Any person wishing to listen to the audio live can access the feed on the date and time of the meeting by dialing +1 (571) 317-3122 and using 471-955-997 as the access code. You can join from your computer, tablet or smartphone.
<https://meet.goto.com/471955997>

If a person decides to appeal any decision made by the Planning & Zoning Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons who need an accommodation in order to attend or participate in this meeting should contact the Town Clerk at 561-732-2635 at least 5 days prior to the meeting in order to request such assistance. Please take notice that one or more Town Commissioners may be present at any board or commission meeting of the Town of Ocean Ridge.

Notice: The public may view the hard copy of the meeting materials at Town Hall before the meeting.

PLANNING & ZONING COMMISSION MEETING MINUTES
MARCH 26, 2024

Meeting Minutes of the Planning and Zoning Commission of the Town of Ocean Ridge held on Tuesday, March 26, 2024, in the Town Hall Meeting Chambers.

CALL TO ORDER

The meeting was called to order at 9:06 a.m. by Chair Carey.

ROLL CALL

Town Clerk Avery led the roll call, which was answered by the following:

Chair Ric Carey	Present
Vice Chair P. Shields Ferber	Present
Member Sydney Ray	Absent
Member Ferenc Stephen Varga	Absent
Alternate Member Marc de Baptiste	Present
Alternate Member Roger Brinner	Absent

Members Ray, Varga, and Brinner were absent with notice.

PLEDGE OF ALLEGIANCE

Chair Carey led the Pledge of Allegiance.

PUBLIC COMMENT

Chair Carey opened the floor for public comment. Hearing none, he closed the floor for public comment.

APPROVAL OF MINUTES

1. Approval of the Meeting Minutes of the February 20, 2024, Regular Meeting

Member de Baptiste moved to adopt the minutes of February 20, 2024; seconded by Member Ferber. Motion carried 3-0.

DISCUSSION/ ACTION ITEMS

2. Quasi-Judicial Hearing: Development Plan Review for 69 Spanish River Dr.

Chair Carey explained that this was a quasi-judicial hearing and asked if any board members had any ex-parte communications with the applicant, owner, or builder. All Planning and Zoning Commissioners informed that they had none. Town Clerk Avery swore in those who wished to give testimony.

Town Planner O’Gorman gave his report and recommended approval of the project with conditions that were noted in the staff report. Chair Carey asked if the applicant’s calculations and footprint were correct, and Town Planner O’Gorman answered his question.

Architect Richard Bremer, Jr. presented the new proposed project. He identified the garage, pool,

PLANNING & ZONING COMMISSION MEETING MINUTES
MARCH 26, 2024

renderings, elevations, porch, balcony, and style of the home. He also provided more details about adding windows to the walk-in closet and garage.

The board asked questions regarding the façade of the house and windows. Mr. Bremer Jr. answered their questions.

Town Clerk Avery swore in Town Engineer Tara Bamber who wished to give testimony. The board asked Town Engineer Bamber questions regarding swale requirements, exfiltration trench, and adding additional piping for discharge through the intercoastal. Town Engineer Bamber answered their questions.

A brief discussion ensued regarding ensuring that drainage is a topic for discussion at the workshop.

Town Clerk Avery swore in Zoning Official Manny Palacios who wished to give testimony. Chair Carey asked Zoning Official Manny Palacios and the applicant if the data calculations changed since the prior meeting, and they both responded no.

Chair Carey opened the floor for public comment. Hearing none, he closed the floor for public comment.

Member Feber moved to approve the Development Plan Review for 69 Spanish River with staff comments; seconded by Member de Baptiste. Motion carried 3-0.

COMMISSIONER COMMENTS

Member Ferber said that more discussion was needed regarding construction rights. Member de Baptiste mentioned that screening of a/c units should also be discussed. Town Attorney Goddeau recommends that screening of a/c units be discussed at the workshop for direction from the Town Commission to work on an amendment.

Chair Carey spoke about massing issues throughout the Town. More discussion followed regarding flood elevation.

Chair Carey announced that next month is his last month serving as a commissioner. He also mentioned that Shields will be a strong Chair in his absence.

More discussion followed regarding finding replacements for open positions.

Chair Carey and Member Ferber both announced that they would not be able to attend the workshop.

Further discussion ensued about the landscape code needing to be updated, off-street parking, and multiple cars parking on Island Drive overnight.

PLANNING & ZONING COMMISSION MEETING MINUTES
MARCH 26, 2024

ADJOURNMENT

Meeting adjourned at 10:06 a.m.

Minutes prepared by Deputy Town Clerk Pinder and adopted by the Planning & Zoning Commission on April 16, 2024.

Ric Carey, Chair

Attest:

Kelly Avery, Town Clerk

DRAFT

Town of Ocean Ridge, Florida
Planning & Zoning Board Agenda Memorandum

To: Planning & Zoning Board Members
From: Corey O’Gorman, Town Planner
Meeting Date: April 16, 2024
Subject: 3 Hudson Avenue – Development Plan Review

1. PETITION DESCRIPTION

APPLICANT: Steve Petrucci
OWNER: 3 Hudson Avenue LLC
ADDRESS: 3 Hudson Avenue, Ocean Ridge, Florida 33434

ZONING DISTRICT: RSF

REQUEST: The applicant is requesting Development Plan Review approval in accordance with Town Code Land Development Code including Chapter 63 General and Administrative Provisions, Section 63-56 for Development Plan Review and Chapter 64 Zoning, including Section 64-1, RSF, Single-Family Residential.

2. BACKGROUND

The applicant submitted a Land Development Action Application, plans and supporting documents to the Town on February 23, 2024. Town staff reviewed the application documents and made comments which were forwarded to the applicant and revisions submitted to the Town on March 13, 2024. The plans submitted comply with Town Codes subject to conditions outlined in the attached staff memorandum and subject to review by the Planning & Zoning Board for compliance with Section 63-56 for Development Plan Review.

3. BOARD ACTION.

Development Plan Review is subject to the requirements of Town Code Section 63-56 which includes the following:

- (1) *The planning and zoning commission shall use the review criteria as set forth herein when reviewing site plans.*
 - a. *Relationship of building to site:*

1. The site should be planned to accomplish a desirable transition with the streetscape. The overall balance and proportion of the proposed building will be considered.
 2. The height and scale of each building should be compatible with its site and other buildings onsite
- b. *Relationship of building and site to adjoining area(s):*
1. Buildings should be designed to enhance the surrounding neighborhood.
 2. Harmony in architectural style, form, texture, mass and lines, as well as materials, colors, and use of architectural elements should be provided in the design of all buildings.
 3. Buildings should be consistent with the established neighborhood character or within acknowledged architectural styles.
 4. The height and scale of the proposed structure(s) should be compatible with the surrounding neighborhood
- c. *Building design:*
1. Evaluation of a project should be based on quality of its design and relationship to surroundings.
 2. Components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another.
 3. Colors should be harmonious and representative of the architectural style of the building and generally within the character of the neighborhood.
 4. Design attention should be given to mechanical equipment or other utility hardware on roofs, buildings and at grade so as to screen them from off-site view.
 5. Buildings should be of a size as to be in harmony with permanent neighboring development or within acknowledged architectural styles.
 6. Use of any/all of the above preferred design elements in conjunction with the renovation or addition to existing homes is encouraged, along with the removal of any existing elements that are not preferred.
 7. The architectural style and elements of proposed additions and renovations shall be consistent with the other portions of the building.
 8. All proposed structures shall be consistent with the town's land development regulations and the goals, objectives and policies of the comprehensive plan

In addition to the above, pursuant to 63-56(3), the planning and zoning commission shall approve, deny, approve with conditions, or request additional information in order to make a determination that the proposal is compliant with the above criteria.

4. STAFF RECOMMENDATION

Town Staff recommends that the Planning & Zoning Board approve the application subject to the conditions from the Town Staff and review of the project in accordance with Section 63-56 as noted above.

PLAN REVIEW REPORT
3 Hudson Avenue
March 04, 2024
REVIEW OF REVISIONS – March 19, 2024

This Development Plan Review Report is for a new two-story single-family residence proposed on an existing vacant lot at Hudson Avenue. The proposal includes five (5) bedrooms, five (5) full baths, two (2) half-baths, a three-car garage and swimming pool, and outdoors living area. This review references site and architectural plans prepared by Opus Homes Design + Engineering and Specialty Engineering Consultant dated 02/12/24, (revision 1 dated 03/13/24) survey prepared by Landtec Surveying dated 10/31/23, civil plans prepared by EnviroDesign Associates dated 02/23/24, and landscape plans prepared by PLA Design Studio dated 02/22/24.

PCN: 46-43-45-27-07-006-0040
FLU: Single-Family
Zoning: RSF

The following review is based the checklist for development plan review, requirements of the Town of Ocean Ridge RSF Zoning District in Chapter 64, Article I, Section 64-1 and related sections of Article III Supplemental Regulations of the Code of Ordinances in relationship to the subject plans. **This review is based on the revisions submitted to the Town on March 13, 2024. All comments have been addressed as noted below and report recommends approval of the subject application.**

Section 64-1(e) Background: This code section was amended by Ordinance 2022-09 and requires window and door coverage of a minimum of 15% to all elevations of the building.

~~Comment: Sheet P-4 includes window calculation for the north elevation and an 8 x 16 diagram for wall articulation requirements, but does not include calculations or diagram for the south, east, and west elevations. Please revise sheets P-4 and P-5 to show the window calculation and the 8x16 diagram on all facades of the building to comply with this requirement. Comment addressed.~~

Section. 66-142 (C) Background: Artificial turf/synthetic grass is permitted in rear and side yards not to exceed 25% of the total lot area of the rear and side yards.

~~Comment: Sheet L-2 shows proposed artificial turf in the rear and sides of the property but does not provide a calculation. Please provide calculation for the proposed artificial turf. Comment addressed.~~

Section 64-1(j)(6)

Background: This code section specifies that the maximum floor area ratio is 36% of the lot area for properties in the RSF zoning district.

~~Comment: The data tabulation on SP 1 and SP 2 show a total FAR is 36.3%. In addition, data tabulations shows the lot area of 17,236 square feet and a total square footage for FAR calculation of 6288 which is 36.48% of the lot area which exceeds the maximum allowable. Based on a total lot area of 17,236 the maximum floor area is 6,204.96 square feet. Please revise accordingly and provide the total floor area to comply with this section of the code. Comment addressed.~~

Section 64-46

Background: This code section requires parking for single-family based on one (1) space per bedroom or room that would qualify as a bedroom and a minimum of two (2) fully-enclosed garage spaces measured at 10 x 20, and 9 x 18 for all exterior spaces.

~~Comment: This home includes five (5) bedrooms, thus requiring two (2) garage spaces dimensioned (10 x 20) and three (3) exterior spaces (measured at 9 x 18). Although there appear to be sufficient spaces to comply with the code, they are not dimensioned. Please revise site plan Sheet SP 1 show to include all required spaces fully dimensioned. Comment addressed.~~

March 18, 2024

To: Kelly Avery, Town Clerk

From: Tara Bamber, PE 

**Re: 3 Hudson Ave
Development Plan Review
Engenuity Group Project No. 00020.10**

We have reviewed the following which were received through email on 3-13-24:

1. Civil Plans, 5 sheets, revised 3-12-24, by EnviroDesign Associates, Inc.
2. Landscape Plans, 4 sheets (L-1-L-4), revised 3-13-24, by PLA Design Studio.
3. Architectural Plans, 8 Sheets (CVR, SP-1, SP-2, P-1-P-5), revised 3-13-24, by Opus Homes.
4. Hardscape Plan, 1 sheet, revised 3-13-24, by PLA Design Studio.
5. TOR Data Calcs, 1 sheet.

The following comments will need to be addressed during Building Permit phase:

1. Provide revised Grading & Drainage Plan with 2 basins.
2. Provide geotechnical report indicating the site specific "k" value.
3. Indicate material to be used on all walkways.
4. Review the Hudson Ave. SFWMD permit and match the permitted swale in the RW.
5. Pre-Construction approval shall be provided from the City of Boynton Beach for the existing/proposed water service.
6. Approval from Palm Beach County Health Department will be required at time of building permit.
7. Additional comments may be asked at time of building permit.

If you should have any questions, please do not hesitate to contact me.

**Cc: Lisa Tropepe, PE
Lynne Ladner**



TOWN OF OCEAN RIDGE

6450 North Ocean Boulevard, Ocean Ridge, Florida 33435
(561) 732-2635 Main ♦ (561) 737-8359 Fax
oceanridgeflorida.com ♦ permit@oceanridgeflorida.com

Land Development Action Application

All information must be printed legibly or typed. Please contact the Building Clerk and/or Town Clerk at 561-732-2635 or via email LBurns@oceanridgeflorida.com and/or KArmstrong@oceanridgeflorida.com to schedule a meeting to submit the application packages.

Check Applicable Approval Being Requested

- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> PRD Amendment |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Plat or Re-Plat |
| <input type="checkbox"/> Construction East of the CCCL | <input type="checkbox"/> Re-Zoning |
| <input type="checkbox"/> Development Plan Review | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Planned Residential Development (PRD) | <input type="checkbox"/> Special Exception |

This application is being submitted for the property located at:

Property Owner(s)	Applicant (if different than Owner)
Name(s):	Name:
Address:	Address:
Phone:	Phone:
Email:	Email:

The applicant(s) or authorized agent must be present for the public hearing in order for the Commission/Board to act upon their request. The applicant is encourage to invite to the meeting those associated in this proposed development.



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General Data

Project Name: _____

Project Location Address: _____

Exact Legal Description of Property: _____

Property Control No: 46-43-45-_____

Existing Zoning: _____

Proposed Zoning (if applicable to application): _____

Existing Land Use: _____

Proposed Land Use: _____

First Floor Living Elevation (For CCCL Application): _____

Total Site Area: _____ Sq. Ft.: _____ Acres: _____

Flood Zone Category: _____

Existing Comprehensive Plan Designation (if applicable to application): _____

Proposed Comprehensive Plan Designation (if applicable to application): _____

Is the site currently served by public water? Yes No

Is the site currently served by public sewer? Yes No

Existing Bedrooms: _____ Proposed Bedrooms: _____

Existing Bathrooms: _____ Proposed Bathrooms: _____

Residential: Total Number of Dwelling Units: _____ Density (Units per acre): _____

Commercial: Total Square Footage: _____ Number of Buildings: _____

Please provide the name and contact information or the following persons or firms involved in this proposed development, where applicable:

Authorized Agent (if different from Owner):	
Name:	N/A
Company Name:	
Address:	
Phone:	Email:
Developer:	
Name:	STEVE PETRUCCI
Company Name: BELLA HOMES	
Address: 901 GEORGE BUSH BLVD. DELRAY BEACH FL 33483	
Phone: (954) 709 0106	Email: STEVE@BELLAHOMES.US
Planner:	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	Email:
Architect: DESIGNER	
Name:	RICHARD BROWNER
Florida Registration No.: LA 009217	
Company Name: OPUS HOMES D+E — SPECIALTY ENG. & DESIGN	
Address: 455 NE 5 TH AVE D-332 DB. FL 33483	
Phone: (561) 577 8786	Email: RICHARD@OPUSHOMES.NET
Landscape Architect	
Name: Stephanie Portus	Florida Registration No.: LA6667215
Company Name: PLA Design Studio, PLLC	
Address: 2385 NW Executive Center Drive, Suite 240, Boca Raton, FL 33431	
Phone: 561-904-1556	Email: Steph@pladesignstudio.com
Engineer	
Name:	BRIAN BECKERS
Florida Registration No.: 42696	
Company Name: EMUIRO DESIGN ASSOCIATES INC.	
Address: 1855 SW 2ND STREET DB. FL 33445	
Phone: (561) 274-6500	Email:

I understand that any development permit issued by the Town of Ocean Ridge is contingent on the applicant meeting all requirements from the State of Florida, Palm Beach County, and the Town of Ocean Ridge and upon an actual building permit submittal and review by the Building, Zoning, and Engineering Officials of the Town of Ocean Ridge.

I certify that all of the foregoing information is accurate, and that if approved, all work will be done in compliance with all applicable laws regulating construction and zoning.

Applicant Signature

Stephen Petrocci
Printed Name of Applicant

Applicant is: Owner Lessee Agent

The foregoing instrument was acknowledged before me by means of physical presence or online notarization on this 13th day of Feb, 2024 who is personally known to me or has produced FLDL as identification and who did (or did not) take an oath.

Susan Ammons-Tate
Notary Signature (for Applicant)

Seal/Stamp

6-7-2025
Commission Expiration



Prepared by and return to:
Janitza Rodriguez
Firm Title Corporation
14201 West Sunrise Boulevard, Suite 203
Sunrise, FL 33323
(954) 686-7344
File Number: **2023-801**

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this **15th day of December, 2023** between **Eric B. Nelson, an un remarried widower**, whose post office address is **49 Everett Street, Concord, MA 01742**, grantor, and **3 HUDSON AVE, LLC, a Florida Limited Liability Company** whose post office address is **2001 West Cypress Creek Road, Suite 102B, Fort Lauderdale, FL 33309**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of **TEN AND NO/100 DOLLARS (\$10.00)** and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Palm Beach County, Florida** to-wit:

Lot 4, Block 6, Boynton Beach Park, according to the Plat thereof as recorded in Plat Book 12, Page 42, Public Records of Palm Beach County, Florida.

Parcel Number: 46-43-45-27-07-006-0040

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31st, 2023**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Beverly Hewle

Witness

Printed Name: BEVERLY HEWLE

P.O. Address: 354 Upham St., #8
Melrose, MA 02176

Witness

Printed Name: Bonnie S Block

P.O. Address: 16 Hillside Ave
Westford, MA 01886

Eric B. Nelson

Eric B. Nelson

State of Massachusetts
County of Middlesex

The foregoing instrument was acknowledged before me by means of physical presence, this 13th day of December, 2023 by Eric B. Nelson who has produced a driver's license as identification.

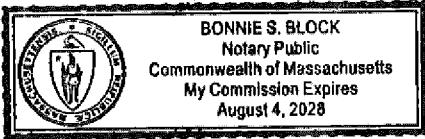
Bonnie S Block

Notary Public

Print Name: Bonnie S Block

My Commission Expires: Aug. 4, 2028

[Seal]



Property Detail

Location Address : HUDSON AVE
Municipality : OCEAN RIDGE
Parcel Control Number : 46-43-45-27-07-006-0040
Subdivision : BOYNTON BEACH PARK IN
Official Records Book/Page : 34740 / 878
Sale Date : DEC-2023
Legal Description : BOYNTON BEACH PARK LT 4 BLK 6

Owner Information

Owner(s)	Mailing Address
3 HUDSON AVE LLC	2001 W CYPRESS CREEK RD STE 102B FORT LAUDERDALE FL 33309 1865

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
DEC-2023	\$1,500,000	34740 / 00878	WARRANTY DEED	3 HUDSON AVE LLC
AUG-1997	\$105,000	09972 / 01938	WARRANTY DEED	NELSON ERIC B &
JAN-1972	\$8,500	02021 / 00986		

Exemption Information

No Exemption Information Available.

Property Information

Number of Units : 0
***Total Square Feet :** 0
Acres : 0.4087
Property Use Code : 0000—VACANT
Zoning : RSF—SINGLE FAMILY RESIDENTIAL (46-OCEAN RIDGE)

Appraisals

Tax Year	2023	2022	2021	2020	2019
Improvement Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$1,435,706	\$1,044,150	\$672,075	\$654,000	\$582,000
Total Market Value	\$1,435,706	\$1,044,150	\$672,075	\$654,000	\$582,000

Assessed and Taxable Values

Tax Year	2023	2022	2021	2020	2019
Assessed Value	\$813,211	\$739,283	\$672,075	\$619,785	\$563,441
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$813,211	\$739,283	\$672,075	\$619,785	\$563,441

Taxes

Tax Year	2023	2022	2021	2020	2019
AD VALOREM	\$18,951	\$15,945	\$13,046	\$12,283	\$11,202
NON AD VALOREM	\$0	\$0	\$0	\$0	\$0
TOTAL TAX	\$18,951	\$15,945	\$13,046	\$12,283	\$11,202

Dorothy Jacks, CFA, AAS PALM BEACH COUNTY PROPERTY APPRAISER www.pbcpao.gov



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DATA CALCULATIONS FOR NEW STRUCTURES (NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

SITE DATA CALCULATIONS FOR PROPERTY AT:			COLUMN FOR ZONING OFFICIAL USE ONLY	
*TOTAL SITE AREA	Sq. Ft.		Sq. Ft.	
BASE FLOOD ELEVATION (NAVD) (SOURCE THE FLOOD INSURANCE STUDY)				
FINISHED FLOOR ELEVATION (NAVD)				
			ZONING REVIEW	
			PROPOSED	
	Sq. Ft.	%	Sq. Ft.	%
FLOOR AREA RATIO				
LOT COVERAGE				
			ZONING REVIEW	
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft.	%	Sq. Ft.	%
FIRST FLOOR A/C				
SECOND FLOOR A/C				
TOTAL A/C				
GARAGE				
COVERED PATIO				
COVERED ENTRY				
COVERED BALCONY (REAR)				
COVERED BALCONY (FRONT)				
TOTAL UNDER ROOF				
OPEN BALCONY				
TOTAL FLOOR AREA				
BUILDING FOOTPRINT				
SEPTIC TANK & DRAINFIELD				
PAVED AREA				
TOTAL IMPERVIOUS				
TOTAL PERVIOUS				
			ZONING REVIEW	
			FEET	
BUILDING HEIGHT				
BUILDING SETBACKS:				
FRONT				
REAR				
SIDE INTERIOR				
SIDE CORNER				
WATERWAY				
DRIVEWAY				
PREPARED BY & DATE:				



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DATA CALCULATIONS FOR NEW STRUCTURES

(NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

APPLICANT FILL OUT: PROPERTY ADDRESS: <u>3 HUDSON</u>		ZONING DISTRICT: <u>RSP</u>	
	APPLICANT USE	ZONING OFFICIAL USE ONLY	
*TOTAL SITE AREA	Sq. Ft.	<u>17236</u>	Sq. Ft.
BASE FLOOD ELEVATION (NAVD) (SOURCE THE FLOOD INSURANCE STUDY)		<u>9.0 NAVD</u>	
FINISHED FLOOR ELEVATION (NAVD)		<u>10.0 NAVD</u>	
ZONING OFFICIAL USE ONLY	APPLICANT USE	ZONING REVIEW	
	PROPOSED	PROPOSED	
	Sq. Ft. %	Sq. Ft.	%
FLOOR AREA RATIO (MAXIMUM <u>36</u> %)		<u>6202</u>	<u>36.0</u>
LOT COVERAGE (MAXIMUM <u>35</u> %)		<u>4964</u>	<u>28.8</u>
ZONING OFFICIAL USE ONLY	APPLICANT USE	ZONING REVIEW	
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft. %	Sq. Ft.	%
✓ FIRST FLOOR A/C (_____)		<u>3,049</u>	<u>17.7</u>
✓ SECOND FLOOR A/C (_____)		<u>2,667</u>	<u>15.5</u>
✓ TOTAL A/C (_____)		<u>5,716</u>	<u>33.2</u>
✓ GARAGE (_____)		<u>852</u>	<u>04.9</u>
✓ COVERED PATIO (_____)		<u>847</u>	<u>04.9</u>
✓ COVERED ENTRY (_____)		<u>52</u>	<u>00.3</u>
COVERED BALCONY (REAR) (_____)		<u>533</u>	<u>03.1</u>
COVERED BALCONY (FRONT) (_____)		—	—
TOTAL UNDER ROOF (_____)		<u>7731</u>	<u>44.9</u>
OPEN BALCONY (_____)		<u>299</u>	<u>01.7</u>
TOTAL FLOOR AREA (_____)		<u>6668</u>	<u>38.7</u>
BUILDING FOOTPRINT (_____)		<u>6202</u>	<u>36.0</u>
SEPTIC TANK & DRAINFIELD (_____)		<u>246</u>	<u>04.9</u>
PAVED AREA (_____)		<u>5123</u>	<u>29.7</u>
SYNTHETIC TURF (_____)		—	—
TOTAL IMPERVIOUS (_____)		<u>11,325</u>	<u>65.7</u>
TOTAL PERVIOUS (_____)		<u>5911</u>	<u>34.3</u>
ZONING OFFICIAL USE ONLY	APPLICANT USE	ZONING REVIEW	
	FEET	FEET	
BUILDING HEIGHT (<u>36 MAX</u>)		<u>26' 3</u>	
BUILDING SETBACKS:			
FRONT (<u>25</u>) MIN		<u>25'</u>	
REAR (<u>15</u>)		<u>15'</u>	
SIDE INTERIOR (<u>15</u>) MIN		<u>15'</u>	
SIDE CORNER (<u>20</u>) MIN		—	
WATERWAY (<u>25</u>) MIN		—	
DRIVEWAY (<u>10</u>) MIN		<u>42'</u>	

Prepared By: MANNING Date: 4.4-24

MAX 75% 2ND FL OR 1ST FLOOR
 68.4 - 2667 — 3901

April 1st, 2024

Project description

Step 2, Section 63-56:

This project consists of a new two-story CMU residence that complies with the Town Design Standards Section 63-56.

We have designed this house with a Modern Farmhouse concept in mind.

The design of this house is harmonious and to scale with the property and the surrounding buildings, we have taken special attention to the volume of the house and created breaks to minimize the feeling of a massive block. The character and design are consistent throughout keeping the materials and style.

The site has been developed to create a natural flow for the residents to view and enjoy the outdoors and maintaining privacy. The driveway, pool deck and all the hardscape were designed to enhance the house design, walls and landscape was added to create areas of privacy and buffer equipment. The Landscape has been designed to comply with the design guidance and create a nice filter and accents through the houses well as buffering areas with equipment.

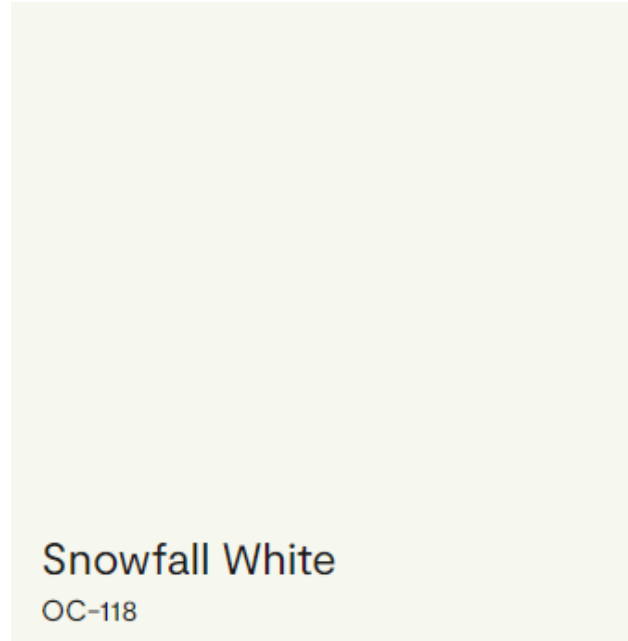
Please do not hesitate to contact us with any questions and or clarification.

Best Regards,

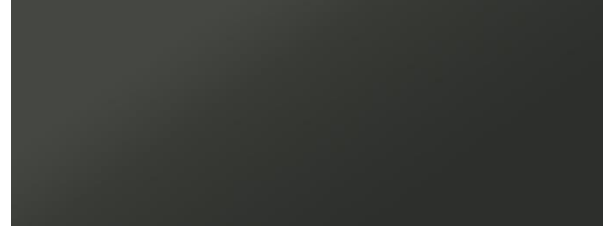
Richard Brummer
Opus Homes D & E, LLC.

3 Hudson Avenue

Walls



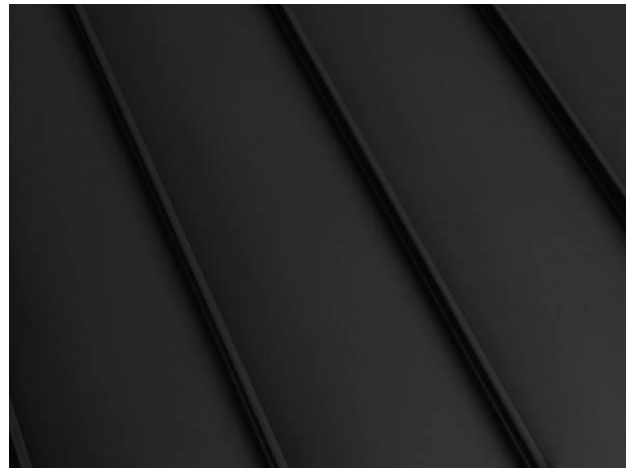
Windows Frame (Aluminum)



Window Glass



Roof



Stone Accent



Front Door

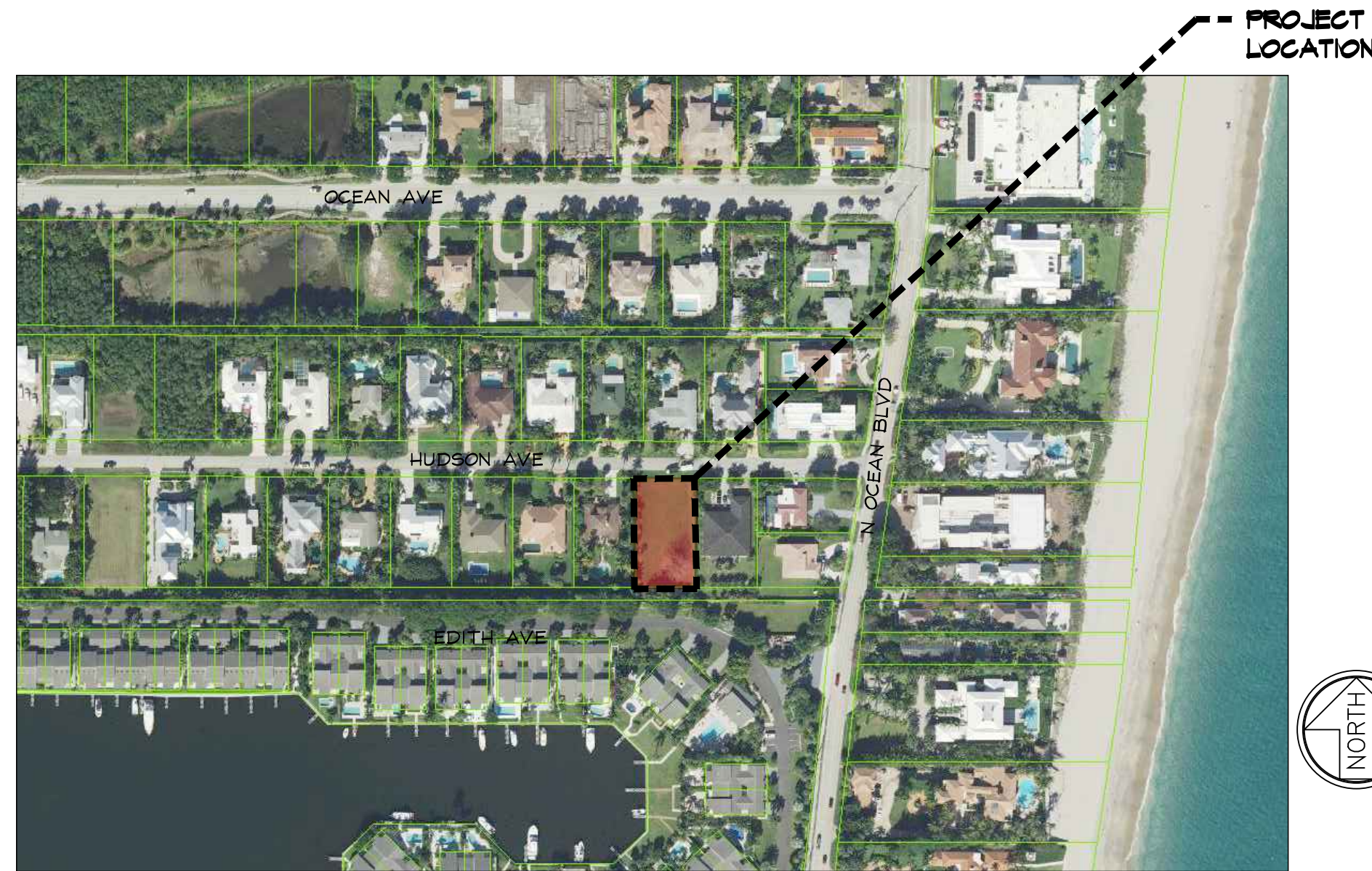


Garage Door (to match front door)

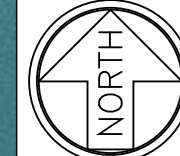


page 2

LOCATION MAP



PROJECT LOCATION



CODE RESEARCH

PROPOSED PROJECT:	TWO STORY SINGLE FAMILY-RESIDENTIAL GROUP R ADDITION
GOVERNING CODE:	FBC 2023 (8TH EDITION), FPFC 2007 EDITION, NFPA 1 UFC FLORIDA 2010 EDITION, NFPA 101 LSC FLORIDA 2010 EDITION
MAXIMUM ROOF HEIGHT:	33'-0" MAXIMUM ROOF HEIGHT FROM FINISH FLOOR
TYPE OF CONSTRUCTION:	TYPE III-B UNSPRINKLERED
BUILDING DESIGNED:	ENCLOSED
WIND SPEED:	170 MPH ULTIMATE WIND SPEED
EXPOSURE:	D
ZONING DISTRICT:	RSF TOWN OF OCEAN RIDGE
FLOOD ZONE:	ZONE AE 6.00' NAVD (PENDING FLOOD ELEV.=9.00' NAVD)
REQUIRED SETBACKS:	FRONT SETBACK = 25'-0" REAR SETBACK = 15'-0" SIDE STREET = N/A SIDE INTERIOR SETBACK = 15'-0"

GENERAL NOTES:

- CONSTRUCTION SHALL FOLLOW "F.B.C.2020 7TH EDITION" AS ADOPTED BY THE COUNTY AND AS APPLICABLE TO THE AREA IN WHICH THE BUILDING IS TO BE CONSTRUCTED WITH ALL APPLICABLE AMENDMENTS.
- BUILDER SHOULD COORDINATE ALL THE WORK OF ALL THE TRADES.
- BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE, PLANS, SPECIFICATIONS, ETC. PRIOR TO STARTING ANY WORK AND WITHIN SEVEN (7) CALENDAR DAYS OF BUILDER'S RECEIPT OF THESE PLANS SHALL NOTIFY ARCHITECT OF RECORD (IN WRITING ONLY) OF ANY DISCREPANCIES (WHETHER DISCREPANCIES ARE ERRORS OF COMMISSION OR OMISSION OR NOT). OTHERWISE ARCHITECT OF RECORD WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERRORS, AND THE BUILDER, SUBCONTRACTOR, SUPPLIER, ETC. SHALL ASSUME FULL RESPONSIBILITY FOR ANY ERRORS AND CORRECT ERRORS AT THEIR OWN EXPENSE.
- TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS AS DRAWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- SITE WORK: FILL UNDER ALL SLABS SHALL BE CLEAN SAND AND SHALL BE COMPACTED TO A MINIMUM OF 95% AND A MAXIMUM DENSITY AS PER ASTM D-1557, CONTRACTOR SHALL VERIFY UNDER COMPACTION. ALLOWABLE SOIL BEARING PRESSURE 2500 P.S.F. MIN.
- WOOD: ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH NO.2 OR BETTER. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED. SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ROOF TRUSSES BEARING THE SIGNATURE AND SEAL OF A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- DOORS AND WINDOWS: WINDOWS INDICATED WITH (E) MUST BE MANUFACTURED TO CONFORM WITH THE BUILDING CODE WITH RESPECT TO MINIMUM EMERGENCY EGRESS REQUIREMENTS. ALL SLIDING GLASS DOORS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS COMPLIANCE WITH FLORIDA STATE MODEL CODE SECTION 502.4. WINDOW AND DOOR MANUFACTURERS SHALL ALSO COORDINATE WITH BUILDER FIELD VERIFY ALL OPENING SIZES PRIOR TO FABRICATION.
- THE ARCHITECT OF RECORD RESERVES, MAINTAINS AND RETAINS ITS COMMON LAW COPYRIGHT RIGHTS AND ANY OTHER RIGHTS (EXPRESSED AND/IMPLIED) IN THESE PLANS, DESIGNS, IDEAS, SPECIFICATIONS, ETC. THESE PLANS, IDEAS, DESIGNS, ETC. ARE NOT TO BE REPRODUCED, COPIED, DUPLICATED, ETC. IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN PERMISSION FROM THE ARCHITECT OF RECORD NOR ARE THEY TO BE LOANED OR ASSIGNED TO ANY PERSONS, FIRMS, ASSOCIATIONS, CORPORATIONS, ETC. WITHOUT FIRST OBTAINING A WRITTEN PERMISSION FROM THE ARCHITECT OF RECORD, IN EACH AND EVERY INSTANCE.
- ANY CHANGES, REVISIONS, ALTERATIONS, ETC. REQUIRED TO THESE PLANS, DRAWINGS, SPECIFICATIONS, ETC. SHALL BE REQUESTED IN WRITING ONLY BY THE BUILDER OR BY THE OWNER TO THE ARCHITECT OF RECORD ANY CHANGES, REVISIONS, ALTERATIONS, DEVIATIONS, ETC. NOT MADE BY THE ARCHITECT OF RECORD (IN WRITING ONLY) WILL FULLY, UNCONDITIONALLY AND TOTALLY RELEASE THE ARCHITECT OF RECORD FROM ANY AND ALL RESPONSIBILITY, CLAIMS AGAINST THE ARCHITECT OF RECORD FOR CULPABILITY, ETC. FROM THE DATE SHOWN ON THE PLANS ORIGIN UNTIL THE END OF TIME.
- BUILDER SHALL PROVIDE INSULATION AS PER ENERGY CALCULATIONS AND/OR PLAN SPECIFICATIONS.
- ALL MATERIALS SHOWN OR CALLED FOR ON THESE DRAWINGS SHALL BE INSTALLED WITH MANUFACTURERS RECOMMEND AND SPECIFICATIONS.
- APPROVED MANUF. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY DETAILS AND SPECIFICATIONS FOUND IN THESE PLANS. DEVIATIONS FROM THESE PLANS, SPECIFICATIONS AND NOTES MUST CONFORM TO LOCAL BUILDING CODE REQUIREMENTS, AND MUST BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
- NO ONE SHALL ASSUME ANY DIMENSION BY DIRECTLY SCALING CONSTRUCTION DOCUMENTS OR ANY REPRODUCTIONS AND SAME. IF ANY ADDITIONAL DIMENSIONS ARE REQUIRED BY CONTRACTOR AND/OR RESIDENT, CONTACT THE ARCHITECT OF RECORD FOR VERIFICATION. THE ARCHITECT OF RECORD WILL NOT ASSUME ANY RESPONSIBILITY FOR ANY ERROR NOR WILL THEY CORRECT ANY ERROR AT THEIR EXPENSE.
- ALL WINDOWS USED AS EMERGENCY EGRESS OPENING TO COMPLY WITH F.B.C. 2020 7TH EDITION.
- ALL SHOWER ENCLOSURES AND DOORS TO HAVE TEMPERED GLASS.
- ALL SLIDING GLASS DOORS TO HAVE TEMPERED GLASS.
- GLAZING CONTRACTOR SHALL INSTALL ALL GLASS IN ACCORDANCE WITH F.B.C. 2010.
- ALL EXTERIOR FIXED GLASS (EXCEPT AT WINDOWS) AND ALL INTERIOR FIXED GLASS SHALL HAVE TEMPERED GLASS.
- ALL SHOWERS MUST BE EQUIPPED WITH ANTI-SCALE FAUCETS

ELECTRICAL NOTES:

- ALL FIXTURE AND OUTLET LOCATIONS SHALL BE VERIFIED AND COORDINATED WITH STRUCTURAL ELEMENTS.
- CONTRACTOR SHALL VERIFY W/ FPL LOCATION OF SERVICE. LOCATE METER, DISCONNECT & PANEL ACCORDINGLY.
- ALL ELECTRICAL WORK SHALL BE PERFORMED BASED ON THE N.E.C. AND ALL APPLICABLE CODES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER WITH "THW" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THW" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STANDARD.
- ALL RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND FAULT CIRCUIT INTERRUPTER.
- ALL CONVENIENCE OUTLETS TO BE OF GROUNDING TYPE.
- SMOKE DETECTORS SHALL BE INSTALLED ON THE CEILING AT BOTTOM OF STAIRS AND AT THE TOP LANDINGS.
- SMOKE DETECTORS TO BE POWERED BY HOUSE ELECTRICAL SERVICE WITH BATTERY BACK-UP VISIBLE "POWER-ON" INDICATOR AND A TEST BUTTON. ALL SMOKE DETECTORS TO BE INTERCONNECTED AND MUST SIGNAL SIMULTANEOUSLY WITH TEMPORAL SOUND.
- CONTRACTOR SHALL VERIFY WITH FPL THE LOCATIONS OF SERVICE AND SHALL LOCATE METER AND PANEL ACCORDINGLY.
- VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURER'S SPECIFICATIONS.
- PROVIDE G.F.I. OUTLETS IN GARAGE, AND LIGHTING FIXTURES WITHIN 5'-0" OF SWIMMING POOL EDGE.
- ALL BRANCH CIRCUITS SHALL BE IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
- ALL CONDUCTORS SHALL BE COPPER, UNLESS OTHERWISE NOTED. ALL CONDUCTORS #8 AND SMALLER SHALL HAVE T.W. INSULATION. CONDUCTORS LARGER THAN #8 SHALL HAVE T.H.W. INSULATION.
- INSTALL ELECTRICAL SWITCHES 48" A.F.F. UNLESS OTHERWISE NOTED.
- ALL RECEPTACLES SHALL BE INSTALLED 12" A.F.F. UNLESS OTHERWISE NOTED.
- CLOSET LIGHTING SHALL BE MIN. 18" CLEAR FROM EDGE OF SHELVES.

PLUMBING NOTES

- SANITARY LINES SHALL BE OF CAST IRON, OR PVC (SCHEDULE 40) AS APPROVED BY THE BUILDING OFFICIAL.
- WATER LINES SHALL BE COPPER (UNLESS NOTED OTHERWISE).
- CONDENSE LINES SHALL BE 3/4" Ø PVC (SCHEDULE 40), INSULATED WITH 1/2" AMAFLEX.
- HOT WATER LINES INSULATED WITH 1" AMAFLEX ABOVE.
- PROVIDE AIR CHAMBER WITH ALL WATER SUPPLIES.
- COPPER WATER LINES RUN UNDER SLAB SHALL BE PROTECTED BY MINIMUM OF 12" OF EARTH COVER, 1" AMAFLEX (HOT WATER ONLY) AND SLEEVED TO 12" ABOVE SLAB.
- PROVIDE CONDENSE DRIP PAN UNDERNEATH ELECTRIC WATER HEATERS. METAL PANS SHALL BE GALVANIZED AND RUSTPROOF. PROVIDE DRAIN LINE FROM DRIP PAN TO EXTERIOR OF BUILDING.
- SHOWER HEADS TO HAVE FLOW CONTROL DEVICE TO GIVE MAXIMUM FLOW OF (2 1/2) GALLONS PER MINUTE EACH.
- HOSE BIBS TO BE PROVIDED WITH BACK FLOW PREVENTER.
- ELECTRIC WATER HEATER SHALL HAVE A STAND BY LOSS NOT TO EXCEED 4.0 WATTS PER SQUARE FOOT TO TANK SERVICE AREA.
- PLUMBING FIXTURES, TRIM, ACCESSORIES, COLORS, ETC. SHALL BE SELECTED. (SEE BUILDER TO VERIFY)
- ALL POOL PLUMBING AND RELATED EQUIPMENT SHALL BE PROVIDED BY POOL SUBCONTRACTOR AND SHALL BE PERMITTED SEPARATELY. SEE POOL SUBCONTRACTOR'S ENGINEERED SHOP DRAWING. PLUMBING CONTRACTOR SHALL PROVIDE (2) TWO COPIES OF THE "AS-BUILT" PLUMBING RISER DIAGRAM TO THE ARCHITECT OF RECORD.
- THE PLUMBING SUBCONTRACTOR SHALL PROVIDE A HOSE BIB AT THE POOL EQUIPMENT LOCATION (VERIFY LOCATION WITH OWNER) AND SHALL LOCATE A POOL-FILL LINE WITH A VACUUM BREAKER. PLUMBING SUBCONTRACTOR SHALL COORDINATE WITH POOL SUBCONTRACTOR AND SHALL ALSO PROVIDE A LINE, TIED DIRECTLY FROM THE "FILL" LOCATION, UNDER POOL DECK (SLEEVED IN PVC PIPE) INTO TILE BAND AREA OF POOL AND COORDINATE SAME WITH SUBCONTRACTOR.
- ALL CLEAN OUTS UP TO GRADE.
- NO VENT STACKS SHALL PASS THROUGH ROOF CRICKETS OR VALLEYS.
- SIZE AND LOCATION OF CLEAN OUTS SHALL CONFORM TO ALL LOCAL BUILDING CODE.
- FIXTURE SUPPLY SIZES SHALL CONFORM TO ALL LOCAL BUILDING CODE.
- PLUMBER TO DIVERT ALL VENTS TO REAR ELEVATION.

GENERAL FLOOR PLAN NOTES:

- SEE FOUND. PLAN FOR SLAB STEPS & SLOPES & FOR COLUMNS, FILLED BLOCK CELLS, ETC.
- VERIFY ALL MASONRY & WD. FRAME OPENING SIZES TO FIT DOORS & WINDOWS BEFORE CONSTRUCTION - NOTIFY ARCHITECT IF A CONFLICT EXISTS.
- USE WATER-RESISTANT GYP. BOARD IN ALL BATHROOMS & OTHER WET AREAS.
- PROVIDE WOOD BACKING BEHIND CABINETS, SHELVES, BATH ACCESSORIES, ETC.
- ALL ATTIC SPACES ABOVE CEILING SHALL BE DIVIDED INTO HORIZONTAL AREAS NOT TO EXCEED 3,000 S.F. BY DRAFT STOPS. PROVIDE A 22"x36" (MIN) ATTIC ACCESS INTO EACH SPACE DIVIDED BY A DRAFT STOP. (SEE DTL SHEET)

DOOR / WINDOW NOTES

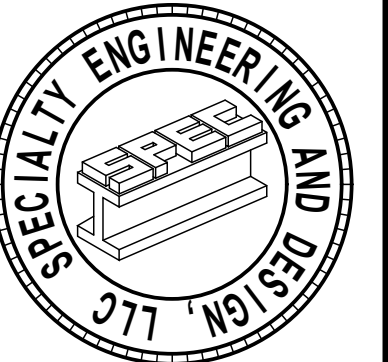
- SEE PLAN AND ELEVATIONS FOR HIGH GLASS SIZE AND LOCATIONS.
- ALL GLAZING SHALL COMPLY WITH CHAPTER 24 OF F.B.C. 2020 RES. 7TH EDITION.
- SEE DETAIL SHEETS FOR ANCHORAGE OF ALL DOOR JAMBS, HEADS AND SILLS. ALSO REFER TO DETAIL SHEET FOR ANCHORAGE OF GARAGE DOOR BUCKS.
- ALL WINDOWS AND GLASS IN EXT. DOOR TO BE IMPACT-RESISTANT GLASS.
- EGRESS WINDOWS SHALL COMPLY WITH SEC. 1005.4.2/F.B.C. 2020 RES. 7TH EDITION EACH EGRESS WINDOW SHALL PROVIDE A CLEAR OPENING NOT LESS THAN 20" IN WITH, 24" IN HEIGHT AND MIN. OF 5.7 S.F. IN AREA. BOTTOM EDGE OF SUCH OPENING SHALL NOT BE MORE THAN 44" AFF. AND NO PART OF THE OPERATING MECHANISM SHALL BE MORE THAN 54" AFF. THE MODE OF OPERATION SHALL NOT REQUIRE THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT.
- ALL GLASS SHOWER & TUB ENCLOSURES SHALL BE TEMPERED GLASS.
- EMERGENCY EGRESS DOOR - DO NOT SHUTTER.
- DOORS BETWEEN GARAGE & HOUSE MUST BE SOLID CORE 1 3/4" THICK W/ 2x4 SOLID RABBETED JAMB, OR A C-LABEL METAL DOOR & JAMB. DOORS TO HAVE AUTOMATIC CLOSER AS INDICATED IN DOOR SCHEDULE.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL WINDOW & DOOR SIZES/OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
- FOR ALL EXTERIOR DOORS/WINDOWS, PRODUCT APPROVAL IS REQUIRED. SUBMIT TO ARCHITECT OR ENGINEER FOR REVIEW AND TO BUILDING DEPT. FOR APPROVAL.
- GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATHTUB OR SHOWER ENCLOSURE SHALL BE SAFETY GLAZED WHERE LESS THAN 60" ABOVE FLOOR OF TUB OR SHOWER.
- ALL GLASS IN DOORS & ALL SLIDING GLASS DOORS TO BE TEMPERED GLASS.
- G.C. TO COORDINATE THRESHOLD FOR ALL DOORS ON MASONRY WALL.
- OPERABLE WINDOWS WITH MORE THAN ONE LOCKING POINT SHALL HAVE ONLY ONE POINT OF OPERATION.)

INDEX OF DRAWINGS

SHEET NO.	SHEET CONTENTS
CVR	COVER SHEET
SP-1	SITE PLAN
SP-2	SITE AREA PLAN
P-1	GROUND FLOOR PLAN
P-2	SECOND FLOOR PLAN
P-3	ROOF PLAN
P-4	BUILDING ELEVATIONS
P-5	BUILDING ELEVATIONS
P-6	PROPOSED RENDERINGS
P-7	PROPOSED RENDERINGS
P-8	PROPOSED STREETSCAPE
P-9	PROPERTY PICTURES



OPUS HOMES
design engineering
Richard@OpusHomes.net
Ph. 561.572.8986



SPECIALTY ENGINEERING AND DESIGN, LLC

1599 SW 30th AVE.
SUITE #1
BOYNTON BEACH, FL 33426

FL. CA #009217

561 - 752 - 5440

GARY McDUGGLE, PE FL #56214
D. MARK LABLANC, PE FL #35883
D. ADAM LABLANC, PE FL #77012

HUDSON SPEC

3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

M.E.P. ENGINEER

SPECIALTY ENGINEERING & DESIGN LLC
1599 SW 30TH AVENUE #1
BOYNTON BEACH, FL 33426
TELEPHONE: 561-752-5440

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

COVER SHEET

CVR

CLIENT

3 HUDSON AVE, LLC
2001 W CYPRESS CREEK RD
SUITE 102B
FORT LAUDERDALE FL 33309

DESIGNER

OPUS HOMES
DESIGN & ENGINEERING
7700 CONGRESS AVENUE
SUITE 1117
BOCA RATON, FL 33487
TELEPHONE: 561-706-7244

STRUCTURAL

SPECIALTY ENGINEERING & DESIGN LLC
1599 SW 30TH AVENUE #1
BOYNTON BEACH, FL 33426
TELEPHONE: 561-752-5440

LANDSCAPE

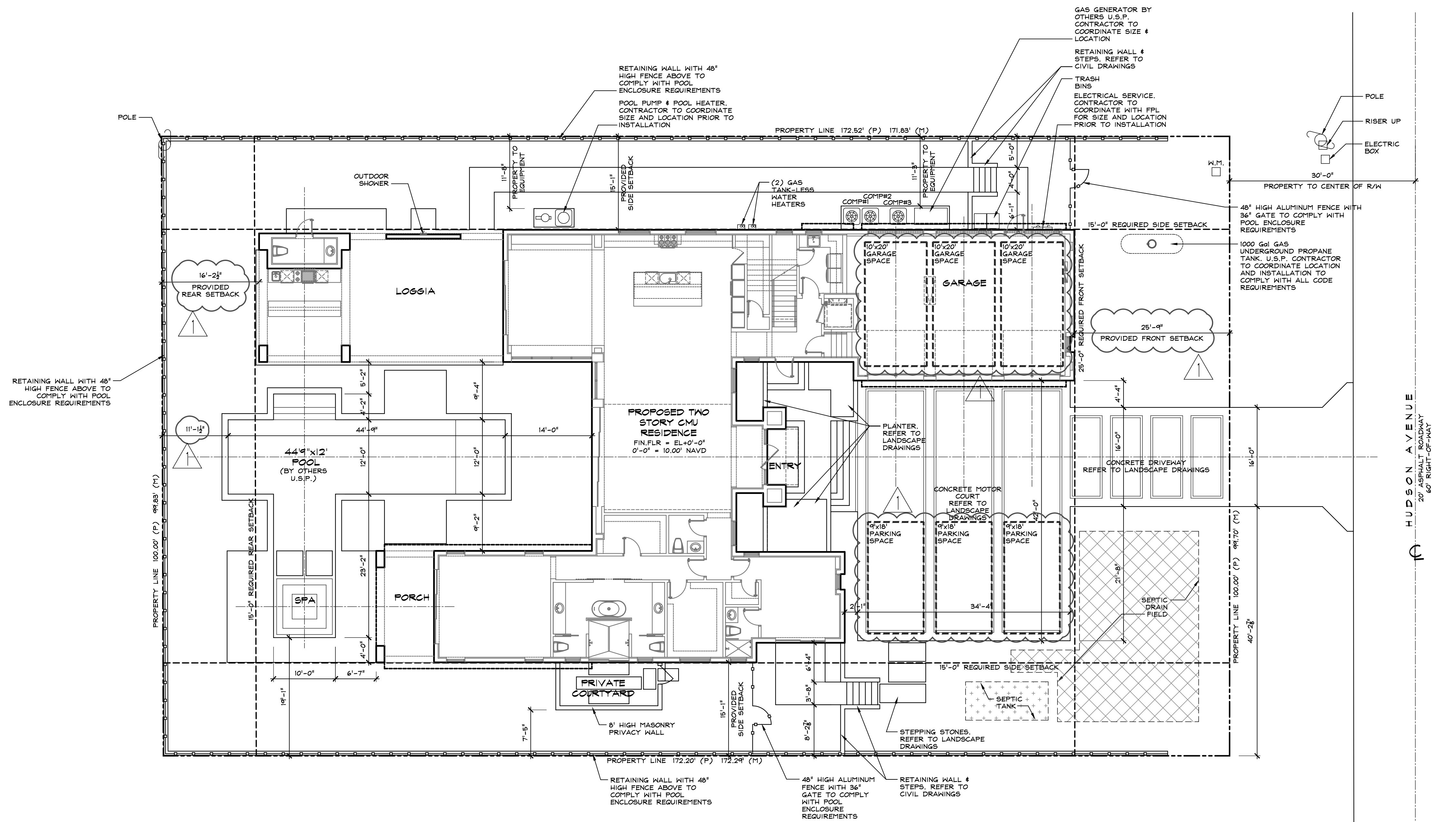
PLA DESIGN STUDIO
2385 NW EXECUTIVE CENTER DR, SUITE 240
BOCA RATON, FL 33431
TELEPHONE: 561-318-5256

CIVIL ENGINEER

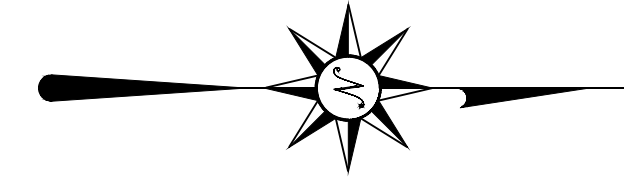
ENVIRODESIGN ASSOCIATES INC.
298 NE 2ND AVENUE
DELRAY BEACH, FL 33444
TELEPHONE: 561-274-6500

LAND SURVEYOR

LANDTEC SURVEYING
481 E. HILLSBORO BLVD SUITE 100-A
DEERFIELD BEACH, FL 33441
TELEPHONE: 561-367-3587



- SITE NOTES:**
- ALL LANDSCAPE TO BE COORDINATE BETWEEN OWNER AND G.C. REFER TO LANDSCAPE DRAWINGS.
 - COORDINATE LANDSCAPE FOR EQUIPMENT BUFFER. REFER TO LANDSCAPE DRAWINGS.
 - FENCE/GATE AT PROPERTY LINE TO COMPLY WITH POOL BARRIER CODE REQUIREMENTS.
 - G.C. TO COORDINATE ALL EQUIPMENT PADS TO BE 1' ABOVE FEMA BASE FLOOD ELEVATION + 1 FOOT.
 - SEPTIC SYSTEM DESIGN BY OTHERS. G.C. TO COORDINATE LOCATION WITH DRIVEWAY AND LANDSCAPE. REFER TO CIVIL DRAWINGS.



Proposed Site Plan
Scale: 1"=10'-0"

TOWN OF OCEAN RIDGE (RSF)

DATA CALCULATIONS FOR NEW STRUCTURES

SITE DATA CALCULATIONS

ZONING DISTRICT	RSF
FUTURE LAND USE DESIGNATION	SF
TOTAL SITE AREA	17,236 S.F.
BASE FLOOD ELEVATION (FEMA)	AE 6.00' NAVD (CURRENT FEMA ELEV.)
BASE FLOOD ELEVATION (FEMA 2019)	AE 9.00' NAVD (FUTURE FEMA ELEV.)
FINISHED FLOOR ELEVATION	10.00' NAVD
PROPOSED ONE STORY BEAM HT	ELEV.+11'-0"
PROPOSED TWO STORY BEAM HT	ELEV.+24'-0"
PROPOSED ON SITE PARKING	3 ENCLOSED PARKING 3 OPEN PARKING 6 TOTAL PROVIDED PARKING

PROPOSED		
	SQUARE FEET	PERCENTAGE
FLOOR AREA RATIO (MAXIMUM 36%)	6,202 S.F.	35.9 %
LOT COVERAGE (MAXIMUM 35%)	4,962 S.F.	28.7 %
AREAS INCLUDED FOR LOT COVERAGE:		
1st FLOOR A/C AREA		
GARAGE		
COVERED PATIO		
COVERED ENTRY		
COVERED MASTER PORCH		
COVERED BALCONY (REAR)		
TOTAL UNDER ROOF		
OPEN BALCONY		
TOTAL FLOOR AREA		
BUILDING FOOTPRINT		
SEPTIC TANK & DRAINFIELD		
PAVED AREA/POOL		
TOTAL IMPERVIOUS AREA		
TOTAL PERVIOUS AREA		

	SQUARE FEET	PERCENTAGE
FIRST FLOOR A/C	3,126 S.F.	18.1 %
SECOND FLOOR A/C	2,137 S.F.	12.4 %
TWO STORY AREA OVER 16' (MINUS 300 S.F.)	60 S.F.	0.3 %
TOTAL A/C	5,323 S.F.	30.6 %
GARAGE	879 S.F.	5.0 %
COVERED PATIO (W/SUMMER KITCHEN)	750 S.F.	4.3 %
COVERED MASTER PORCH	168 S.F.	0.9 %
COVERED ENTRY	39 S.F.	0.2 %
COVERED BALCONY (REAR)	541 S.F.	3.1 %
TOTAL UNDER ROOF	7,648 S.F.	44.4 %
OPEN BALCONY	277 S.F.	1.6 %
TOTAL FLOOR AREA	7,925 S.F.	46.0 %
BUILDING FOOTPRINT	4,962 S.F.	28.7 %
SEPTIC TANK & DRAINFIELD	746 S.F.	4.3 %
PAVED AREA/POOL	5,110 S.F.	29.7 %
TOTAL IMPERVIOUS AREA	10,072 S.F.	58.4 %
TOTAL PERVIOUS AREA	7,164 S.F.	41.6 %

	REQUIRED	PROPOSED
FRONT YARD SETBACK (NORTH)	25'-0"	25'-9"
REAR YARD SETBACK (SOUTH)	15'-0"	16'-2 1/2"
EAST SIDE YARD SETBACK	15'-0"	15'-1"
WEST SIDE YARD SETBACK	15'-0"	15'-1"

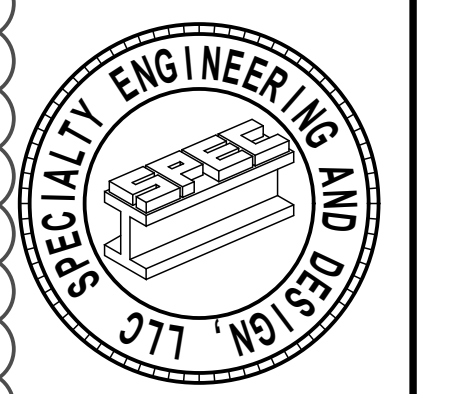
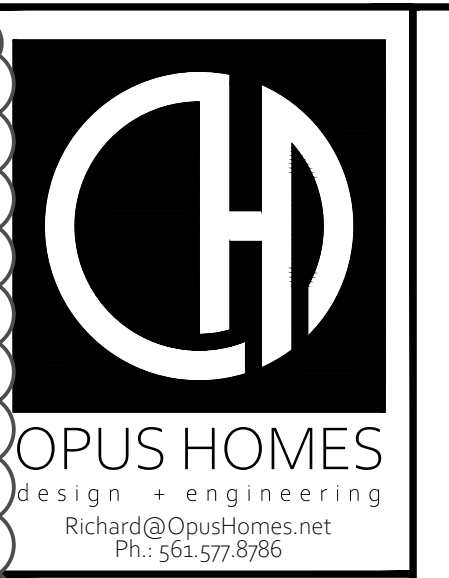
LEGAL DESCRIPTION

LOT 4, BLOCK 6, BOYNTON BEACH PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 12, PAGE 42.

PROPERTY ADDRESS: 3 HUDSON AVENUE, OCEAN RIDGE, FL 33504

SECOND FLOOR TO FIRST FLOOR RATIO

	SQUARE FEET	PERCENTAGE
FIRST TO SECOND FLOOR AREA RATIO	2,676 SF/4,962 SF	53.9%
AREAS INCLUDED IN 1ST FLOOR:		
1st FLOOR A/C AREA		
GARAGE		
COVERED PATIO		
COVERED ENTRY		
COVERED MASTER PORCH		
AREAS INCLUDED IN 2ND FLOOR:		
2nd FLOOR A/C AREA		
COVERED BALCONIES		



HUDSON SPEC

3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:

1. TOWN COMMENTS:	03.13.24
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SUBMITTALS:

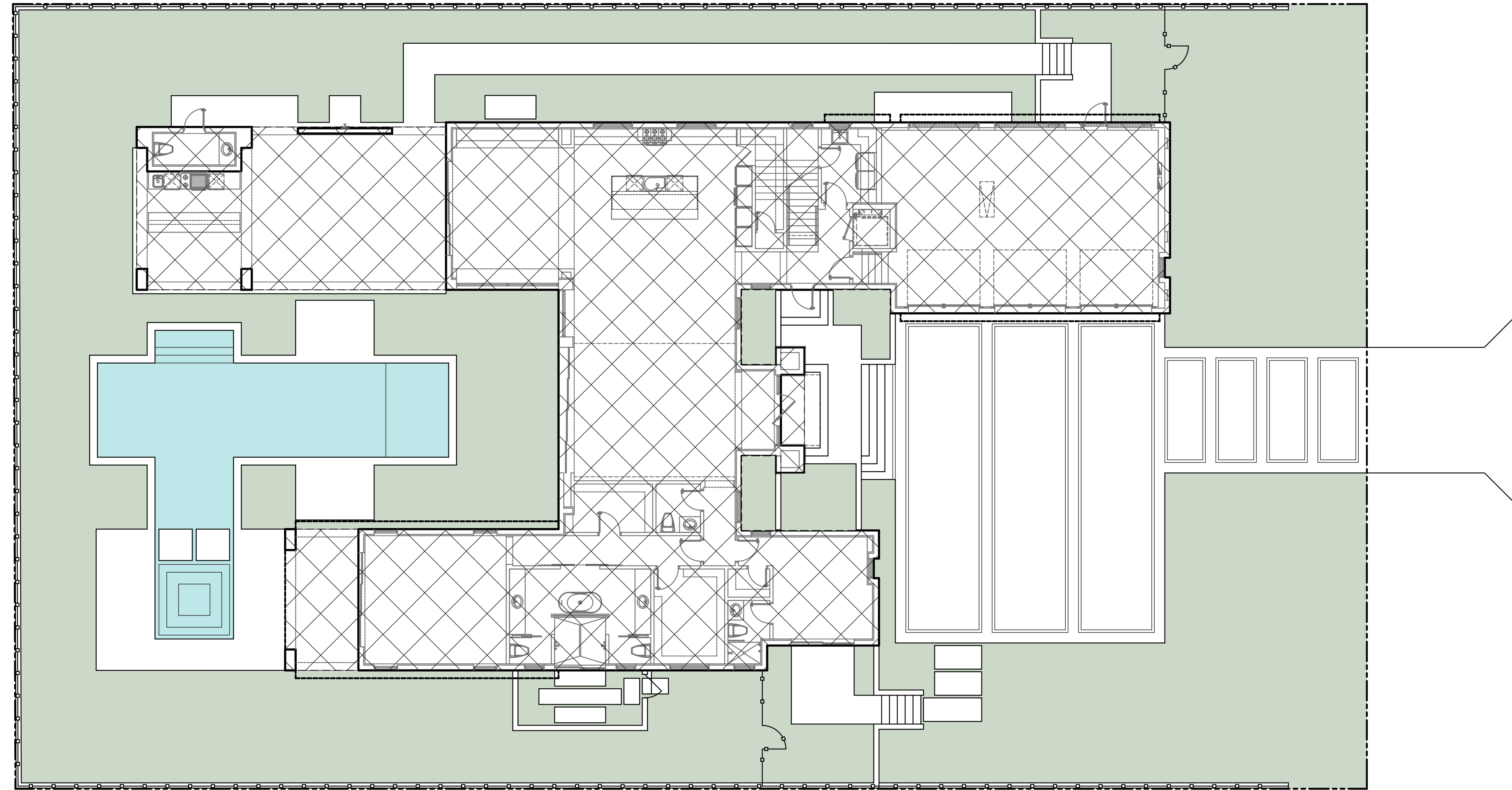
TOWN LAND DEV. SUBMITTAL STEP 2:	04.01.24
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PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

SITE PLAN

SP-1

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	BUILDING FOOTPRINT	4,962 SF
	PERVIOUS AREAS	7,164 SF
	POOL AREA	810 SF
	HARDSCAPE AREA	4,300 SF

Site Area Plan

Scale: 1"=10'-0"

TOWN OF OCEAN RIDGE (RSF)

DATA CALCULATIONS FOR NEW STRUCTURES

SITE DATA CALCULATIONS

ZONING DISTRICT	RSF
FUTURE LAND USE DESIGNATION	SF
TOTAL SITE AREA	17,296 S.F.
BASE FLOOD ELEVATION (FEMA)	AE 6.00' NAVD (CURRENT FEMA ELEV.)
BASE FLOOD ELEVATION (FEMA 2019)	AE 9.00' NAVD (FUTURE FEMA ELEV.)
FINISHED FLOOR ELEVATION	10.00' NAVD
PROPOSED ONE STORY BEAM HT	ELEV. +11'-0"
PROPOSED TWO STORY BEAM HT	ELEV. +24'-0"
PROPOSED ON SITE PARKING	3 ENCLOSED PARKING 3 OPEN PARKING 6 TOTAL PROVIDED PARKING

	PROPOSED	
	SQUARE FEET	PERCENTAGE
FLOOR AREA RATIO (MAXIMUM 36%)	6,202 S.F.	35.9 %
LOT COVERAGE (MAXIMUM 36%)	4,962 S.F.	28.7 %
AREAS INCLUDED FOR LOT COVERAGE:		
1st FLOOR A/C AREA		
GARAGE		
COVERED PATIO		
COVERED ENTRY		
MASTER PORCH		

	SQUARE FEET	PERCENTAGE
FIRST FLOOR A/C	3,126 S.F.	18.1 %
SECOND FLOOR A/C	2,197 S.F.	12.4 %
TWO STORY AREA OVER 16' (MINUS 300 S.F.)	60 S.F.	0.3 %
TOTAL A/C	5,323 S.F.	30.8 %
GARAGE	879 S.F.	5.0 %
COVERED PATIO (W/SUMMER KITCHEN)	750 S.F.	4.3 %
COVERED MASTER PORCH	168 S.F.	0.9 %
COVERED ENTRY	39 S.F.	0.2 %
COVERED BALCONY (REAR)	541 S.F.	3.1 %
TOTAL UNDER ROOF	7,648 S.F.	44.4 %
OPEN BALCONY	277 S.F.	1.6 %
TOTAL FLOOR AREA	7,925 S.F.	46.0 %
BUILDING FOOTPRINT	4,962 S.F.	28.7 %
SEPTIC TANK & DRAINFIELD	746 S.F.	4.3 %
PAVED AREA/POOL	5,110 S.F.	29.7 %
TOTAL IMPERVIOUS AREA	10,072 S.F.	58.4 %
TOTAL PERVIOUS AREA	7,164 S.F.	41.6 %

BUILDING HEIGHT (ONE STORY)	20'-6 3/4" A.F.F.
BUILDING HEIGHT (TWO STORY)	32'-5 1/4" A.F.F.
BUILDING SETBACKS	

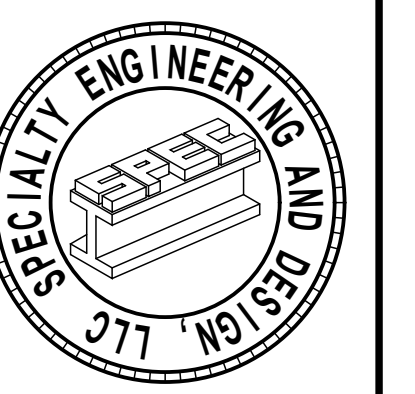
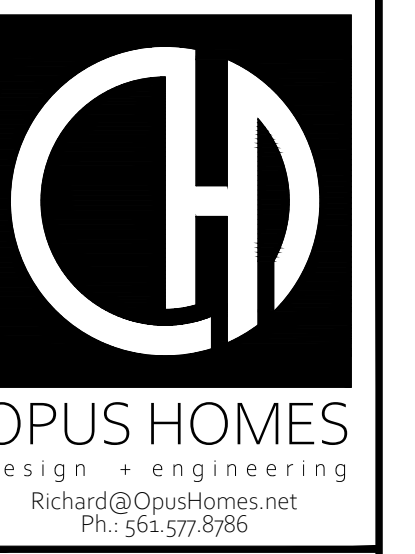
	REQUIRED	PROPOSED
FRONT YARD SETBACK (NORTH)	25'-0"	25'-9"
REAR YARD SETBACK (SOUTH)	15'-0"	16'-2 1/2"
EAST SIDE YARD SETBACK	15'-0"	15'-1"
WEST SIDE YARD SETBACK	15'-0"	15'-1"

LEGAL DESCRIPTION

LOT 4, BLOCK 6, BOYNTON BEACH PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, RECORDED IN PLAT BOOK 12, PAGE 42.
PROPERTY ADDRESS: 3 HUDSON AVENUE, OCEAN RIDGE, FL 33504

SECOND FLOOR TO FIRST FLOOR RATIO

	SQUARE FEET	PERCENTAGE
FIRST TO SECOND FLOOR AREA RATIO	2,678 SF/4,962 SF	53.9%
AREAS INCLUDED IN 1ST FLOOR:		
1st FLOOR A/C AREA		
GARAGE		
COVERED PATIO		
COVERED ENTRY		
MASTER PORCH		
AREAS INCLUDED IN 2ND FLOOR:		
2nd FLOOR A/C AREA		
COVERED BALCONIES		



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D. ADAM LeBLANC, PE FL #77012

HUDSON SPEC
3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

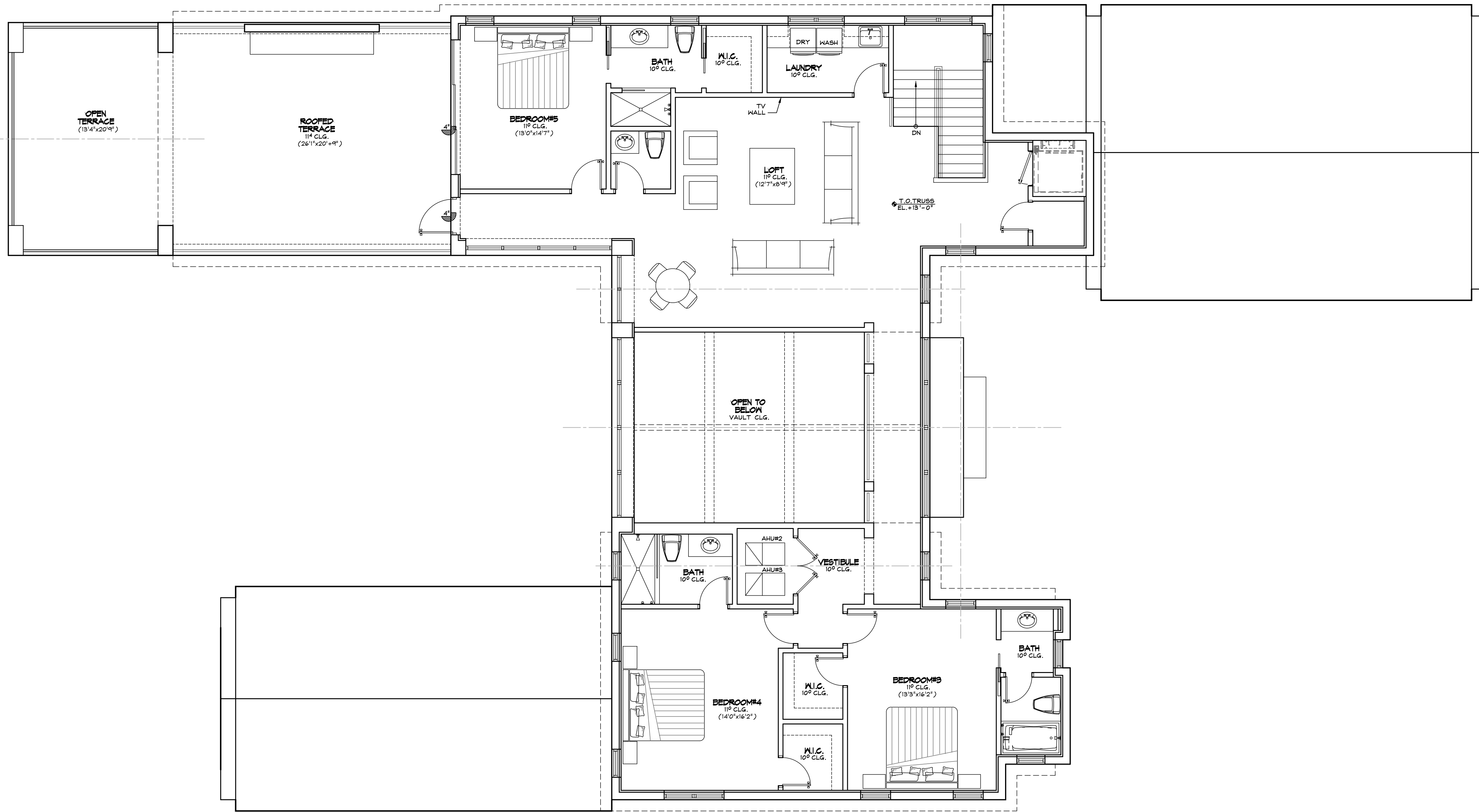
SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

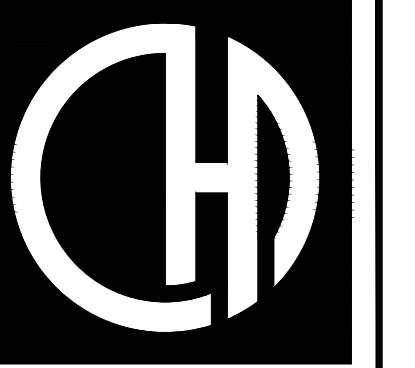
SITE AREA PLAN

SP-2

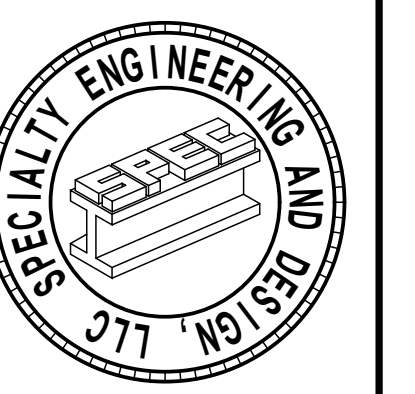
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Proposed Second Floor Plan
 Scale: 3/16"=1'-0"



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REVISIONS:
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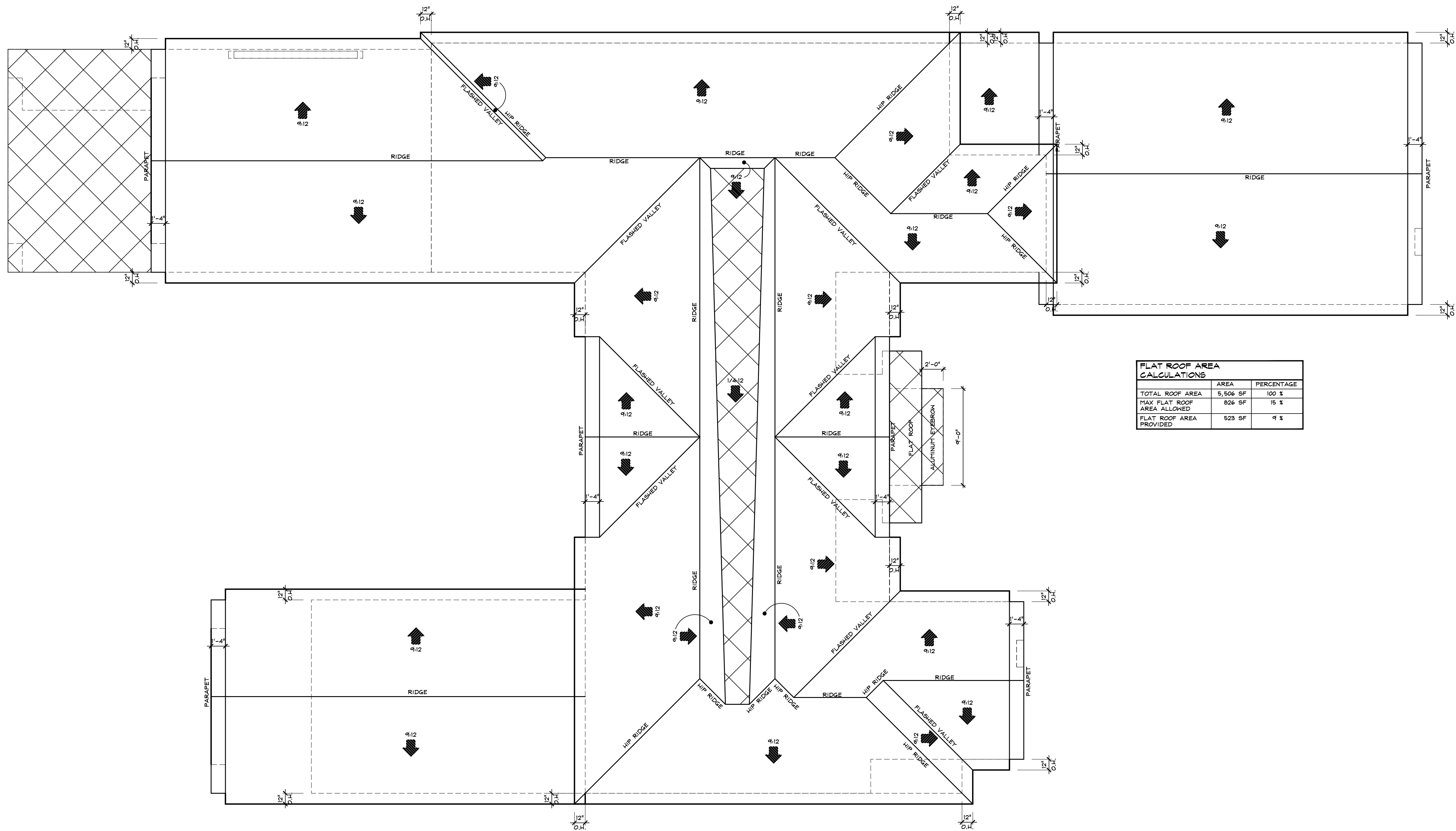
SUBMITTALS:
 TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
 DESIGNER: RB
 DRAWN BY: RB
 PLAN REVIEW: RB

SECOND FLOOR PLAN

P-2

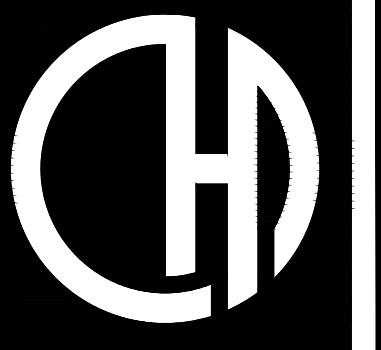
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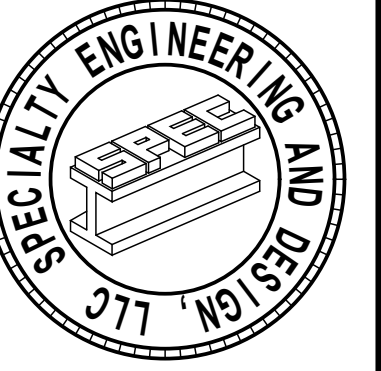
FLAT ROOF AREA CALCULATIONS		
	AREA	PERCENTAGE
TOTAL ROOF AREA	5,506 SF	100 %
MAX FLAT ROOF AREA ALLOWED	824 SF	15 %
FLAT ROOF AREA PROVIDED	529 SF	9 %

Proposed Roof Plan

Scale: 3/16"=1'-0"



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HUDSON SPEC

3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24


PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

ROOF PLAN

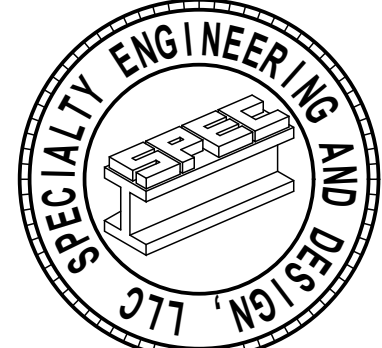
P-3

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ELEVATION NOTES	
A	SMOOTH STUCCO FINISH
B	INSULATED GLASS GARAGE DOOR BRONZE FINISH. PROVIDE NOA FOR REVIEW
C	LIGHT FIXTURE (TO BE SELECTED BY OWNER)
D	STANDING BEAM METAL ROOF, PROVIDE SAMPLE AND NOA FOR REVIEW
E	TRIP-RESISTANT TILE FLOOR AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL. BRONZE FINISH
F	36" HIGH DECORATIVE ALUMINUM RAILING (TO REJECT 4" SPHERE). PROVIDE SHOP DRAWINGS FOR APPROVAL. BRONZE FINISH
G	2" SCORED LINE DETAIL
H	METAL EYEBROW. BRONZE FINISH. PROVIDE SHOP DRAWINGS FOR REVIEW
J	STONE VENEER. PROVIDE SAMPLE FOR REVIEW
K	8'x6' ELEVATION DIAGRAM REQUIREMENT



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SOUTH ELEVATION WINDOW AREA CALCULATIONS		
ELEVATION AREA	AREA	PERCENTAGE
ELEVATION AREA	1,906 SF	100 %
MIN. WINDOW AREA ALLOWED	286 SF	15 %
WINDOW AREA PROVIDED	808 SF	42 %

Proposed South Elevation

Scale: 1/4"=1'-0"



NORTH ELEVATION WINDOW AREA CALCULATIONS		
ELEVATION AREA	AREA	PERCENTAGE
ELEVATION AREA	2,036 SF	100 %
MIN. WINDOW AREA ALLOWED	305 SF	15 %
WINDOW AREA PROVIDED	401 SF	20 %

Proposed North Elevation

Scale: 1/4"=1'-0"

HUDSON SPEC
3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24


PROJECT #: 23-1130
DESIGNER: RB
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PLAN REVIEW: RB

PROPOSED NORTH & SOUTH ELEVATIONS

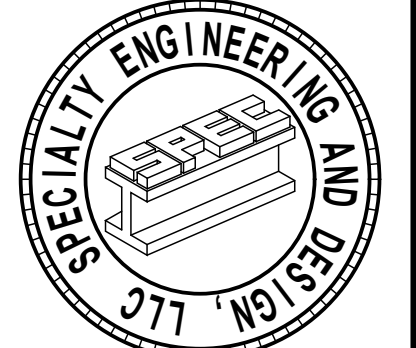
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ELEVATION NOTES	
A	SMOOTH STUCCO FINISH
B	INSULATED GLASS GARAGE DOOR BRONZE FINISH. PROVIDE NOA FOR REVIEW
C	LIGHT FIXTURE (TO BE SELECTED BY OWNER)
D	STANDING BEAM METAL ROOF, PROVIDE SAMPLE AND NOA FOR REVIEW
E	IMPACT RESISTANT WINDOW AND DOOR PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL. BRONZE FINISH
F	36" HIGH DECORATIVE ALUMINUM RAILING (TO REJECT 4" SPHERE). PROVIDE SHOP DRAWINGS FOR APPROVAL. BRONZE FINISH
G	2" SCORED LINE DETAIL
H	METAL EYEBROW. BRONZE FINISH. PROVIDE SHOP DRAWINGS FOR REVIEW
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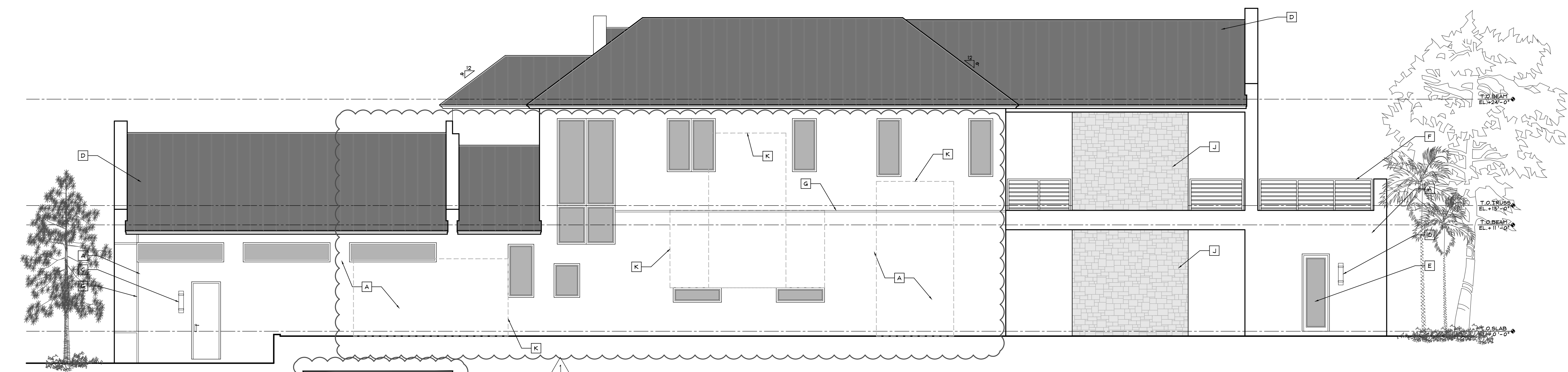
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D. ADAM LeBLANC, PE FL #77012



Proposed East Elevation

Scale: 1/4"=1'-0"

EAST ELEVATION WINDOW AREA CALCULATIONS		
	AREA	PERCENTAGE
ELEVATION AREA	1,943 SF	100 %
MIN. WINDOW AREA ALLOWED	291 SF	15 %
WINDOW AREA PROVIDED	634 SF	33 %



Proposed West Elevation

Scale: 1/4"=1'-0"

WEST ELEVATION WINDOW AREA CALCULATIONS		
	AREA	PERCENTAGE
ELEVATION AREA	2,590 SF	100 %
MIN. WINDOW AREA ALLOWED	384 SF	15 %
WINDOW AREA PROVIDED	562 SF	22 %

HUDSON SPEC

3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
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DRAWN BY: RB
PLAN REVIEW: RB

PROPOSED EAST & WEST ELEVATIONS

P-5

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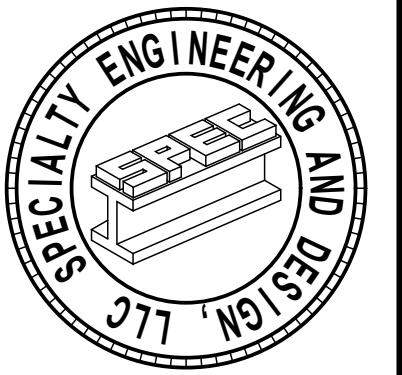


Proposed Renderings

Scale: N.T.S.



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HUDSON SPEC

3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

PROPOSED
RENDERINGS

P-6

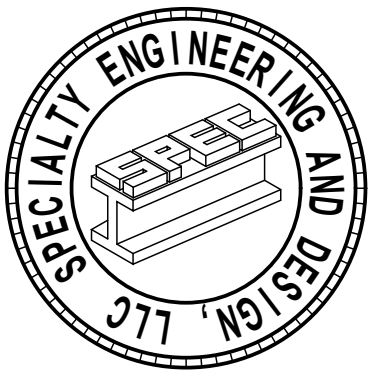


Proposed Renderings

Scale: N.T.S.



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3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

REVISIONS:
1. TOWN COMMENTS: 03.13.24

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

PROPOSED RENDERINGS

P-7



Proposed to the North (4 Hudson Ave)
Scale: N.T.S.



Proposed to the West (5 Hudson Ave)
Scale: N.T.S.



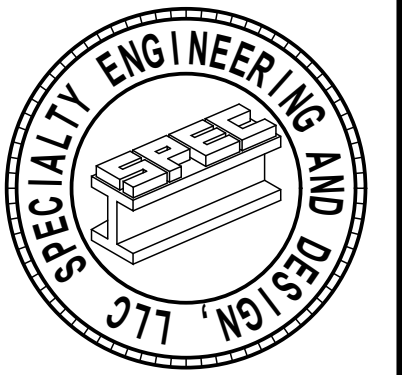
Proposed to the East (1 Hudson Ave)
Scale: N.T.S.



Proposed Property (3 Hudson Ave)
Scale: N.T.S.



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HUDSON SPEC

3 HUDSON AVENUE
TOWN OF OCEAN RIDGE, FLORIDA

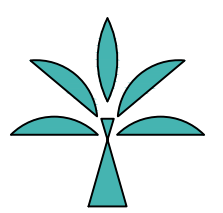
REVISIONS:
1. TOWN COMMENTS: 03.13.24

SUBMITTALS:
TOWN LAND DEV. SUBMITTAL STEP 2: 04.01.24

PROJECT #: 23-1130
DESIGNER: RB
DRAWN BY: RB
PLAN REVIEW: RB

PROPERTY PICTURES

P-8



PLANT SCHEDULE EXISTING

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	REMARKS
TREES				
TC-X	1	Terminalia catappa / False Kamani	EXOTIC	REMOVE

ISSUED FOR:	DATE
1. ISSUED	02/22/24
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

3 HUDSON AVE
 OCEAN RIDGE, FL 33435
 OCEAN RIDGE, ZONING-RSF - SINGLE FAMILY
 RESIDENTIAL (46-OCEAN RIDGE), OVERLAY-NO

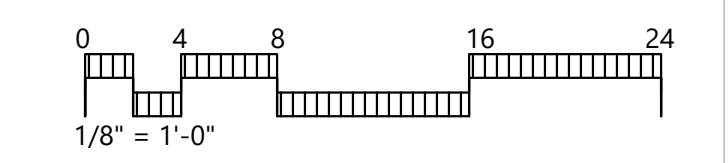
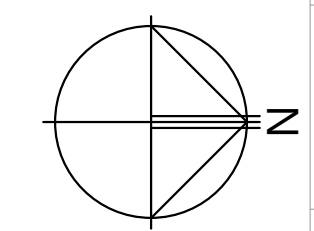
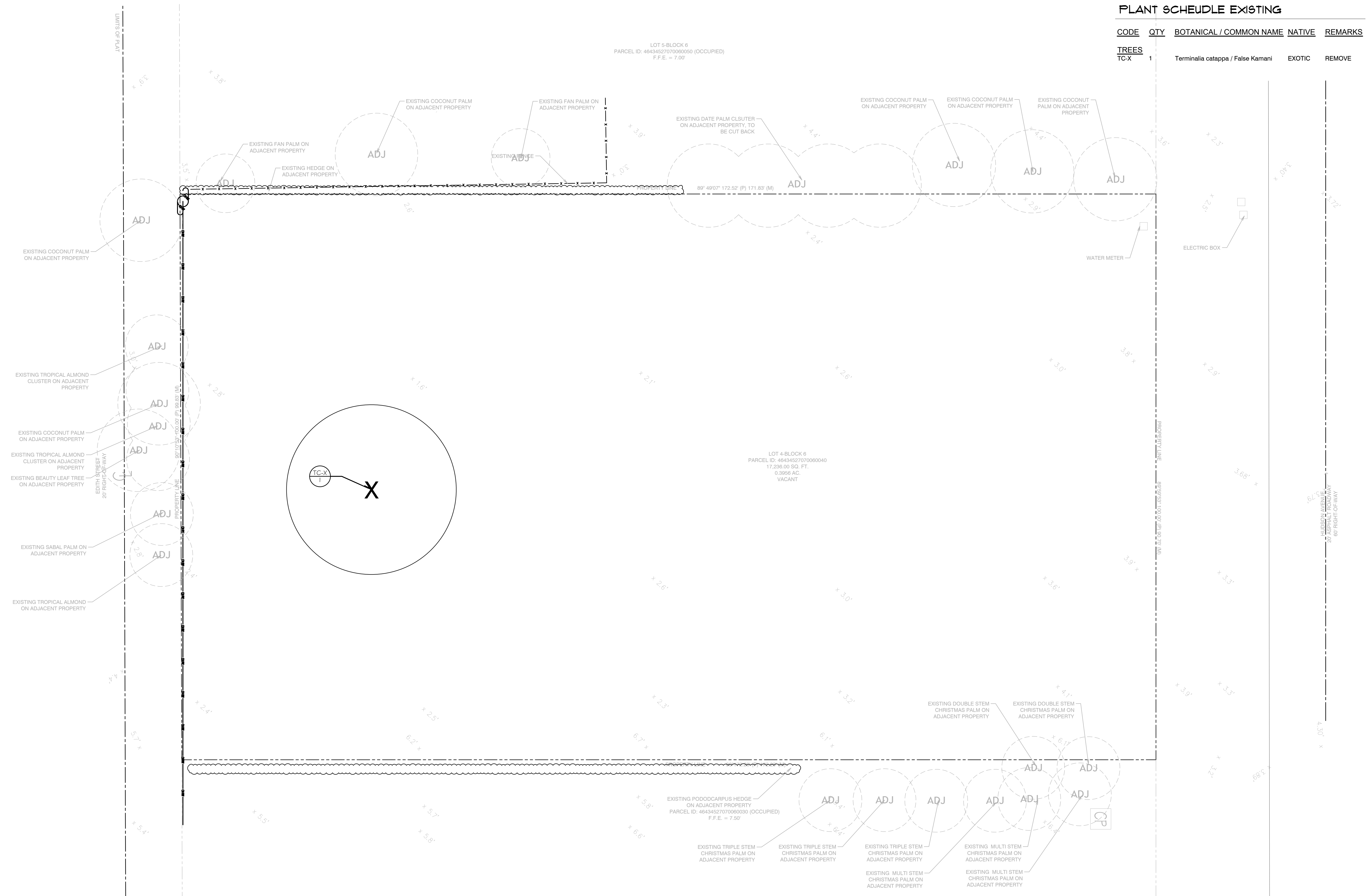
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seal
 Stephanie Portus FL Reg LA 6667215
 Beth Dawson FL Reg LA 6667273
 project number 24-001
 drawn by JM/SP
 sheet name

LANDSCAPE DISPOSITION PLAN

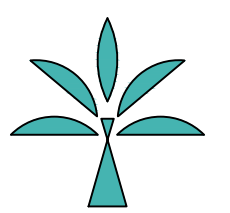
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02/22/24

sheet number
L-1



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02/22/24

ISSUED FOR:
1. ISSUED
2.
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3 HUDSON AVE
OCEAN RIDGE, FL 33435
OCEAN RIDGE, ZONING-RSF - SINGLE FAMILY
RESIDENTIAL (46-OCEAN RIDGE), OVERLAY-NO

PLATM DESIGN STUDIO

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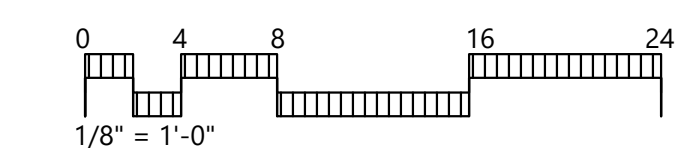
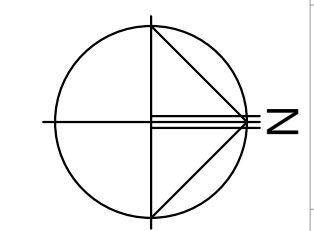
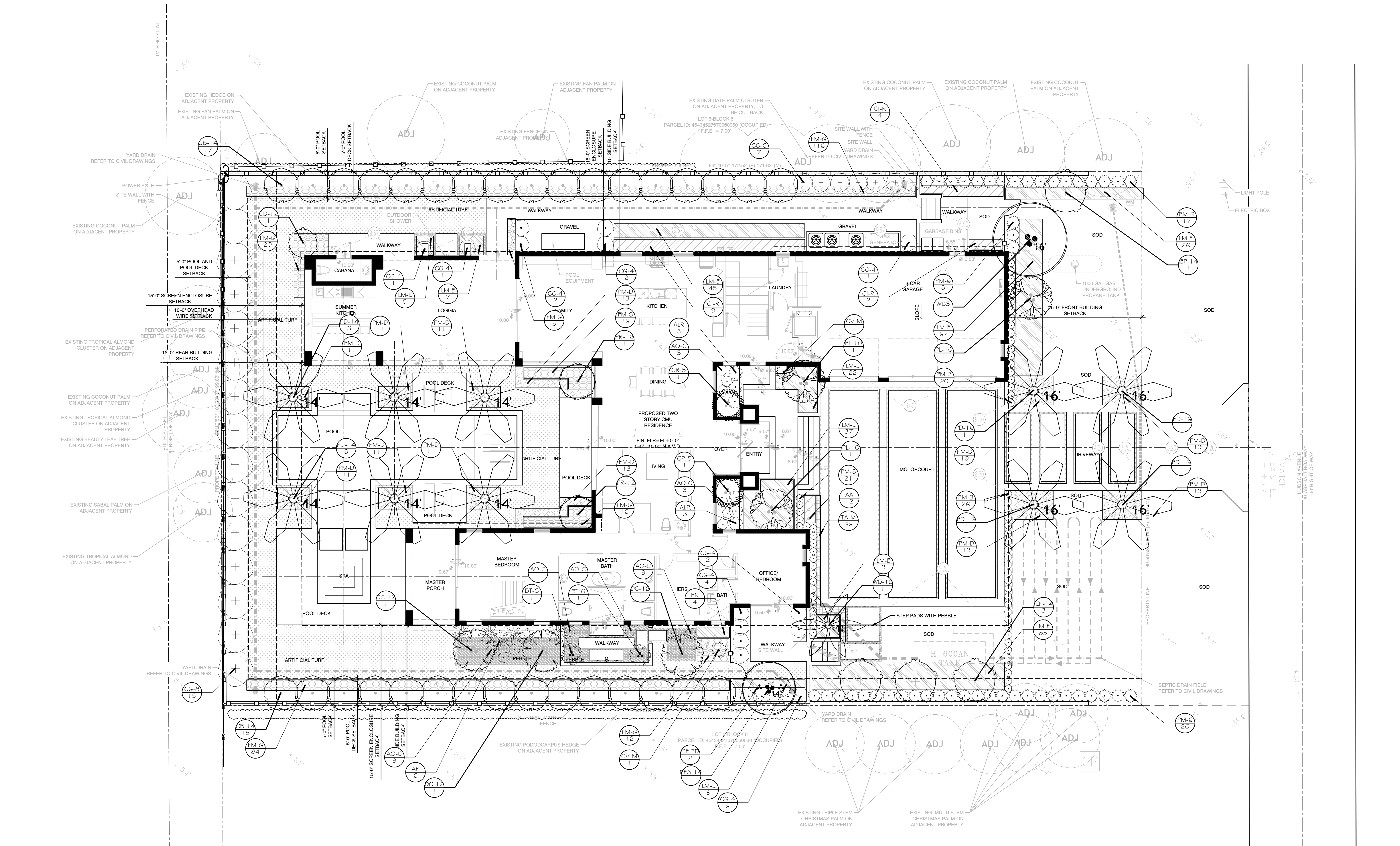
seal
Stephanie Portus FL Reg LA 6667215
Beth Dawson FL Reg LA 6667273
project number
24-001
sheet name
drawn by
JM/SP

LANDSCAPE PLAN

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02/22/24

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PLANT SCHEDULE PROPOSED LANDSCAPE

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	SPREAD	CALIPER	REMARKS
TREES								
CB-14	32	Calophyllum brasiliense / Brazilian Beautyleaf	NON-NATIVE	45G/28"	14' HT	5'-6" SPD	2"-3" CAL	FLORIDA FANCY. SINGLE LEADER. FULL DENSE, SYMMETRICAL CANOPY. 4' CT. MATCHING.
CD-12	1	Coccoloba diversifolia / Pigeon Plum	NATIVE	45G/28"	12' HT	6" SPD	3"-4" CAL	FLORIDA FANCY. SINGLE LEADER. DENSE SYMMETRICAL CANOPY. 4' CT. MATCHING.
IEP-14	4	Ilex x attenuata 'East Palatka' / East Palatka Holly	NATIVE	FIELD GROWN	14' HT	6" SPD	2.5" CAL	GRADE#1. STANDARD/TREE FORM. DENSE, SYMMETRICAL CROWN. STRAIGHT TRUNK. NO VOIDS. 4' CT. MATCHING.
PR-12	2	Pimenta racemosa / Bayrum Tree	NATIVE	45G/28"	12' HT	5" SPD	2" CAL	FLORIDA FANCY. STANDARD/TREE FORM. DENSE, SYMMETRICAL CROWN. STRAIGHT TRUNK. NO VOIDS. 4' CT. MATCHING.
PL-10	3	Psidium littorale / Cattley Guava	NON-NATIVE	B&B	10' HT	8'-10" SPD	MULTI-TRUNK	GRADE#1. MULTI-TRUNK SPECIMEN WITH CHARACTER. MINIMUM 5 TRUNKS. 4' CT. SUBMIT PHOTO TO LA FOR APPROVAL.

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	SPREAD	CALIPER	REMARKS
PALM TREES								
CR-5	2	Cyrtostachys renda / Sealing Wax Palm	NON-NATIVE	25G/21"	6'-7" HT	3'-4" SPD	MULTI-TRUNK	INTACT FOLIAGE. GOOD COLOR.
DC-12	3	Dypsis cabadae / Cabada Palm	FLORIDA FRIENDLY	FIELD GROWN	12' HT	6'-8" SPD	-	GRADE#1. TRIPLE. FULL HEADS. UPRIGHT GROWTH. GOOD COLOR. SUBMIT PHOTO TO LA FOR APPROVAL.
PD-14	6	Phoenix dactylifera 'Medjool' / Medjool Date Palm	FLORIDA FRIENDLY	B&B	14' CT	16" SPD	HEAVY	FLORIDA FANCY. STRAIGHT, UNSCARRED TRUNK. FULL HEAD. HEAVY CALIPER. MATCHING.
PD-16	4	Phoenix dactylifera 'Medjool' / Medjool Date Palm	FLORIDA FRIENDLY	B&B	16' CT	16" SPD	HEAVY	FLORIDA FANCY. STRAIGHT, UNSCARRED TRUNK. FULL HEAD. HEAVY CALIPER. MATCHING.
PE-13	1	Ptychosperma elegans / Alexander Palm Triple	FLORIDA FRIENDLY	B&B	14' HT	10" SPD	-	TRIPLE. FULL HEAD. STRAIGHT, UNSCARRED TRUNK. MATCHING.
WB-18	1	Wodyetia bifurcata / Foxtail Palm Single	FLORIDA FRIENDLY	B&B	18' HT	14" SPD	-	FLORIDA FANCY. STRAIGHT, UNSCARRED TRUNK. FULL HEAD. GOOD COLOR. MATCHING.
WB3	1	Wodyetia bifurcata / Foxtail Palm Triple	FLORIDA FRIENDLY	B&B	18'-20" OA	14'-16" SPD	HEAVY	FLORIDA FANCY. UNSCARRED TRUNKS. STAGGERED HEADS WITH MINIMAL BOWING. GOOD COLOR.

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	WIDTH	REMARKS
SHRUBS							
ALR	6	Alocasia 'Low Rider' / Low Rider Alocasia	NON-NATIVE	3G/10"	2' HT	2' W	FULL. LOW BRANCHED. INTACT LEAVES. GOOD COLOR.
AO-C	14	Alocasia odora 'California' / Dwarf Elephant Ear	FLORIDA FRIENDLY	3G/10"	18" HT	24" W	FULL DENSE FOLIAGE, INTACT LEAVES
AP	6	Alpinia purpurata / Red Ginger	FLORIDA FRIENDLY	7G/14"	2'-3' HT	2'-3' W	FULL DENSE POT. LOW BRANCHED. GREEN.
BT-G	2	Bambusa textilis 'Gracilis' / Graceful Bamboo	NON-NATIVE	15G/17"	10' HT	3'-4' W	FULL, DENSE CLUMP. UPRIGHT GROWTH
CG-6	7	Clusia guttifera / Small-Leaf Clusia	FLORIDA FRIENDLY	25G/21"	6' HT	3'-4' W	FULL TO BASE. LOW BRANCHING. DENSE INTACT FOLIAGE. NO VOIDS.
CG-8	15	Clusia guttifera / Small-Leaf Clusia	FLORIDA FRIENDLY	45G/28"	8'-9" HT	6'-7" W	FULL TO BASE. LOW BRANCHING. DENSE INTACT FOLIAGE. NO VOIDS.
CG-4	19	Clusia guttifera / Small-Leaf Clusia	FLORIDA FRIENDLY	7G/14"	4' HT	3' W	FULL TO BASE. LOW BRANCHING. DENSE INTACT FOLIAGE. NO VOIDS.
CV-M	2	Codiaeum variegatum 'Mrs. Iceton' / Mrs. Iceton Croton	FLORIDA FRIENDLY	7G/14"	3' HT	24" W	FULL TO BASE. LOW BRANCHING. GOOD COLOR
CF-PD	2	Cordyline fruticosa 'Pink Diamond' / Pink Diamond Ti	FLORIDA FRIENDLY	7G/14"	3'-4' HT	2'-3' W	FULL. LOW BRANCHED. INTACT LEAVES. MIN 3 PPP. GOOD COLOR.
PM-6	46	Podocarpus macrophyllus 'Maki' / Shrubby Yew	FLORIDA FRIENDLY	25G/21"	6'-7" HT	30" W	FULL, DENSE FOLIAGE TO BASE. SHEAR TO 6' HT.
PM-3	67	Podocarpus macrophyllus 'Maki' / Shrubby Yew	FLORIDA FRIENDLY	7G/14"	3'-4' HT	18" W	FULL, DENSE FOLIAGE TO BASE. SHEAR TO 3' HT.

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	WIDTH	SPACING	REMARKS
SHRUB AREAS								
AA	12	Annuals / Annuals	NON-NATIVE	4" POT	6" HT	6" W	12" o.c.	FULL POTS. BLOOMING. TO BE SELECTED BY OWNER AT TIME OF INSTALL.
CI-R	15	Chrysobalanus icaco 'Red Tip' / Red Tip Cocoplum	NATIVE	7G/14"	36" HT	30" W	36" o.c.	FULL DENSE FOLIAGE TO BASE.
FM-G	289	Ficus microcarpa 'Green Island' / Green Island Ficus	NON-NATIVE	3G/10"	18" HT	14" W	18" o.c.	FULL DENSE FOLIAGE TO BASE.
LM-E	312	Liriope muscari 'Emerald Goddess' / Liriope	FLORIDA FRIENDLY	1G/8"	12" HT	10" W	18" o.c.	FULL DENSE POTS. GOOD COLOR.
PM-D	168	Podocarpus macrophyllus 'Dwarf Fringles' / Dwarf Podocarpus	FLORIDA FRIENDLY	3G/10"	16" HT	16" W	18" o.c.	FULL DENSE FOLIAGE TO BASE.
PN	4	Psychotria nervosa / Wild Coffee	NATIVE	3G/10"	24" HT	24" W	24" o.c.	FULL DENSE FOLIAGE TO BASE.
TA-M	46	Trachelospermum asiaticum 'Minima' / Minima Jasmine	FLORIDA FRIENDLY	1G/8"	6'-8" HT	8" W	10" o.c.	FULL POT. DENSE FOLIAGE.

MISC	BOTANICAL NAME / COMMON NAME	QTY	REMARKS
BIO	Bio Barrier-Typar or equal	Verify LF in field	PROVIDE BIO BARRIER ROOT CONTROL AT ROOTBALLS AS REQUIRED BY UTILITIES
GRAVEL	Selected by client	Verify quantity in field	PROVIDE MIN. 2" THICK APPLICATION PROVIDE OPTIONAL BLACK ALUMINUM EDGING ALONG LANDSCAPE BEDS-PERMALOC 'CLEAN LINE' OR EQUAL
MULCH	Grade B+ Cypress Mulch	Verify quantity in field	MINIMUM 3" DEPTH
SOD	'Empire' Zoysia	Verify SF in field	MINIMUM 16"X24" PIECES, GRADED #1 OR BETTER. SEE LANDSCAPE SPECIFICATIONS SHEET

NOTES

TREES OR PALMS PLANTED IN SOD SHALL HAVE MULCH RINGS TO PROTECT THEM FROM LAWN MAINTENANCE EQUIPMENT AND STRING TRIMMERS.

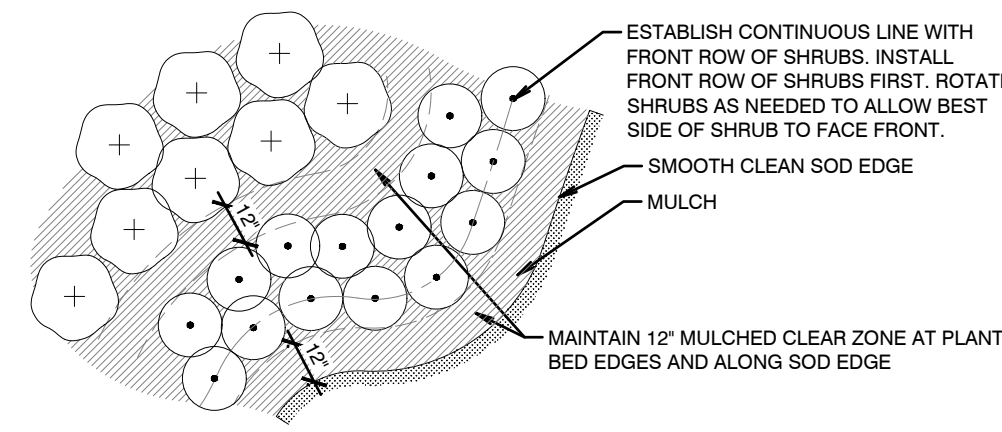
ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER, AS DESCRIBED IN GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, TALLAHASSEE FLORIDA, LATEST EDITION.

TO PROTECT AGAINST GANODERMA PALM FUNGUS, ALWAYS REMOVE ALL PALM STUMPS FROM PROPERTY.

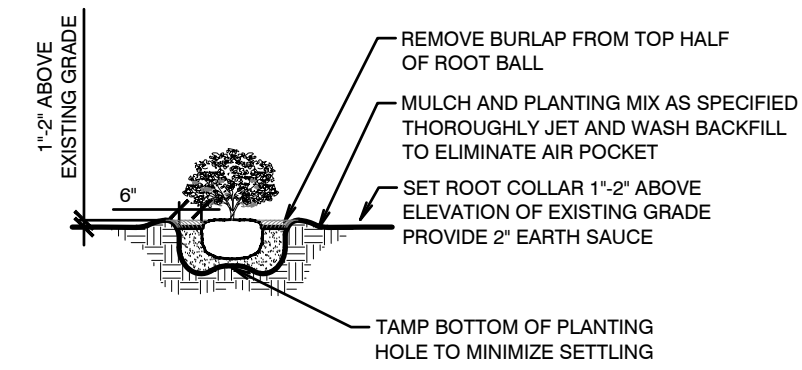
PLA DESIGN STUDIO TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION.

ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED.

TOTAL LOT AREA	17,236 SF
40% MAX IMPERVIOUS (excludes 5,000 SF for house foot print) IMPERVIOUS PROVIDED	40% of 12,236 SF = 4,894 SF 4,476 SF / 36.5%
TREES REQUIRED (1 per 2500 sf)	7 TREES
TREES PROVIDED	48 TREES
NATIVE TREES REQ'D 50%	4 TREES
NATIVE TREES PROVIDED	4 TREES
ARTIFICIAL TURF MAX ALLOWED	25%
ARTIFICIAL TURF PROVIDED	25%

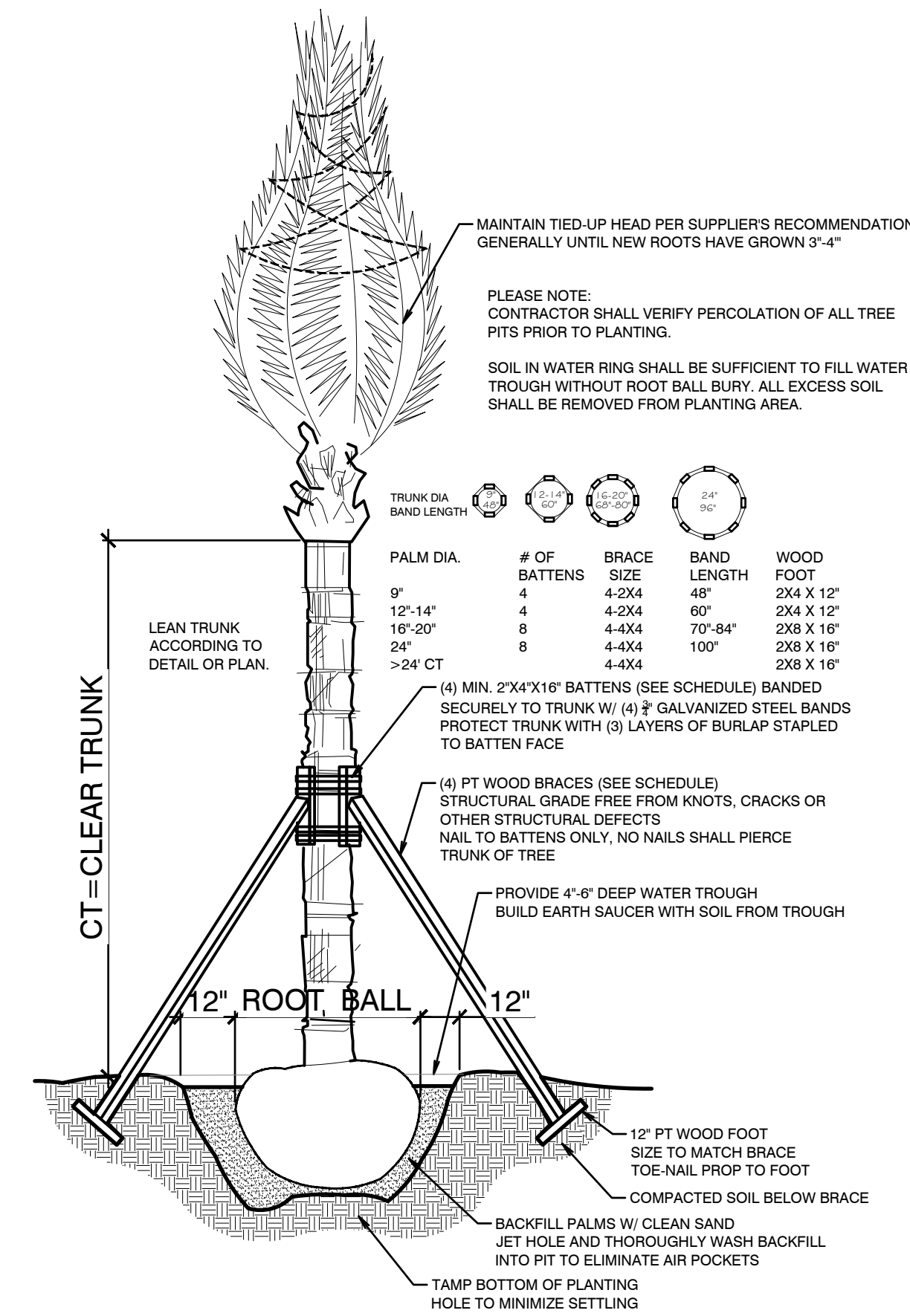


SHRUB/ GROUND COVER LAYOUT

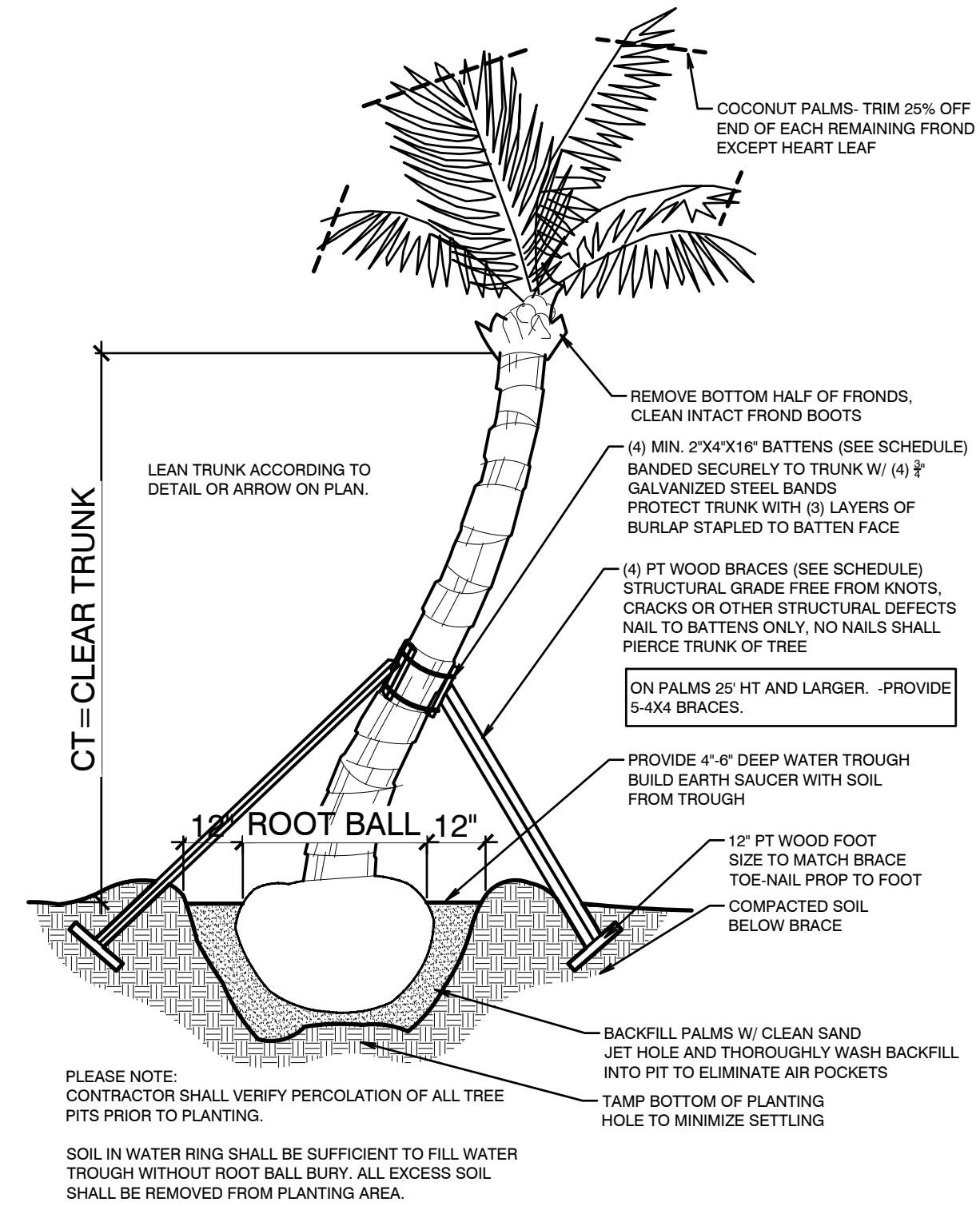


PLEASE NOTE: COMPLETELY REMOVE ALL SYNTHETIC MATERIALS

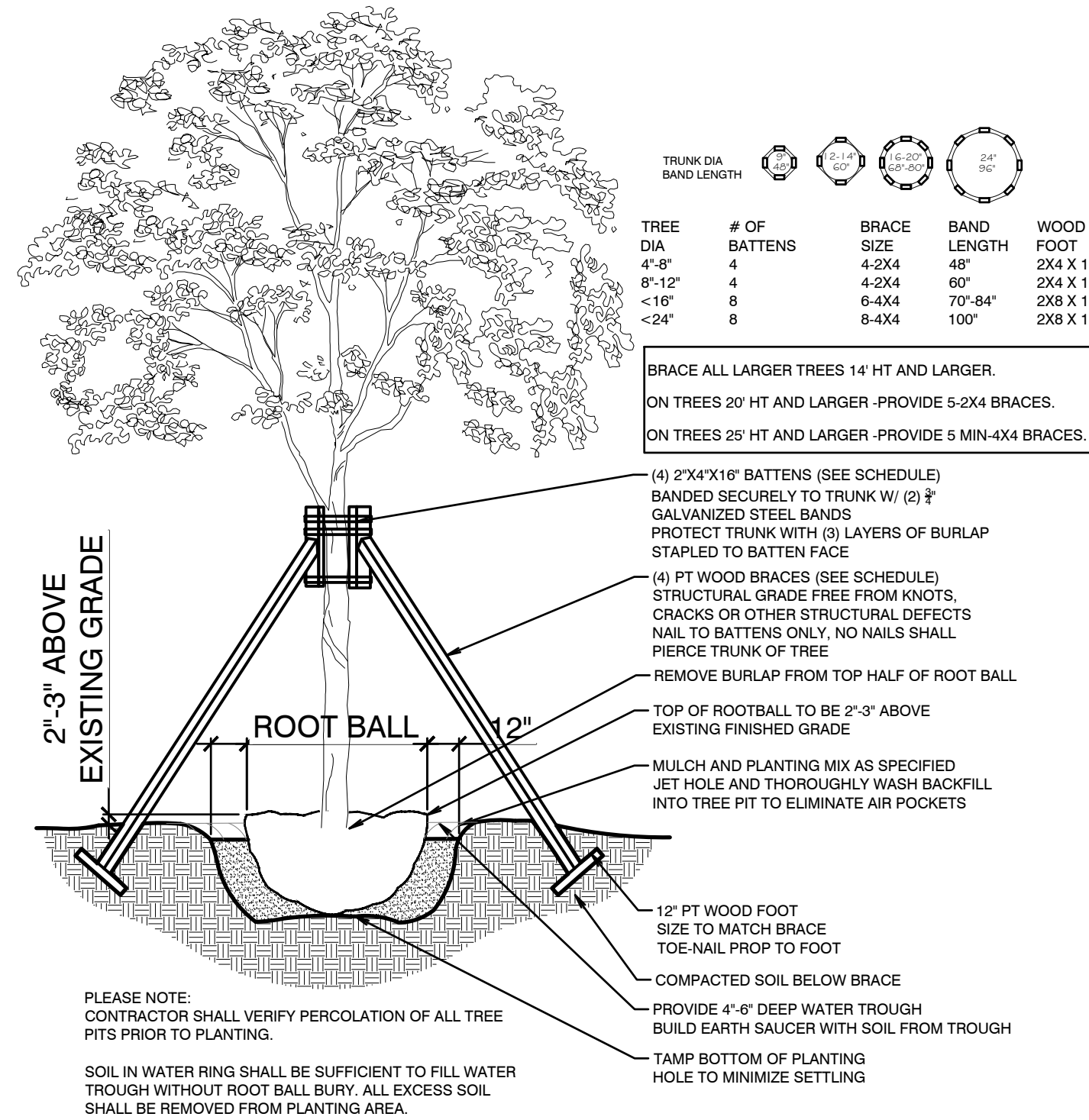
SHRUB/ GROUND COVER DETAIL



PALM PLANTING / BRACING DETAIL



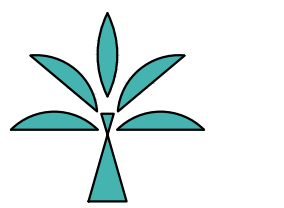
CURVED PALM PLANTING DETAIL



TREE PLANTING BRACING DETAIL

CALL SUNSHINE NO-CUTS 48 HOURS BEFORE YOU DIG. 1-800-432-4770.

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ISSUED FOR: 02/22/24

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3 HUDSON AVE
OCEAN RIDGE, FL 33435
OCEAN RIDGE, ZONING-RSF - SINGLE FAMILY RESIDENTIAL (46-OCEAN RIDGE), OVERLAY-NO

PLA DESIGN STUDIO

2385 NW EXECUTIVE CENTER DR., STE 240, BOCA RATON, FL 33431
STUDIO@PLADESIGNSTUDIO.COM | OFFICE: 561-318-5256

seal
Stephanie Portius FL Reg LA 6667215
Beth Dawson FL Reg LA 6667273

project number 24-001
drawn by JM/SP

sheet name

LANDSCAPE SCHEDULE AND DETAILS

ISSUED 02/22/24

sheet number

L-3

1.0 GENERAL

1.1 DESCRIPTION OF WORK:

A. Extent of landscape development work is shown on the Drawings and in the related Schedules.

B. The work consists of furnishing all plants, materials, equipment, necessary specialties and labor required for the installation of plant and other materials as shown on the Drawings and/or in the Specifications.

C. Excavation, filling and grading required to establish elevations shown on the Drawings are not specified in this Section. Refer to earthwork Section.

1.2 REFERENCE PUBLICATIONS:

The following standards form a part of the Specifications:

A. Florida Department of Agriculture "Grades and Standards for Nursery Plants", most recent edition.

B. American Joint Committee on Horticultural Nomenclature "Standardized Plant Names Dictionary"

C. The American Standard for Nursery Stock" (2004 edition).

D. American National Standards Institute-ANSI

-ANSI A300 and ANSI Z60.1-most recent edition

E. Florida Friendly Best Management Practices for Protection of Water Resources

by Green Industries, Florida Dept of Environmental Protection, Rev Dec 2008

F. IFAS -Institute of Food and Agricultural Sciences, University of Florida.

<http://hort.ufl.edu/woody/index.html>

1.3 INSTALLER - CONTRACTOR QUALIFICATIONS:

A. The Contractor shall be State licensed and regularly engaged in the installation of living plant material. Labor crews shall be controlled and directed by a landscape foreman professionally trained and well versed in landscape installation, plant materials, reading blueprints and coordination between the job and nursery and shall be able to communicate with the Owner and the Landscape Architect.

B. The Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workmen's Compensation Insurance.

1.4 SUBMITTALS: Refer to schedule of submittals.

1.5 COORDINATION:

A. Coordinate and cooperate with other trades and contractors to enable the work to proceed as rapidly and efficiently as possible.

B. The Contractor shall be responsible to pre-define plant installation. Install trees, large B&B material, shrubs, and ground cover plants before lawns are installed.

C. Commencement of Work: Landscape Contractor shall notify Landscape Architect at least 7 days in advance of scheduled commencement of work. Landscape Contractor shall review plans and/or field layouts with Landscape Architect at least 2 days prior to installation or on the site as needed

1.6 INSPECTION OF SITE: Prior to the award of the contract, the Contractor shall acquaint himself with all site conditions. Should utilities or other improvements not shown on the Drawings be found during excavations, Contractor shall promptly notify the Landscape Architect or Owner for instructions as to further action. Failure to do so will make Contractor liable for any and all damage arising from his operations subsequent to discovery of such utilities not shown on Drawings.

1.7 PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS:

A. The Contractor shall provide, install and maintain the necessary precautions to protect all persons and property, including the general public from harm or injury due to the work.

B. The Contractor shall take precautions to protect existing site conditions. Should damage be incurred, the Contractor shall repair the damage to return the object or area to its original condition at no additional charge.

C. Utility Locates - Regardless of utilities that may or may not be shown on the drawings, the Contractor shall be responsible to have utilities located in the area of work before the work commences. The Contractor shall also verify and comply with any requirements or clearances to plant materials that may be required by any Utility company.

1.8 CHANGES IN THE WORK: The Owner reserves the right to substitute, add or delete any material or work as the work progresses. Adjustment to the Contract Sum shall be approved by the Owner by a written Change Order, prior to execution. The Owner shall be given (2) week notice for the opportunity to review and approve all plant materials delivered to the job site prior to installation. When unit prices have been established, they shall prevail for all Contract Additions. For Contract Reductions, the Owner shall receive full credit, based on unit pricing, if changes are implemented prior to delivery of plant materials. If Owner changes are made prior to installation, Owner shall receive a credit for labor to install plants, less costs associated with purchase and delivery. The Landscape Architect assumes no financial or material responsibility for any changes made by, or on behalf of the Owner.

1.9 OWNER'S OBSERVATION:

A. The Landscape Architect of Owner assumes no responsibility for the Contractor's means and methods in the execution of this contract beyond the observation to ensure, to the Owner's satisfaction, that the Design Intent of the Drawings and Specifications are being properly interpreted. This observation and checking will not relieve the Contractor of any responsibility for the performance of his work in accordance with the Drawings and the Specifications (including proper planting practices or other material or performance deficiencies).

B. The Landscape Architect and Owner reserve the right to reject any portion of the work, material or workmanship which does not conform to the Contract Documents and Standard set forth herein.. Rejected work shall be removed and/or corrected by the Contractor, at his own expense, at the earliest possible time and prior to final payment.

1.10 PROJECT CONDITIONS:

A. Familiarization with Overall Project Requirements: The Contractor shall review and become familiar with the Design Intent of the Drawings and Specifications related to the Contractor's Work including but not limited to: Civil engineering and Drainage Plans, Architectural layouts, project area access, contractor equipment access, existing and proposed utility locations, Irrigation Plans, Outdoor Lighting Plans, Paving Plans, Project Sequence and Timing plans, Town/HOA/neighborhood requirements, etc.

B. Obstructions: The Contractor shall exercise care in digging and other work so as not to damage existing work, including underground pipes, sprinklers, control cables and hydrants of watering systems. Should such overhead or underground obstruction be encountered which interferes with planting, the Landscape Architect shall be consulted for consideration for alternate installation of plants to clear such obstructions. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

C. After notice to proceed, the Contractor shall complete landscape work in a timely manner, as portions of site become available. Actual planting shall be performed only when weather and soil conditions are suitable in accordance with locally accepted practice.

D. Contractor shall coordinate landscape and planting work with other trades, such as, the irrigation (sprinkler) installer, electrician, lighting installer, paving installer, and sod installer; Landscape installer shall coordinate to ensure that no plantings will interfere with the proper functioning of the sprinkler system. The Contractor shall point out to the Irrigation installer situations where minor adjustment or relocation or addition of sprinkler heads may be most beneficial for the water to reach the location of specimen plant materials, trees, palms and large shrubs shall prevail over irrigation head placement.

1.11 ACCEPTANCE:

A. At the discretion of the Owner, early acceptance of the work may be obtained for progress payment of approved phases; or when the time between commencement of the work and substantial completion exceeds 90 days (at no fault of the contractor). Early acceptance shall be contingent upon a satisfactory inspection of the completed landscape work by the Landscape Architect and/or the Owner.

B. Substantial Completion of the Work is the point in construction when the Work is sufficiently complete in accordance with the Contract Documents; all related clean-up has been performed; and the Landscape Architect provides an opinion that the Owner can utilize the work as intended.

C. Final Completion is the completion of all work included in the Contract Documents except the Contractor's responsibility to correct the work to the satisfaction of the Owner and the Landscape Architect. The Warranty Period and Maintenance period shall commence upon Final Acceptance.

1.12 WARRANTY PERIOD AND CORRECTION OF THE WORK:

A. For a period of twelve months from the date of acceptance, all new plant materials except grass shall be alive and healthy, upright and in satisfactory growth for each specific kind of plant. There shall be no signs of nutrient deficiency, disease or insect infestations.

B. Plants which are rejected shall be replaced or corrected within two weeks of rejection. Replacement material shall be the same species, size and quality as called for in the Contract. A new correction of the work period of twelve (12) months shall begin upon replacement and acceptance by the Landscape Architect of all replacement plants, this includes plants which are discovered at any time to have been planted at an improper depth.

C. The installer shall repair damage to other plants or lawns that occurs during the plant replacement process at no cost to the Owner.

D. Plants which have been approved and subsequently die or are damaged by washout, wind storm, traffic, vandalism, or demonstrable failure of the Owner to maintain after Substantial Completion of the Work is not covered in this correction of the work provision

2.0 PRODUCTS

2.1 MATERIALS LIST:

A. Plant species and size shall conform with the Plant List and information noted on the Drawings.

B. The quantities given in the Plant List are intended for the convenience and as a guide for the bidder and does not relieve the bidder of his responsibility to do a comprehensive plant take off from the Drawings. Information on the drawings control.

2.2 PLANT MATERIALS:

A. All plant material shall be nursery grown unless otherwise noted. Plants shall be graded Florida No. 1 or better and shall be sized as outlined under Grades & Standards for Nursery Plants, State Bar of Florida. Palms shall be grown from certified seed.

B. Collected material when specified or approved shall be in good health, free from disease, insect or weed infestation. Testing may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.

C. Plants materials must equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Those plants specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.

D. Height of plant materials shall be measured from the top of the ball to the top of the plant with branches (or fronds) in normal position. Their width shall be measured across the normal spread of the branches (or fronds). In cluster type palms the main trunk shall meet the height requirement and all other trunks shall be 3/4 or more of the required height unless otherwise noted on the drawings. Where symmetry is required, match plants used as nearly as possible to the satisfaction of the Landscape Architect.

E. Plants that meet the height requirements, specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted.

F. Abbreviations on the Drawings are as follows:

B&B - field grown plant "balled and burlapped"

cal - caliper/diameter measured at (152.4 mm) above soil line. For trunks larger than 4" (88.4 mm) diameter, the caliper measurement shall be determined at 12" above soil line.

CT - clear trunk measurement from top of ball to first branching.

CW - clear wood, in palms the distance from soil line to lowest living frond leaf base. **DBH** - caliper or diameter measured 4 feet (1.22 meters) above soil line

GW - Greywood, in palms, mature trunk from ground to base of the green crown shaft.

OA - overall height from top of ball to top of current season's growth or last open frond in normal position in palms.

Spd - spread or average distance across the average diameter of plant branching structure.

G - Root packaging and Containers: Plant materials in containers shall have a well established root system and shall not be root bound. All plant materials not in containers shall be balled and burlapped and dug with a firm natural ball of earth. Balls shall be firmly wrapped with burlap or similar biodegradable materials and bound with twine, cord or wire mesh. The minimum ball sizes will be in accordance with "Grades & Standards for Nursery Plants". No plant shall be accepted if the root ball has been cracked or broken. All containers and root balls shall be kept moist at all times. All plants which cannot be planted immediately on delivery shall be kept moist and protected from drying winds and sun.

H. Container Grown Plants: Plants grown in containers will be accepted as "B&B", providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the drawings. Plants in containers shall be balled and burlapped and dug with a firm natural ball of earth. Balls shall be firmly wrapped with burlap or similar biodegradable materials and bound with twine, cord or wire mesh. The minimum ball sizes will be in accordance with "Grades & Standards for Nursery Plants". No plant shall be accepted if the root ball has been cracked or broken. All containers and root balls shall be kept moist at all times. All plants which cannot be planted immediately on delivery shall be kept moist and protected from drying winds and sun.

I. Substitution: Plant substitution by the Contractor will be considered by Landscape Architect only upon submission of proof that the plant is not obtainable in the type and size specified. Should the specified plant indeed not be available, the Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without owner approval.

2.3 PLANTING SOIL: Planting soil shall be free draining, sandy loam and shall contain a 5% minimum and a 15% maximum amount of decomposed organic matter. Planting soil shall be free of clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. It shall have a pH between 6.0 and 7.0. Soil shall be delivered in a loose friable condition and applied in accordance with the planting specifications.

2.4 PEAT: Horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.

2.5 WATER:

A. Clean Water for planting will be available at the site and shall be provided by the Owner unless special provision is determined in the Contract Documents.

B. Contractor shall determine the source and suitability of the Owner's water. In the event the water source is not suitable, the Owner shall be given written notice of such at least two weeks prior to the commencement of Work.

2.6 SOIL TESTING:

A. Landscape Contractor shall provide testing of existing soils on Site for all soil types, including imported soils, in the planting area. No less than 2 representative samples shall be submitted to and tested by an independent professional testing lab for analysis and fertility recommendations.

B. Soil Testing Lab - Call for info, testing services, fees and Import permit.

Micro-Macro International P 706-548-4557 F 706-548-4891 Web: www.mmilabs.com

183 Paradise Blvd, Suite 10B, Athens, Georgia, 30607

2.7 COMMERCIAL FERTILIZER AND PLANTING AMENDMENTS:

A. Fertilizer and fertilization rates for the project shall be provided and applied based on the results of the soils test. Follow all Manufacturer's Label Rates and application recommendations.

B. Commercial fertilizer shall be slow-release organic formulation containing nitrogen, phosphorus and potassium, not to exceed an analysis of 6-6-6. Nitrogen shall be not less than 50% of the total N. Organic nitrogen and shall not be derived from the sodium form of nitrate. Iron shall be in the chelated form, not be less than 2% and magnesium shall not be less than 2%. Fertilizers shall be delivered to the site unopened in original containers, each bearing the manufacturer's ingredients and guaranteed analysis. Submit a copy of the Manufacturer's guaranteed analysis and proof of delivery to the Landscape Architect. Any fertilizer that becomes caked or otherwise damaged is unacceptable.

C. Microbial Additives: Mycorrhizal and microbial additives shall provided as specified in the Schedule of Soil amendments. Contractor shall submit a copy of the manufacturer's label/ product use instructions that include: all ingredients, guaranteed analysis and application rates. All supplements shall be supplied in fresh, unopened packaging prior to product expiration. Product that becomes caked or otherwise damaged is unacceptable and shall not be used.

2.8 MISCELLANEOUS LANDSCAPE MATERIALS:

A. Mulch: Shredded hardwood mulch-grade "A" -verifies color. Mulch shall not contain chunks larger than 1 inch (25.4 mm) in diameter, branches, stones or other foreign material that will prevent its eventual decay.

Alternate Mulches: Pine Bark Nuggets - Jumbo size, Pine Straw

B. Gravel Mulch: Provide samples of all gravels to Landscape Architect for approval prior to ordering. Gravel shall be used only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard, durable gravel, washed free of loam, sand, clay and other foreign substances. It shall be a minimum of 2" (44.2 mm) deep and shall be contained with gravel stops. It shall be a maximum of 1-1/2" (38.1 mm), a minimum of 3/4" (19 mm) and of a readily-available natural gravel color range.

C. Braces, Battens and Stakes-Provide braces, battens, stakes and deadman of sound new pressure-treated lumber, free of knot holes and other defects. Braces shall be pressure-treated 2x lumber (4x lumber where appropriate) and shall be secured to battens and stakes with a min of (2) -16D, db) head galv. forming nails. Battens shall be 2x4 pressure treated lumber and padded with burlap. Battens shall be secured to tree trunks with 3/4" Stainless steel or galvanized banding. Stakes shall be pressure-treated 2x lumber and shall be driven to within 2" of the surrounding grade. All exposed ground-stakes shall be painted with a high-visibility, contrasting fluorescent paint until substantial completion. Braces and stakes shall be repainted a dark walnut brown stain unless otherwise noted. Stakes and braces shall be placed within mulch beads and oriented away from walking areas.

D. Guys and Anchors: Provide one of the following: 1) wire guys shall be two- strand, twisted, pliable galvanized iron wire not lighter than 12 gauge. Provide new hose cut to required lengths to protect tree trunks from damage by wires. Hose shall be not less than 1/2" (12.7 mm) dia.; 2) Woven Polyethylene Webbing -shall be min 2" wide. Trunks and stems shall be wrapped at least twice and secured with adjustable knots. Stakes per Sec C, above.

E. Soil Mix for annual or seasonal color beds: 2 parts top soil, 1 part fine pine bark mulch (1/2" (12.7 mm) pieces, 1 part coarse sand and 50 pounds (1,866.2 kg) composted cow manure per cubic yard (.76455 cubic meters). Mix in Osmocote fertilizer and micro-organisms at label rates, see 2.7C.

F. Planter Soil Mixture: a loose, friable blend consisting of: 5 parts coarse sand, 2 parts peat humus or bagged topsoil and 3 parts pinebark; Mix in Osmocote fertilizer and microorganisms at label rates, see 2.7C.

3.0 EXECUTION

3.1 PREPARATION, SITE WORK AND COORDINATION:

A. Preparation: Contractor shall inspect the site to verify that finish grades (accurate within 2" (51 mm), have been established in accordance with Civil Engineer's Drainage Plan and the Landscape Architect's shaping and grading Plan or other job requirements prior to beginning any planting operations. Coordinate with Landscape Architect and General Contractor for release of areas before planting operations begin.

B. Rough Grading and Shaping - Rough grading and bulk filling of site shall be the general responsibility of the General Contractor unless otherwise noted. Rough grade shall include placement and distribution of bulk fill material sufficient to generally be within -4" of final grade for landscape and within -2" of final grade for sod areas. Rough grades shall conform with the general intent of the drainage and grading plans. Rough grades may be field adjusted to allow for fill as generated by planting activities.

C. Finish Grading - Finish and final grading shall be reviewed, approved and released by Landscape Architect or authorized Project Manager. Landscape Contractor shall notify LA/ Project Manager, in writing, 3 days before planting work in a given area is expected to commence. Finish Grades are the responsibility of the Landscape Contractor -including box blading and leveling of open sod areas

Finish grades of all planting areas shall be at 2" below pavement, after planting unless otherwise noted. Finish grades shall include any top soil and soil amendments as specified. If at any time the sub-grade is determined to be inadequate for proper design, the Project Manager should be given notification in writing.

D. Top soils -The supply, placement and grading of Top soils shall be the responsibility of the Landscape Contractor unless other determined in the Construction Documents.

E. Irrigation-The Landscape Contractor shall closely coordinate with the Irrigation installer. Irrigation system shall be installed according to Irrigation Plans and Specifications with any necessary field adjustments to complement the Landscaping Plans. Spray zones for sod and planted areas as described shall have 105% head to head coverage, matched precipitation rates and uniform water distribution with equipment as outlined. Drip emitters shall be installed per schedule. Drip and spray irrigation shall be fully operational and accepted before any mulch, stone, or mulch edging is installed. Above, landscape contractor is responsible for all fine grading subject to review and acceptance by Landscape Architect, before sod is installed.

F. Landscape Lighting - The Landscape Contractor shall closely coordinate with the Lighting installer. Outdoor and site lighting system shall be installed according to the Lighting Plans and Specifications with any necessary field adjustments to complement the Landscaping Plans. Landscape lighting conduit shall be coordinated and installed in conjunction with irrigation trenching where applicable. Lighting conduit shall be installed and/or adjust AFTER major trees and palms are installed and before shrubs/ground covers are installed. In-ground fixtures or other work requiring excavation, must be installed before sod, stone mulch and landscape mulch are installed. Lighting stub-ups/placements shall be reviewed approved and released by Landscape Architect before mulch, stone, ground covers or sod are installed.

G. Mulch, Edging and Stone Mulch-Before mulch of any kind is installed, Finish Grading, Operational Irrigation, Lighting conduit, in-ground fixtures and metal edging shall be in place and accepted and released by either Landscape Architect or General Contractor.

H. Sod - Before sod of any kind will be installed, Finish Grading, Operational Irrigation, Lighting conduit, in-ground fixtures, metal edging and mulch shall be in place and accepted and accepted by Landscape Architect. As noted above, landscape contractor is responsible for all fine grading subject to review and acceptance by Landscape Architect, before sod is installed.

I. Removal of Rubbish: Any objectionable materials, such as stones/construction debris be encountered during planting operations, they shall be promptly removed from the site by the landscape installer.

3.2 PROTECTION OF PLANTS:

A. Root Protection: All field grown trees, palms and plants shall be hand dug with sharp shovels or approved tree-spade. Backhoe-dug trees shall not be accepted. Roots shall be cleanly cut with sharp instruments. Balled and burlapped plants: plants designated "B&B" shall be dug with firm, moist earth of sufficient diameter to allow landscape contractor to install the fibrous and feeding root system, necessary for full recovery of plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants shall be "B&B". Trees, palms and plants shall not be dug during periods of excessive heat or drought unless supplemental water is applied for at least 5-7 days in advance.

B. Handling -containerized plants shall be handled by their container w/ proper support given to all parts of plant to prevent damage. Trees and palms shall only be handled w/ padded slings rated for 10x the weight of carried load. Trunks shall be wrapped min. 2X prior to cinch loop. No chain, rope or padded webbing shall be used to handle trees and palms.

C. Protection During Transporting: All plant material shall be protected from possible injury or breakage of branches. Provide all necessary splints, stakes, kraft paper wrapping and sleeves to secure and protect roots, stems and foliage of plant materials during shipment. All plants transported by open trucks or sea-containers shall be adequately covered to prevent windburn, drying or damage to plants.

D. Protection After Delivery: Plants which cannot be planted immediately on delivery to the site shall be kept moist at all times and provided protection from the drying of wind and sun. All plants shall be kept moist as necessary until planted. Storage period shall not exceed 72 hours. In plants cannot be installed within 48 hours, they shall be "heeled-in" earth trench rows and maintained in healthy, moist condition until final installation.

E. Protection of Palms: A minimum number of fronds shall be removed from the crown of palm trees to facilitate moving/handling. Remaining fronds shall be tied and braced if required.

F. Protection During Planting: Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, padding, wood battens or other approved methods.

G. Plants that show symptoms of bark compression, girdling or bark slippage or other damage are unacceptable.

H. Special Treatment and Handling: Sabal Palms (Cabbage Palms) shall be "hurricane cut" in the field prior to transport. Clear trunk shall be as specified after the minimum number of fronds have been removed. Sabal Palms shall be taken from moist, black specimen areas. All field dug palms, (except-Adonidia, Cocos, Phoenix, Washingtonia, Ptychosperma, Hypophorbe sp.) palms shall be root pruned for 2 months in advance of being lifted and moved. All palms shall be watered for 1 week prior to digging in the field. Heads shall have the lower 50% of fronds removed or as otherwise determined by Supplier. Heads shall be securely tied and secured before transporting. Heads shall remain tied-up until new root growth is visible or as otherwise determined by Supplier. All Palms shall have heads tied and braced during shipping & handling. Canary Date Palms shall have heads securely stabilized with 4x4 post splints

3.3 PLANTING OPERATIONS:

A. Layout: The location for plants and outlines of areas to be planted are indicated on the Drawings. All plant locations shall be laid out, painted/flagged in field by the Contractor, to the satisfaction of the Landscape Architect before planting operations commence. In general, all trees, palms and accent plants shall be laid out, planted and approved by the Landscape Architect prior to the layout of shrubs/ground covers. Notify Landscape Architect and Owner for directions if site conditions requires the addition of soil over existing roots or where construction or utilities below ground or overhead are encountered, or where changes have been made in the construction - DO NOT PROCEED - Any necessary adjustments will be directed by the Landscape Architect.

B. Clearances: Shrub/hedge material shall be planted a min. of 30" (0.75 m) away from wall or other obstructions (including parking stops). Groundcover (1 gal or less) material (except sod) shall be planted 16" (10.41 m) away from pavement or edging unless otherwise noted. Vines shall be attached with copper wire to brass screws in lead anchors to walls. Make minor adjustments as may be required.

C. All planting holes shall have straight, vertical sides and flat horizontal bottoms. The diameter of a hole shall not be less than twice the diameter of the root ball or 24 inches (609.6 mm) greater than the root ball, whichever is smaller. The depth of a hole shall not be deeper than the root ball. The bottoms of planting holes shall be tamped to minimize settling.

D. Contractor shall confirm that all planting holes are free draining and percolate water. If hardpan compacted soils, clay or rock are encountered, immediately notify Landscape Architect to determine remedial measures.

E. Backfill and Soil Amendments-Backfill shall be clean, fine, granular loamy soil unless otherwise noted. All palms shall be backfilled w/ clean, washed, salt-free sand. Clumpy or rocky soils shall be screened or replaced w/ appropriate material prior to backfilling. Refer to soil report recommendation for fertilizer type/rates. Additionally, Mycorrhizae and soil bacteria shall be added at the manufacturer's recommended rates (see 2.7c). The following minimum rates of soil mix apply: 1/2 cubic yard per tree and 1 cubic yard per 50 shrubs.

F. All plants shall be handled and installed in accordance w/ the Construction Documents and best appropriate horticultural practices. The soil in the planting hole shall be thoroughly set in the proper size of planting hole so that the top surface of the Root Collar/root ball will be 1"-2" above the final grade. Verify adequate percolation of the planting hole. Set plants straight and plumb unless otherwise noted. Select trees, palms and accents shall be leaned, oriented or faced as determined by Landscape Architect or as shown on the drawings.

G. B&B plants are set with bottom 1/3 of planting pit backfilled w/ existing site soil. Remove burlap, rope, wires, etc. from any trunk and top surface of balls. Do not remove burlap from underneath. All remaining wrapping material shall be biodegradable. No material shall encircle the trunk. Complete backfilling w/ native soil (or specified soil mix) and water thoroughly to remove voids. After planting has been completed, form a rough ground base, then plant, extending to the limits of the pit. Some wire wrapping and bundling may remain to maintain the integrity of the root ball. Review removal requirements in advance with the Landscape Architect.

H. Container Grown Plants: Shall, when delivered, have sufficient root growth to hold earth intact when removed from container and shall not be root bound. Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls. Containers shall be removed carefully to prevent damage to plant or root system.

3.0 EXECUTION CONT.

1. Remediation of Root Defects - The Contractor shall inspect all plant material for root defects including but not limited to: root-bound containers; circling roots; girdling roots; sub grade, embedded root collars; adventitious roots, etc. All Root Collars shall be exposed and visible at the time of planting. Plants with two (2) or more girdling roots; plants from root-bound containers; or plants with circling roots greater than 75% of the pot circumference shall be rejected and replaced at the Contractor's expense. Plants with minor root defects shall be trimmed with clean, sanitized, sharp tools according to proper horticultural practice prior to planting. Plants shall be well watered prior to, and after, root trimming procedures. Plants that die as a result of root pruning are considered excessively defective and shall be replaced at Contractor's expense.

External Circling Roots - shear off outer 1"-2" of rootball circumference

Internal Circling Roots - radial cuts to interrupt circle, remove 2" min. section of root.

Girdling Roots - cut and remove the 2" min section of the girdling root at the surface.

Root Knots - trim or remove. For more information- refer to University of Florida- IFAS Website <http://hort.ufl.edu/woody/index.html>

For Root management -Refer to <http://hort.ufl.edu/woody/roots.html>

J. Setting Trees and Shrubs: Unless otherwise specified, all trees and shrubs shall be planted in pits, centered to such depths that the finished grade level of the Root Collar, after settlement, shall be the same as, or slightly above, that at which the plant was originally grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. The Contractor shall be responsible to raise and re-set all plant materials where root collars are found below finish grade at their own expense.

Along slopes, a soil terrace shall be formed so that the top of the Root Collar is level with existing grade on the up-slope side. No burlap shall be pulled out from under the balls. Tree boxes, platforms, wire, lifting loops and surplus binding from top and sides of the balls, shall be removed. Some wire or binding may remain if tight and necessary for rootball integrity. Any broken and frayed roots shall be cut off cleanly. Backfill soil shall be placed and tamped thoroughly and shall be settled by watering. No filling around trunks or on top of root balls will be permitted. After the backfill settles, additional soil shall be filled in to the level of the finished grade allowing for 2" (44.1 mm) of mulch. Form a shallow saucer around each plant by digging a trough of soil along the edge of the plant pit. This trough shall be 3"-4" (75 mm) diameter. Specimen trees and Palms shall be equipped with supplemental irrigation (bubblers).

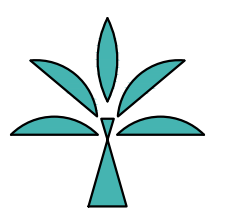
K. Setting Palms: All palms shall be planted in sand thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future watering.

L. Backfilling: When the plant pit has been excavated as specified above and the plant has been set, the pit shall be backfilled with clean soil mix. All backfill shall be watered thoroughly to settle and consolidate soil and eliminate voids. Provide a shall trough around the outside of the rootball for water retention. Tops of all rootballs shall be left exposed and free of soil backfill materials. Do not distribute any excess soil in any existing planted bed.

M. Pruning: Remove dead/broken branches from all plant material. Thin out internal branching and prune to retain type, growth habit of individual species with as much height and spread as is practicable. Make all pruning cuts with a sharp instrument next to branch collar to ensure elimination of stubs. Headback" or "Hat Rack" cuts, right angle to line of growth, will not be permitted.

N. Guying and Staking: Guy and stake all trees, including palms, immediately after planting. Trees less than 1 1/2" (38.1 mm) in caliper shall be staked with vertical wood or metal stakes along the trunk. Stake shall be driven through the root ball and embed 12" min. into sub-grade. Attach tree trunk to the stake with 3/4" width elastic pruning tape. Double wrap trunk to avoid chaffing. Tie firmly, but not tightly to the stake. Stake shall be cut off at least 12" below the top of the plant. Trees 1 1/2" (38.1 mm) in caliper and greater but less than 12" OA shall be guyed in 3 directions with double strands of No. 12 galvanized wire (or rated woven polyethylene webbing) attached to approved stakes or anchors driven into the ground.

O. Staking and Bracing: When staking palms and broadleaf trees, no nails or fasteners shall directly penetrate the trunks. Wood battens: 12"-16" min (304-406 mm) min. length; separated from trunk by burlap; attached to the trunk of the trees with galvanized or stainless steel metal banding. Stakes and burlap shall be secured with galvanized wire. Alternate methods of guying or staking may be employed with



ISSUED FOR:
02/22/24

1. ISSUED
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.

3 HUDSON AVE
 OCEAN RIDGE, FL 33435
 OCEAN RIDGE, ZONING-RSF - SINGLE FAMILY
 RESIDENTIAL (46-OCEAN RIDGE), OVERLAY-NO

PLA DESIGN STUDIO
 2385 NW EXECUTIVE CENTER DR., STE 240, BOCA RATON, FL 33431
 STUDIO@PLADESIGNSTUDIO.COM | OFFICE: 561-318-5256

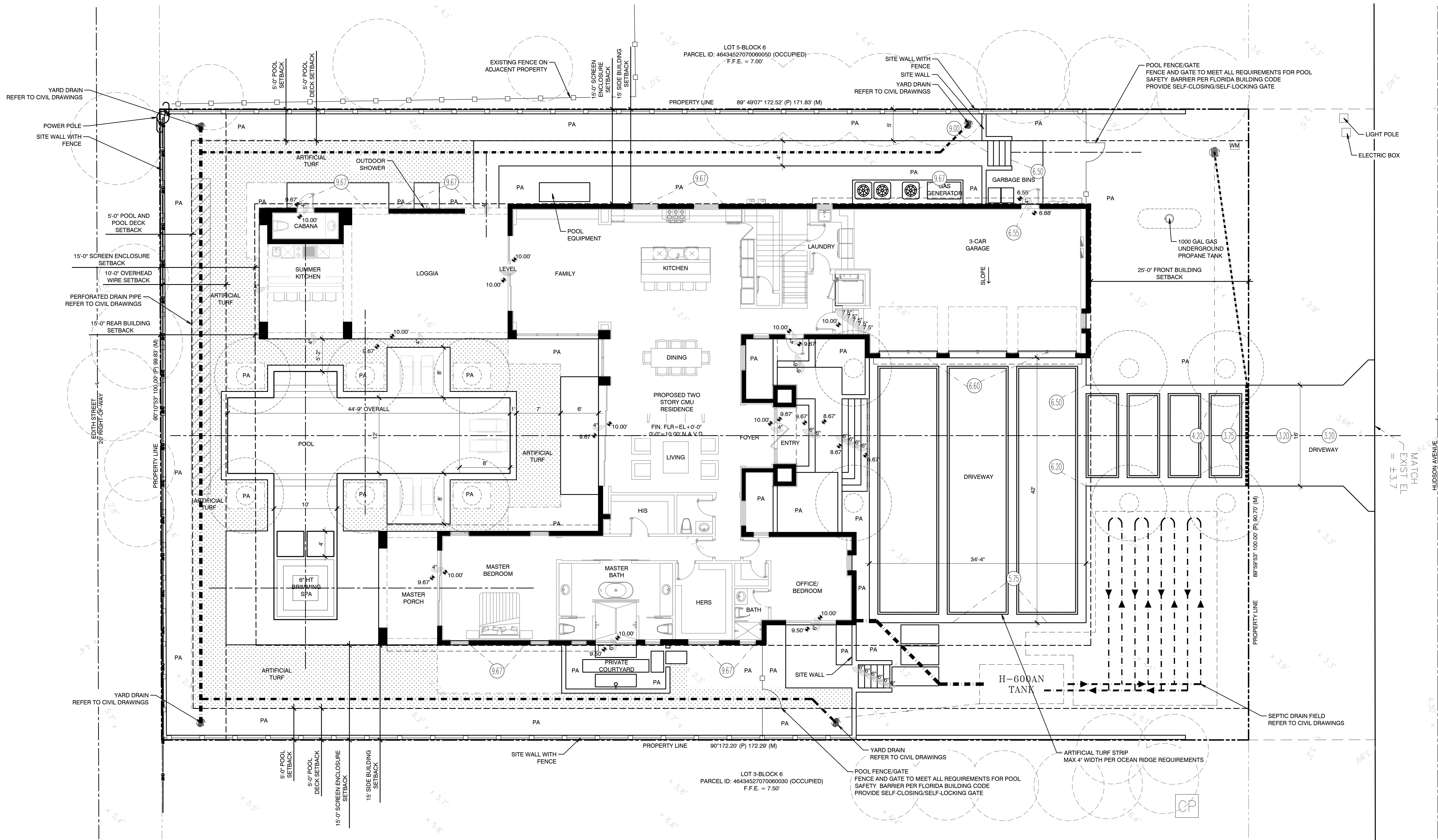
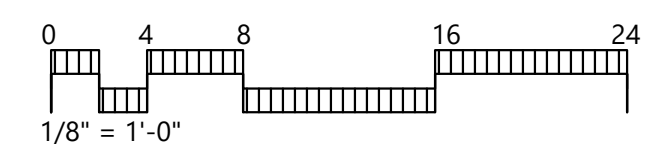
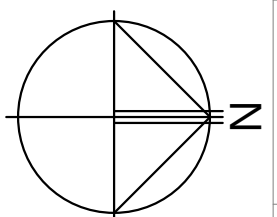
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 Stephanie Portus FL Reg LA 6667215
 Beth Dawson FL Reg LA 6667273
 project number 24-001
 drawn by BD/JM
 sheet name

HARDSCAPE PLAN

ISSUED
 02/22/24

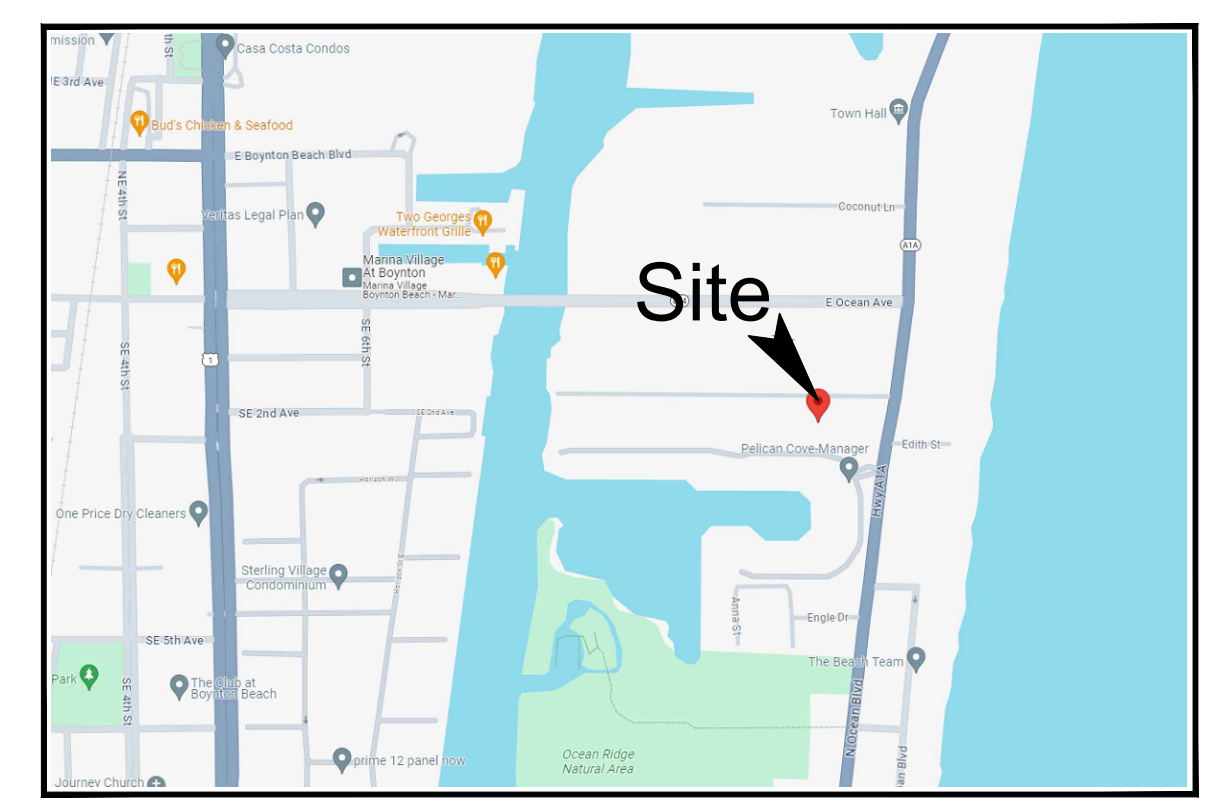
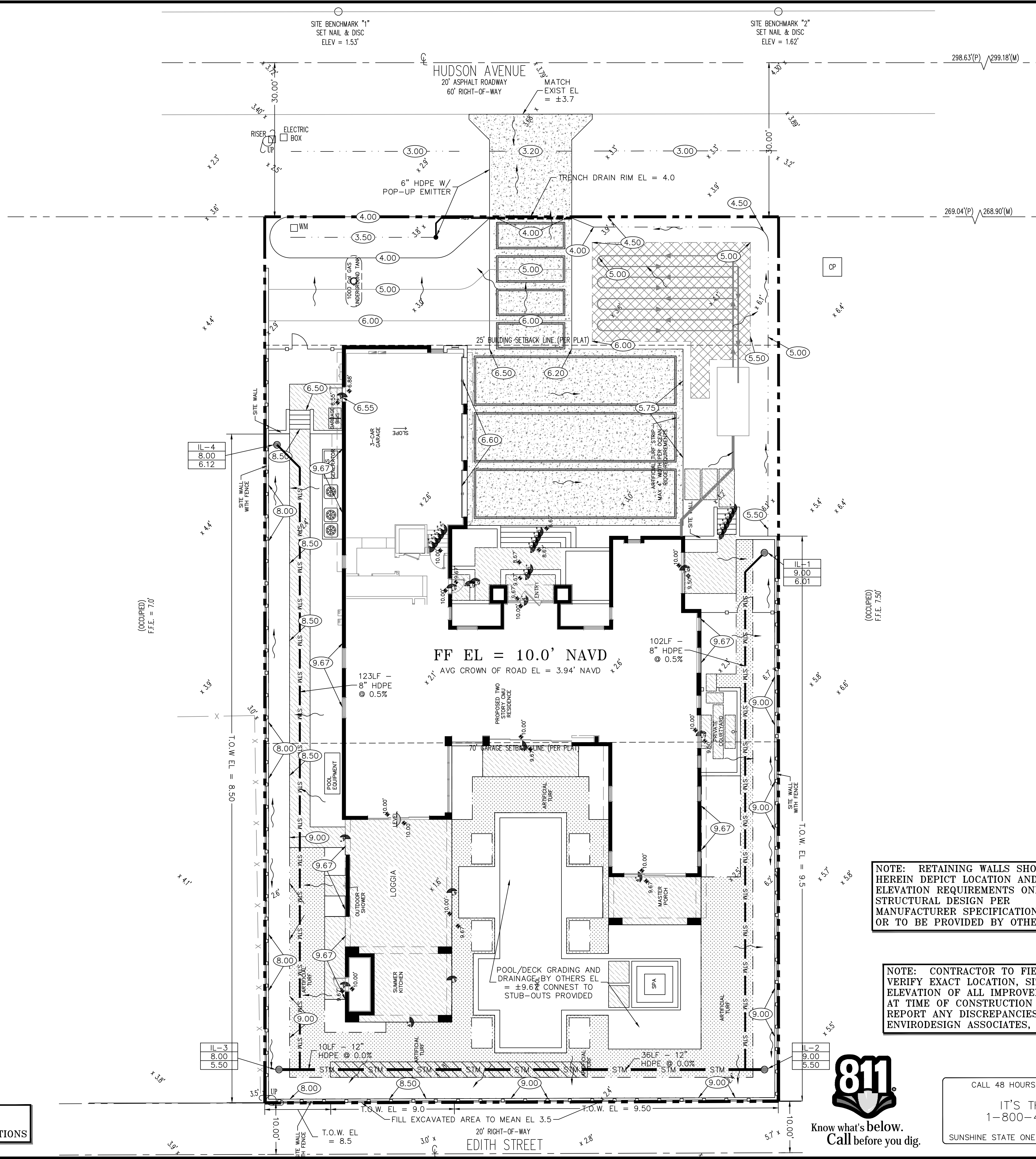
sheet number

H-1



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LOCATION MAP
N.T.S.

- LEGEND:**
- PROPERTY LINE
 - 11 SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
 - 16.5 PROPOSED ELEVATION
 - ~ DIRECTION OF FLOW
 - +4.7 EXISTING ELEVATION
 - [Pattern] DENOTES AREA OF PROPOSED CONCRETE PAVING
 - [Pattern] DENOTES AREA OF PROPOSED HARDSCAPE BY OTHERS - SEE LANDSCAPE PLANS FOR DETAILS
 - PROPOSED NYLO/IL CATCH BASIN
 - [Symbol] DENOTES 12" PERF HDPE PIPE IN X' WIDE X' DEEP ROCK TRENCH (BOTTOM EL = X.X' NAVD)
 - NYLO-1 STRUCTURE TYPE-NUMBER
6.00 RIM ELEVATION
3.50 INVERT ELEVATION
 - NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
 - IL INLINE YARD DRAIN
 - HDPE HIGH-DENSITY POLYETHYLENE PIPE
 - T.O.W. TOP OF WALL
 - TBD TO BE DETERMINED

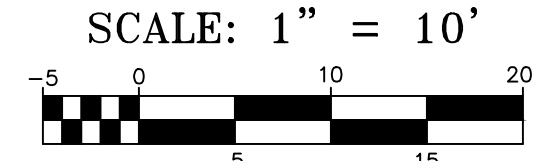
NOTE: RETAINING WALLS SHOWN HEREIN DEPICT LOCATION AND ELEVATION REQUIREMENTS ONLY. STRUCTURAL DESIGN PER MANUFACTURER SPECIFICATIONS OR TO BE PROVIDED BY OTHERS.

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.

NOTE: SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS & SPECIFICATIONS



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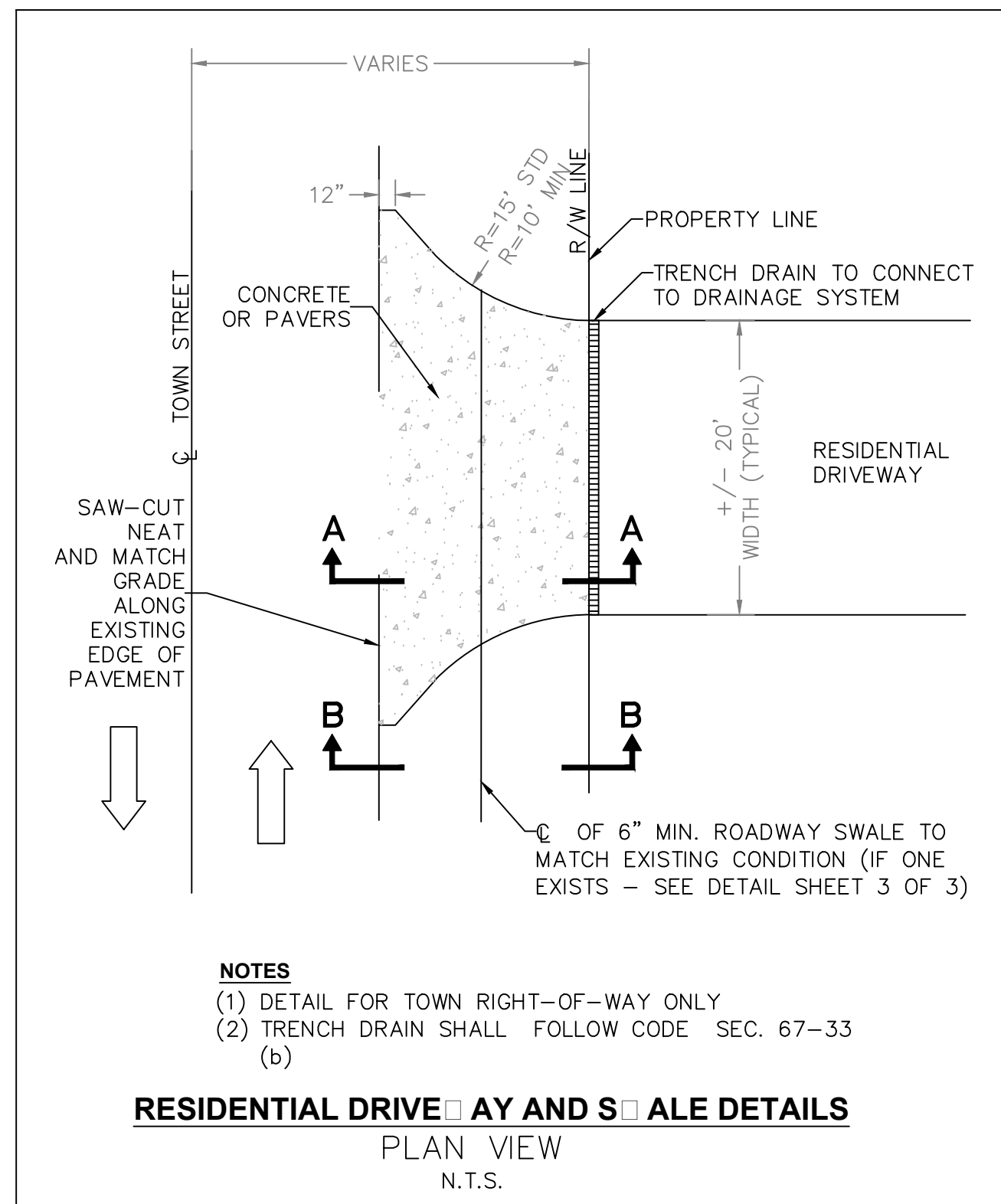
RC S R C

CIVIL SITE IMPROVEMENTS PLAN FOR:
SINGLE FAMILY RESIDENCE
3 HUDSON AVENUE
OCEAN RIDGE, FLORIDA

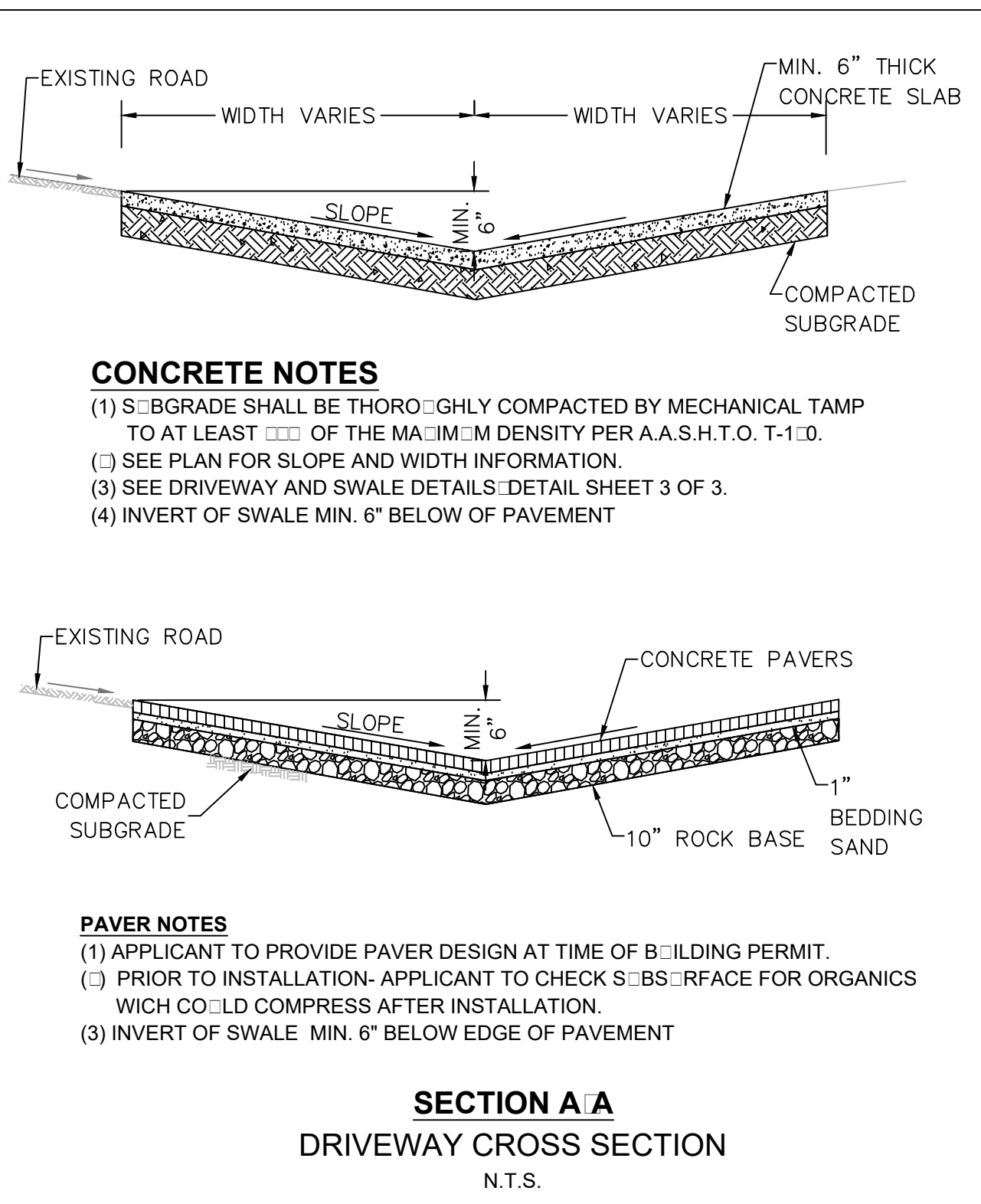
EnviroDesign Associates Inc.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
1855 Dr. Andres Way, Delray Beach, Florida 33445
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN: B.A.B.
CHECKED: J.A.P.
DATE: 02/23/24
JOB NO.: 24006-ENG
SHEET NO.: 1 OF 5

NOT VALID WITHOUT ENGINEER'S SEAL
JOSEPH A. PIKE, P.E.
FL REG # 42696

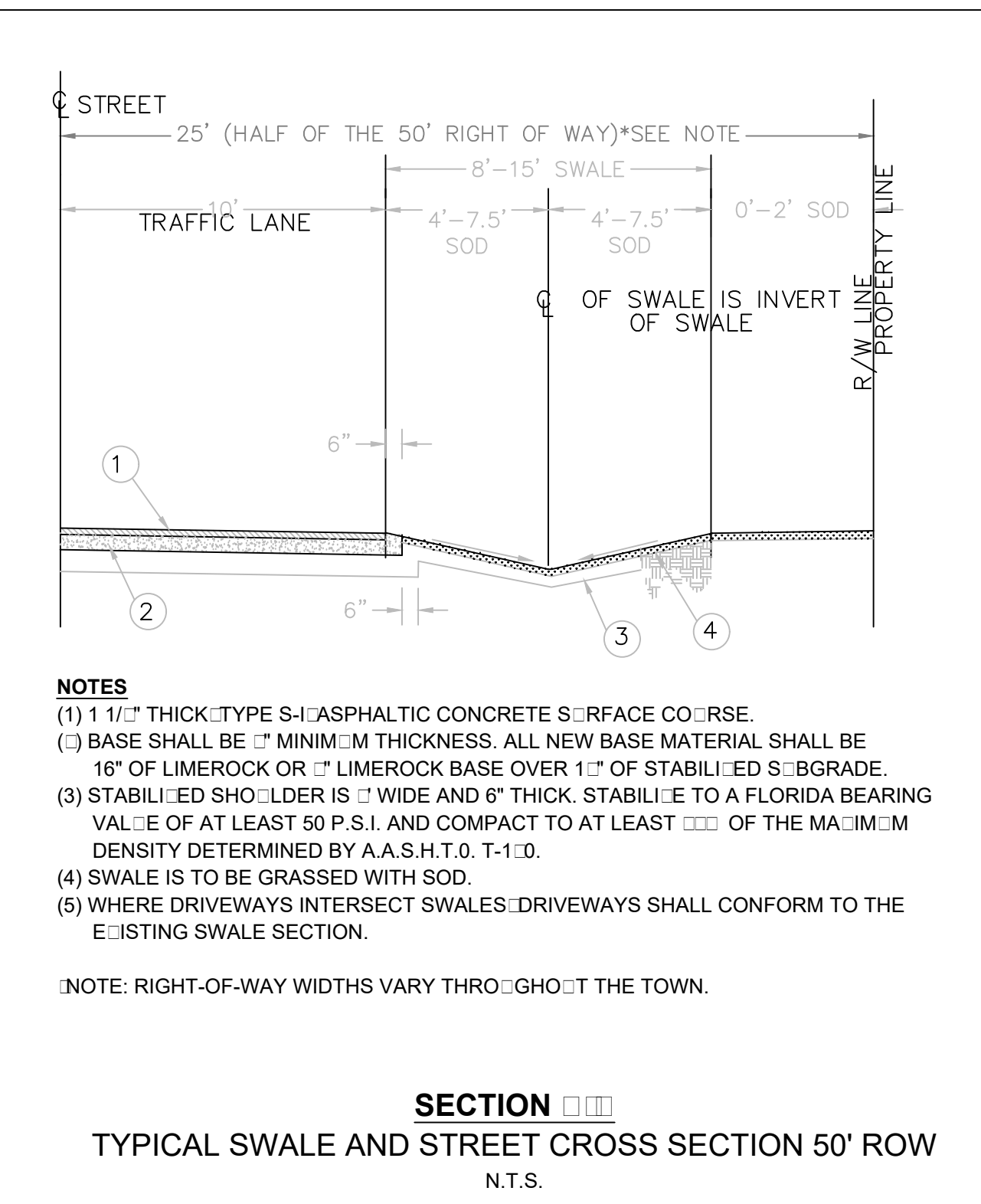


- NOTES**
- (1) DETAIL FOR TOWN RIGHT-OF-WAY ONLY
 - (2) TRENCH DRAIN SHALL FOLLOW CODE SEC. 67-33 (b)



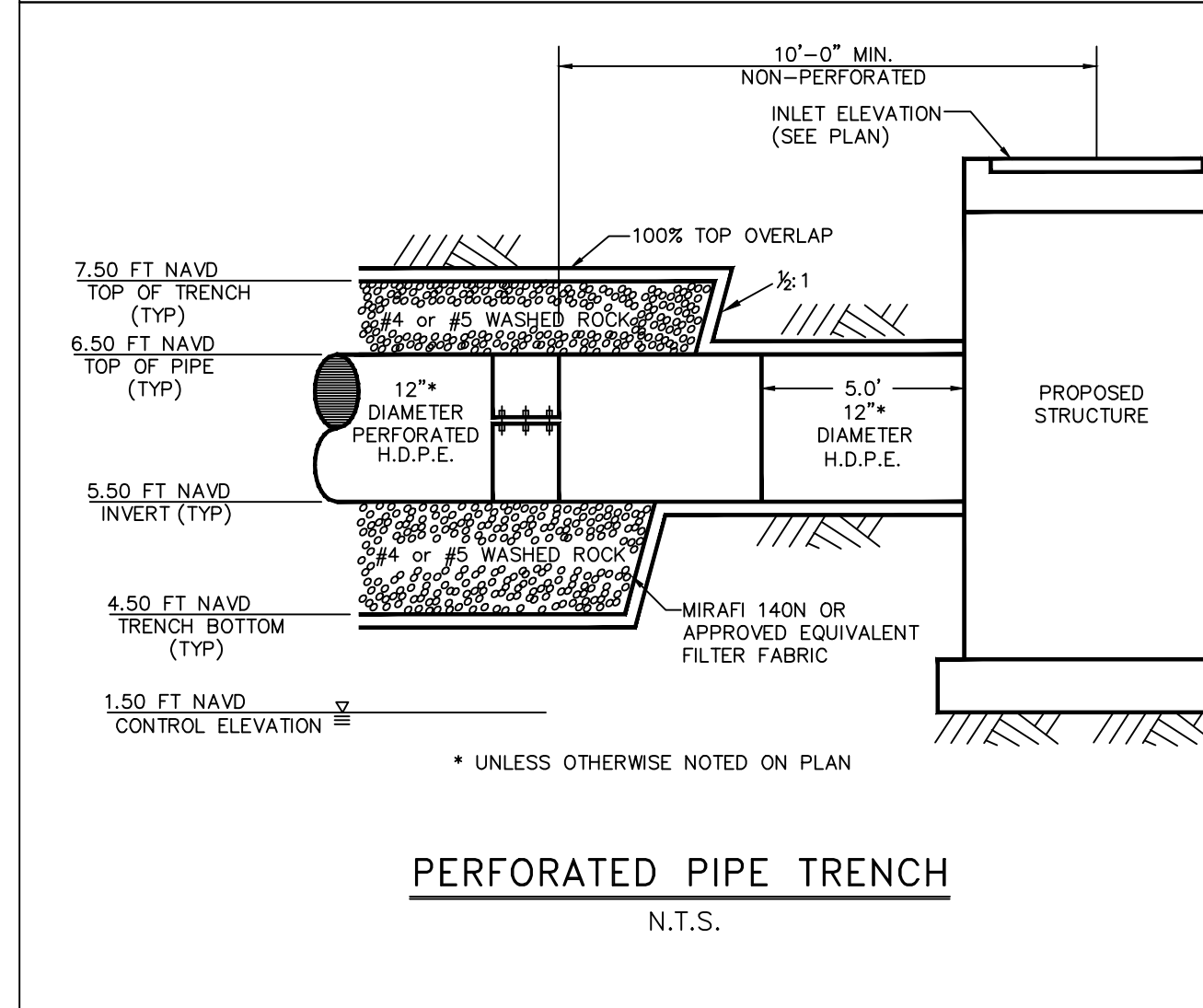
- CONCRETE NOTES**
- (1) SUBGRADE SHALL BE THOROUGHLY COMPACTED BY MECHANICAL TAMP TO AT LEAST 95% OF THE MAXIMUM DENSITY PER A.A.S.H.T.O. T-100.
 - (2) SEE PLAN FOR SLOPE AND WIDTH INFORMATION.
 - (3) SEE DRIVEWAY AND SWALE DETAILS, DETAIL SHEET 3 OF 3.
 - (4) INVERT OF SWALE MIN. 6" BELOW OF PAVEMENT

- PAVER NOTES**
- (1) APPLICANT TO PROVIDE PAVER DESIGN AT TIME OF BUILDING PERMIT.
 - (2) PRIOR TO INSTALLATION, APPLICANT TO CHECK SUBSURFACE FOR ORGANICS WHICH COULD COMPRESS AFTER INSTALLATION.
 - (3) INVERT OF SWALE MIN. 6" BELOW EDGE OF PAVEMENT

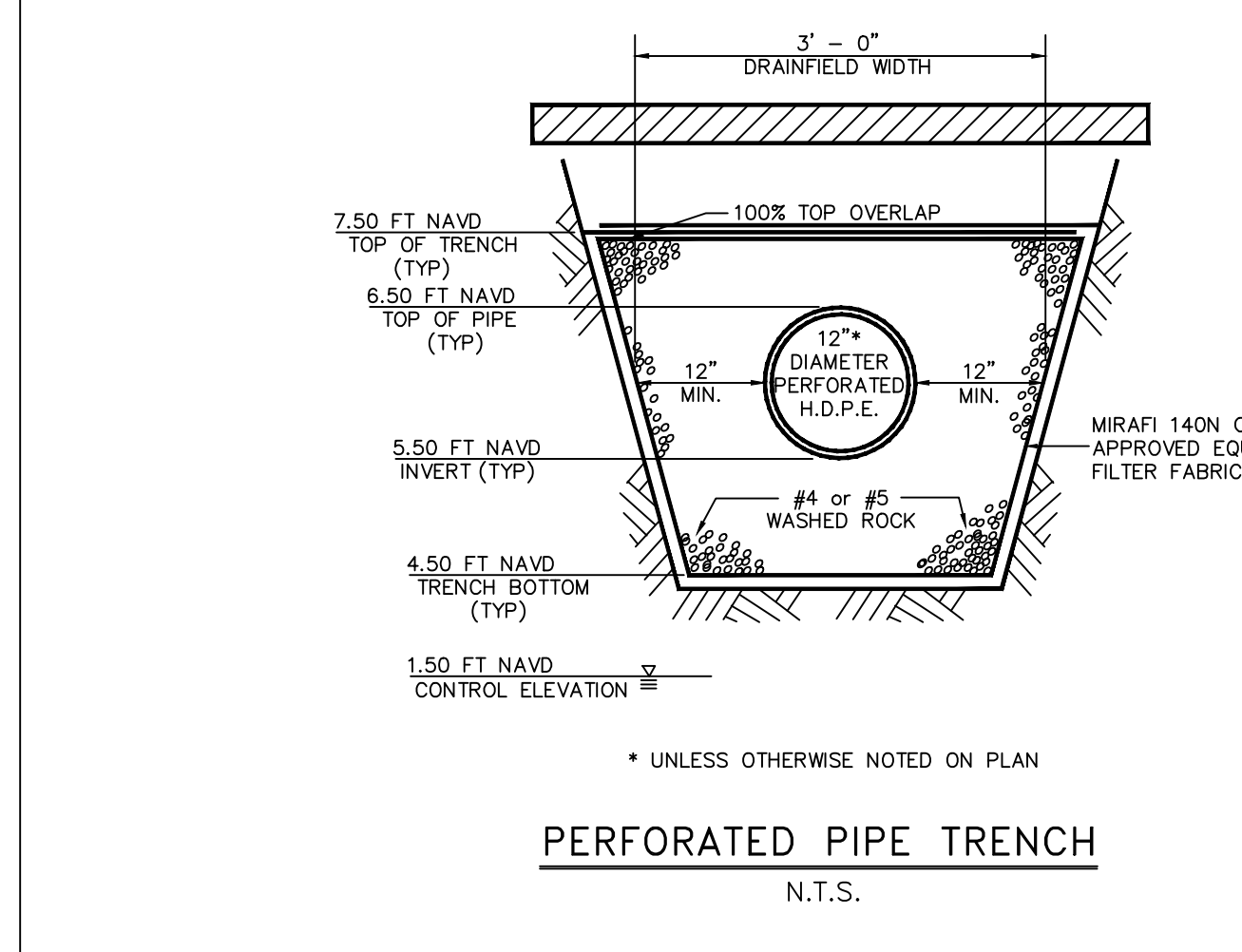


- NOTES**
- (1) 1 1/2" THICK TYPE 3 ASPHALTIC CONCRETE SURFACE COURSE.
 - (2) BASE SHALL BE 1" MINIMUM THICKNESS. ALL NEW BASE MATERIAL SHALL BE 16" OF LIMEROCK OR 1" LIMEROCK BASE OVER 1" OF STABILIZED SUBGRADE.
 - (3) STABILIZED SHOULDER IS 12" WIDE AND 6" THICK. STABILIZED TO A FLORIDA BEARING VALUE OF AT LEAST 50 P.S.I. AND COMPACT TO AT LEAST 95% OF THE MAXIMUM DENSITY DETERMINED BY A.A.S.H.T.O. T-100.
 - (4) SWALE IS TO BE GRASSED WITH SOD.
 - (5) WHERE DRIVEWAYS INTERSECT SWALES, DRIVEWAYS SHALL CONFORM TO THE EXISTING SWALE SECTION.

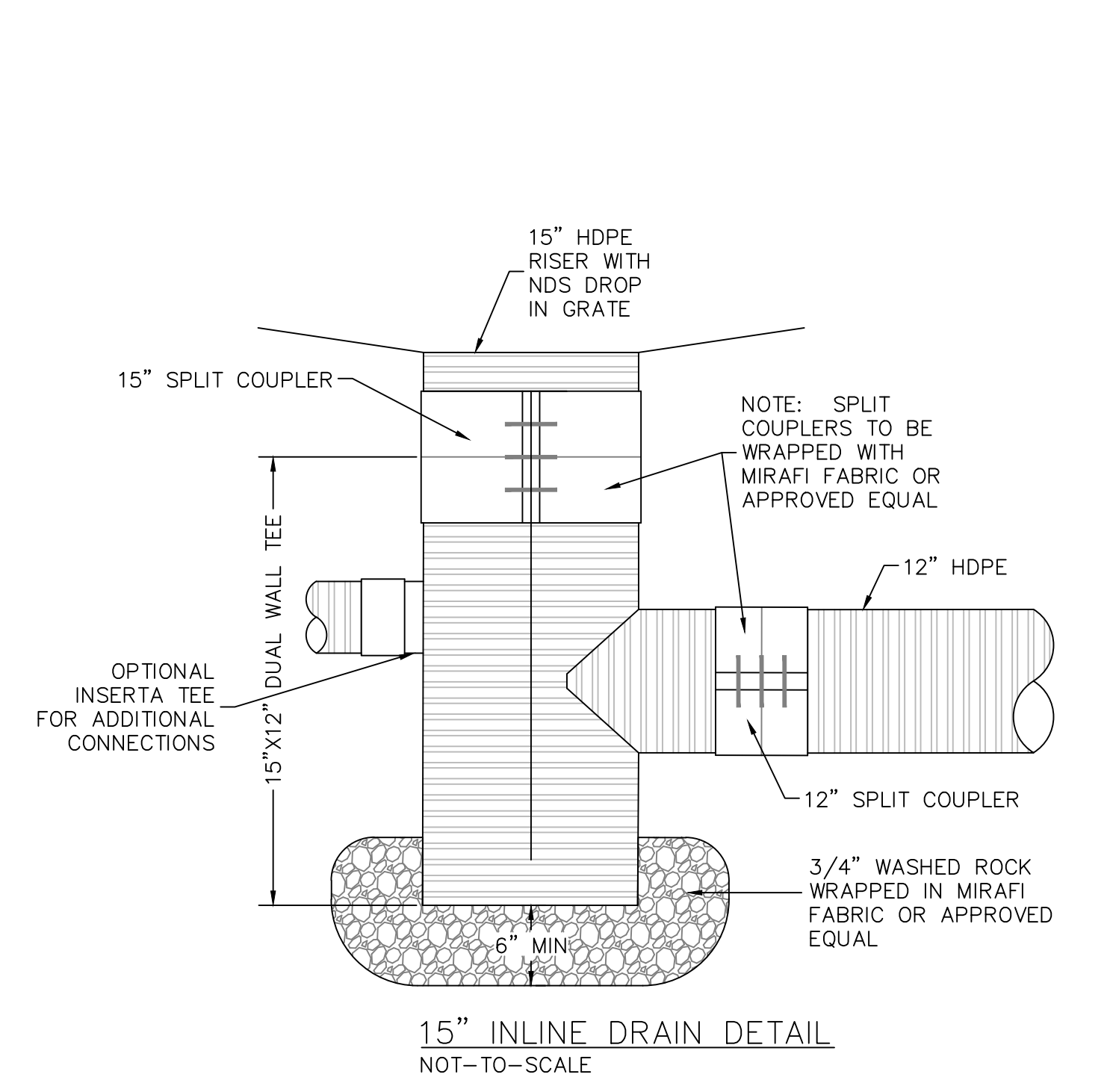
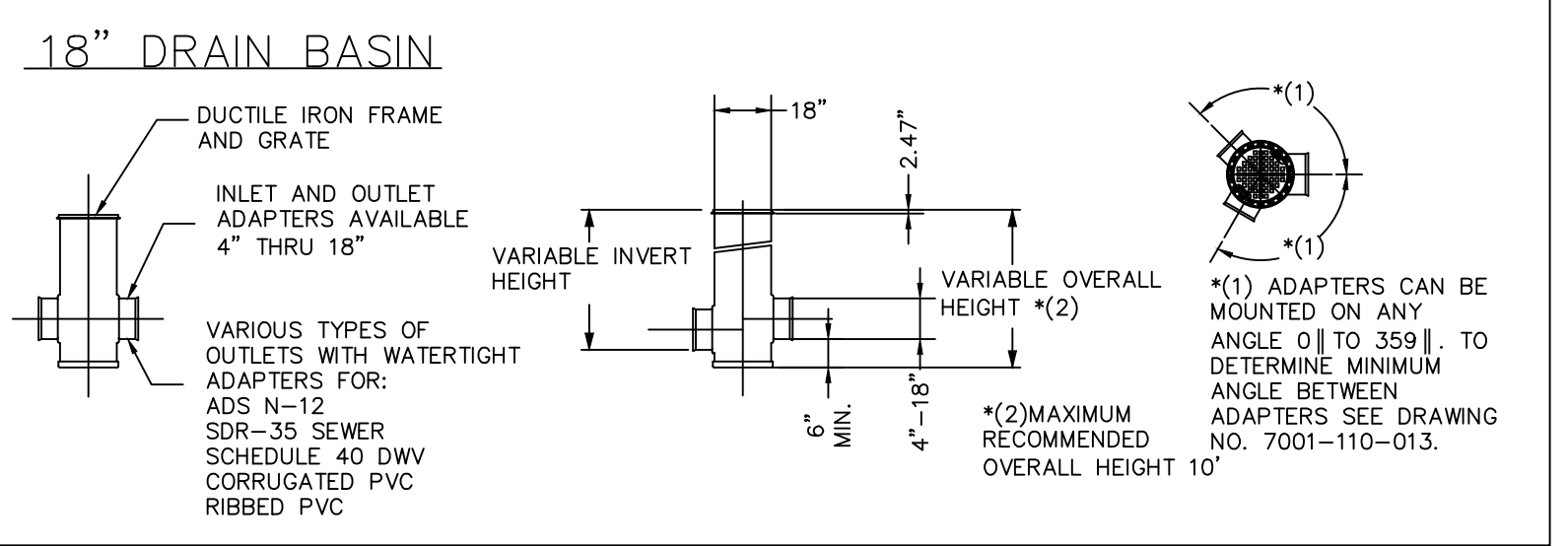
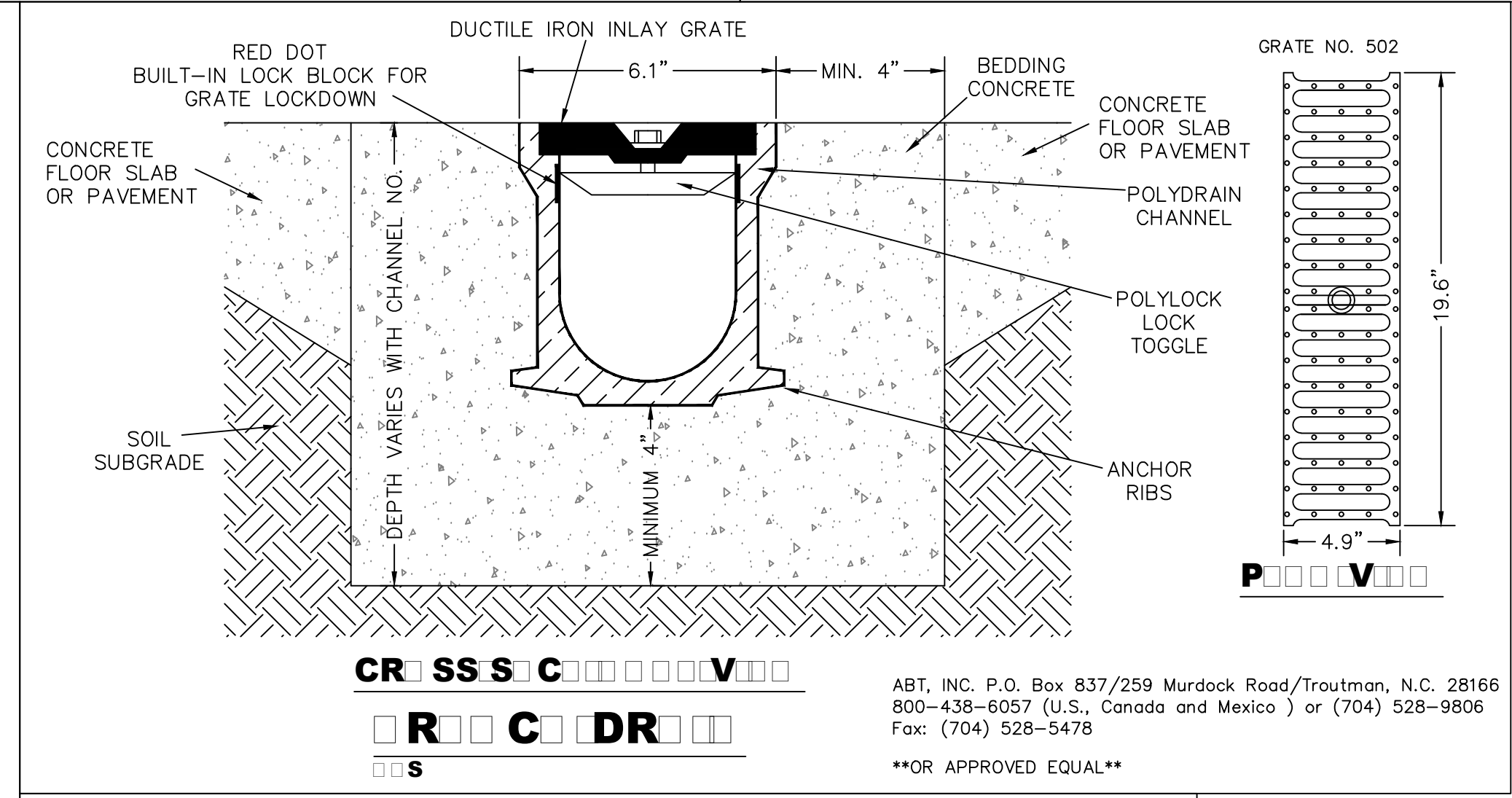
NOTE: RIGHT-OF-WAY WIDTHS VARY THROUGHOUT THE TOWN.



PERFORATED PIPE TRENCH
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PAVING & DRAINAGE DETAILS FOR:
SINGLE FAMILY RESIDENCE
3 HUDSON AVENUE
OCEAN RIDGE, FLORIDA

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FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
1855 Dr. Andres Way, Delray Beach, Florida 33445
Phone: (561) 274-6500

DRAWN:
B.A.B.

CHECKED:
J.A.P.

DATE:
02/23/24

JOB NO.
24006-DTL

SHEET NO.
2 OF 5

JOSEPH A. PIKE, P.E.
FL REG # 42696



RESIDENTIAL SEPTIC TANK CALCULATIONS
3 HUDSON AVENUE, OCEAN RIDGE #24006
1/31/2024

- Given:
- Design for 5303 sf of AC living area as indicated on architectural plans
 - Per Soils Engineer, Maximum Trench Loading Rate = **0.8 GPD/sf**

Type of System: DRIP IRRIGATION or Absorption Bed
 HOOT-1000 PBTS
 HOOT-600 PBTS

Flow Rate: (Per Table 1 of 62-6, single family residences with either 4 bedrooms or between 2,251 sf and 3,300 sf of living area must provide for flows of 400 G plus another 60 gpd for every add'l 750 sf or fraction thereof)
(5303 - 3300sf = 2003 => 2003 / 750 sf) = 3
=>> Flow Rate = 400gpd + (3x60) = **580.00**

Therefore, Flow Rate = 580 GPD

APPLICATION AREA REQ'D = (580 GPD / 0.8) X 60% = 435 Square Feet of Drainfield

** DRAINFIELD AND UNOBSTRUCTED AREA HAS BEEN REDUCED BY 40% THROUGH THE USE OF A HOOT H-600 AND AEROBIC TREATMENT UNIT AND DRIP IRRIGATION.

PROPOSED HOOT H-600 AND SYSTEM

Minimum 435 Square Feet of Drainfield 1 Zone(s) of Drip Irrigation
Minimum 653 Square Feet of Unobstructed Area
No Separate Trash Tank Req'd (Integral to Hoot 600)
H-600 AND HOOT Aerobic Treatment Unit with Min.218 LF of 0.9 gph subsurface drip irrigation line.
HOOT BLASTER Model H-20EB105 Pump

INSTALL: 225 LF of drip irrigation line with 1 zone(s), with a total of 225 drip heads (0.9 gph each)
Resulting Flow Rate = 202.5 gph or 3.375 gpm total (202.5 gph or 3.375 gpm PER ZONE)

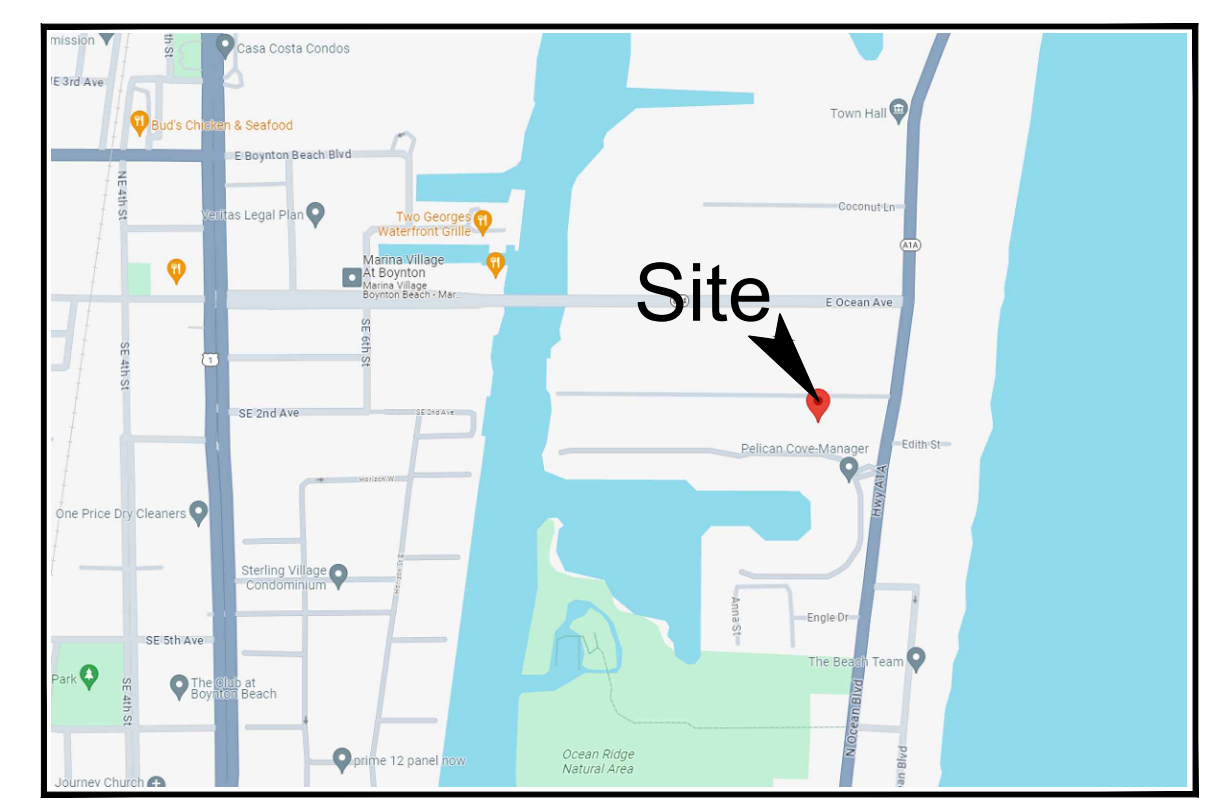
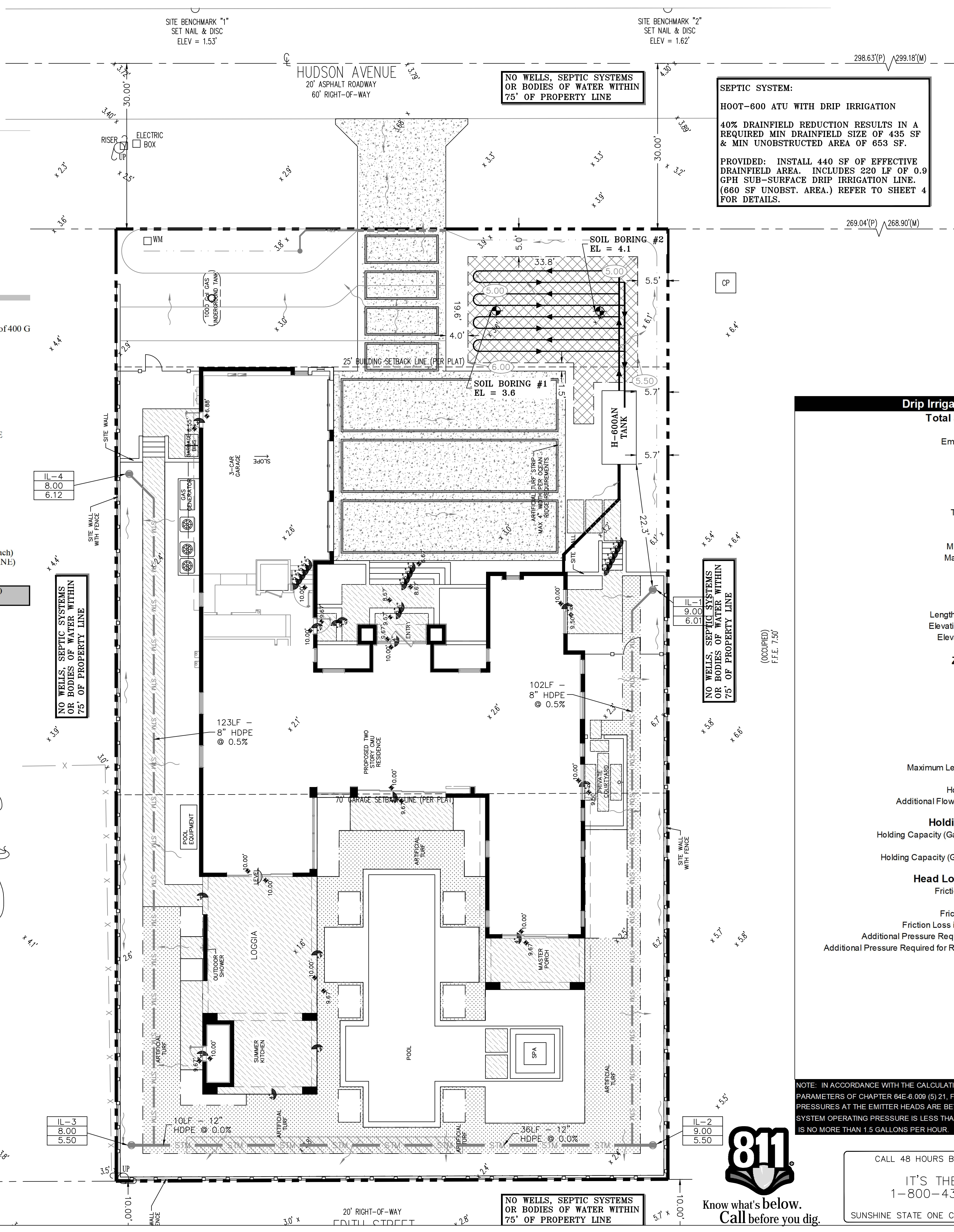
DOSING SCHEDULE: (24 EQUAL DOSES PER DAY)
Pump On Time: 7.17 Minutes (7.17 mins x 3.375 gpm x 24 Equal Doses Per Day)
Pump Off Time: 52.83 Minutes TOTAL: 580.8 GPM PER DAY

LEGEND:

- PROPERTY LINE
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF SEPTIC DRAINFIELD UNOBSTRUCTED AREA
- SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE

NOTE: CHAPTER 62-6.002,(54), DEFINES SWALES AS HAVING "A TOP WIDTH-TO-DEPTH RATIO OF THE CROSS-SECTION EQUAL TO OR GREATER THAN 6:1, OR SIDE SLOPES EQUAL TO OR GREATER THAN 3 FEET HORIZONTAL TO 1 FOOT VERTICAL." ALL SITE GRADING SHOWN HEREIN, HAS TOP WIDTH-TO-DEPTH RATIOS THAT ARE FLATTER THAN 6:1 AND SIDE SLOPES THAT ARE FLATTER THAN 3 FEET HORIZONTAL TO 1 FOOT VERTICAL. ACCORDINGLY, THE SITE GRADING SHOWN HEREIN DOES NOT MEET THE DIMENSIONAL REQUIREMENTS TO BE DEFINED AS A SWALE AND ARE NOT SUBJECT TO THE SETBACK REQUIREMENTS OF SWALES IN 62-6.

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



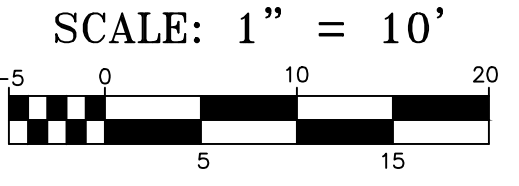
SEPTIC SYSTEM:
HOOT-600 ATU WITH DRIP IRRIGATION
40% DRAINFIELD REDUCTION RESULTS IN A REQUIRED MIN DRAINFIELD SIZE OF 435 SF & MIN UNOBSTRUCTED AREA OF 653 SF.
PROVIDED: INSTALL 440 SF OF EFFECTIVE DRAINFIELD AREA. INCLUDES 220 LF OF 0.9 GPH SUB-SURFACE DRIP IRRIGATION LINE. (660 SF UNOBST. AREA.) REFER TO SHEET 4 FOR DETAILS.

Drip Irrigation Calculation Outputs	
Total System Information	
Application Area Required (square feet)	435
Emitter Discharge Rate (GPH)(Maximum = 1.5GPH)	0.90
Emitter Spacing (inches)	12
Space between Dripperline (feet)	2
Total Amount of Bioline® Required (feet)	218
Total Number of Emitters in the Dripfield	218
Total Amount of Bioline® Provided (feet)	225
Total Number of Emitters Provided in the Dripfield	225
Flush Velocity	2.5
Inlet Pressure (psi)	25
Minimum Operating Pressure at Emitter Head (psi)	10
Maximum Operating Pressure at Emitter Head (psi)	45
Maximum System Operating Pressure (psi)	60
Estimated Pump Flow Rating (GPM)	20
Size of Supply & Manifold Pipe (inches)	1.25
Type of Supply & Manifold Pipe	PVC Sch80
Length of Supply Line & Supply & Flush Manifolds (feet)	170
Elevation Change from Pump to Dose Tank Outlet (feet)	0.2
Elevation Change from Dose Tank to Drip Field (feet)	1.0
Zone Information	
Number of Zones	1
Number of Daily Dosing Per Zone	24
Total System Dosing Events Per Day	24
Amount of Bioline® Per Zone (feet)	225
Number of Emitters Per Zone	225
Minimum Number of Laterals Per Zone	2
Maximum Number of Laterals Per Zone	11
Number of Laterals That Will be Used	3
Maximum Length of Bioline® Laterals Based on Inlet Pressure	137
Flow Rate Per Zone (GPM)	3.38
Holding Capacity of Dripperline Per Zone (Gallons)	3.0
Additional Flow Requirement to Accommodate Flushing Velocity	6.0
Holding Capacity of Piping	
Holding Capacity (Gallons) of Supply Line & Supply & Flush Manifolds	11.3
Holding Capacity (Gallons) of Bioline	3.0
Holding Capacity (Gallons) of Supply Line, Manifolds and Dripperline	14.3
Head Loss Data - Flushing Cycle	
Friction Loss per 100' (psi) in Supply Line & Manifolds	0.8
Velocity (fps)	2.3
Friction Loss in Supply Line & Supply Manifolds (psi)	1.4
Friction Loss in Supply Line & Supply Manifolds (Feet of Head)	3.2
Additional Pressure Required for Return Manifold and Piping to Tank (psi)	12.0
Additional Pressure Required for Return Manifold and Piping to Tank (Feet of Head)	27.7
TDH (Total Dynamic Head in Feet of Head)	89.9
TDH (Total Dynamic Head) in psi	39.0
Total System Dosing Events Per Day	24
Pump Selection	
Pump Flow Rating (GPM)	9.4
TDH (Total Dynamic Head in Feet of Head)	89.9
Pump Manufacturer	HOOT BLASTER
Pump Model	H-20EB 105

NOTE: IN ACCORDANCE WITH THE CALCULATIONS ABOVE, THE SYSTEM MEETS THE OPERATIONAL PARAMETERS OF CHAPTER 62-6.009 (5) 21, FOR DRIP IRRIGATION SYSTEMS. NAMELY, THE OPERATING PRESSURES AT THE EMITTER HEADS ARE BETWEEN 10 PSI AND 45 PSI. ADDITIONALLY, THE MAXIMUM SYSTEM OPERATING PRESSURE IS LESS THAN 60 PSI AND THE MAXIMUM DISCHARGE RATE PER EMITTER IS NO MORE THAN 1.5 GALLONS PER HOUR.



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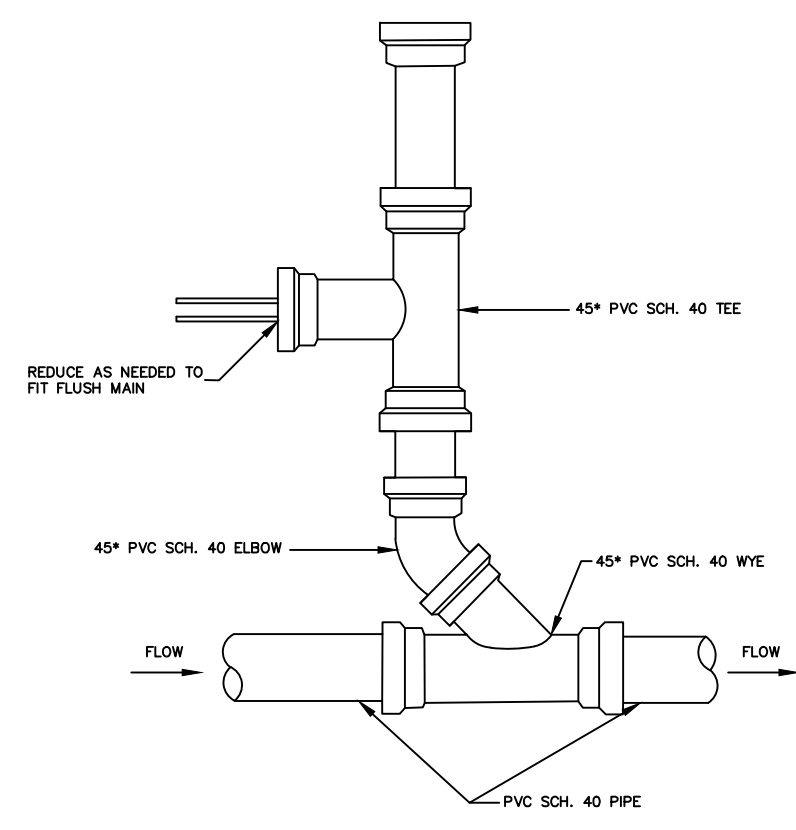


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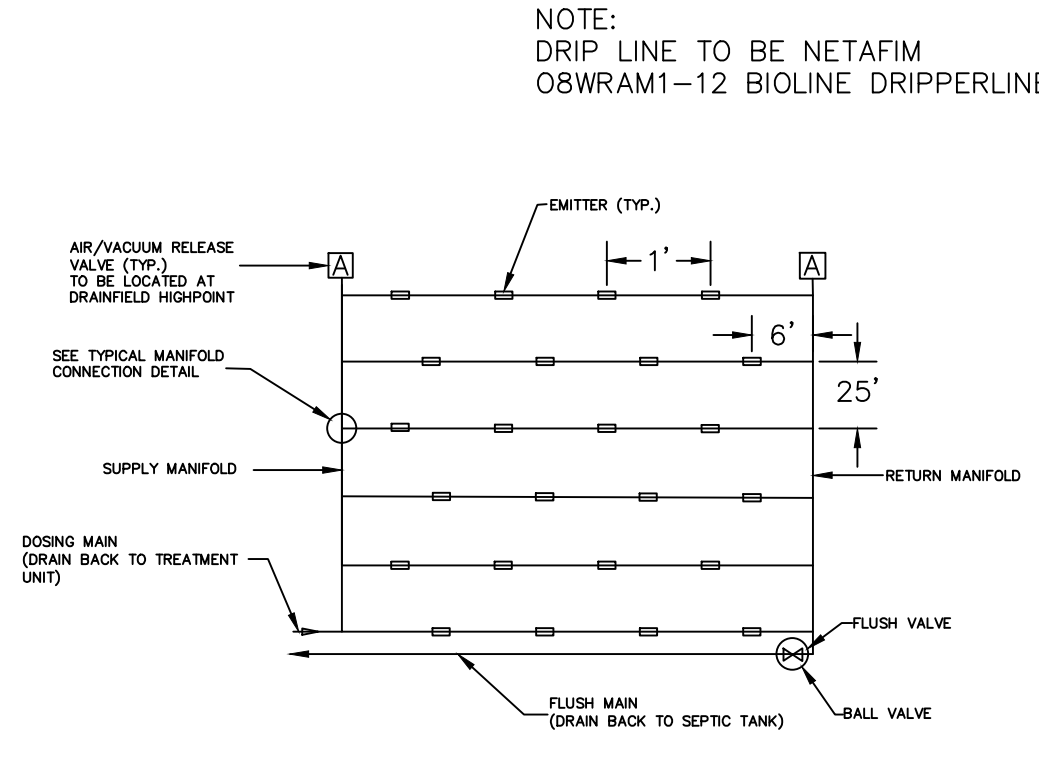
SEPTIC SYSTEM PLAN FOR:
SINGLE FAMILY RESIDENCE
3 HUDSON AVENUE
OCEAN RIDGE, FLORIDA

ENVIRODESIGN ASSOCIATES INC.
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
1855 Dr. Andrew Way, Delray Beach, Florida 33445
Phone: (561) 274-6500 Fax: (561) 274-8558

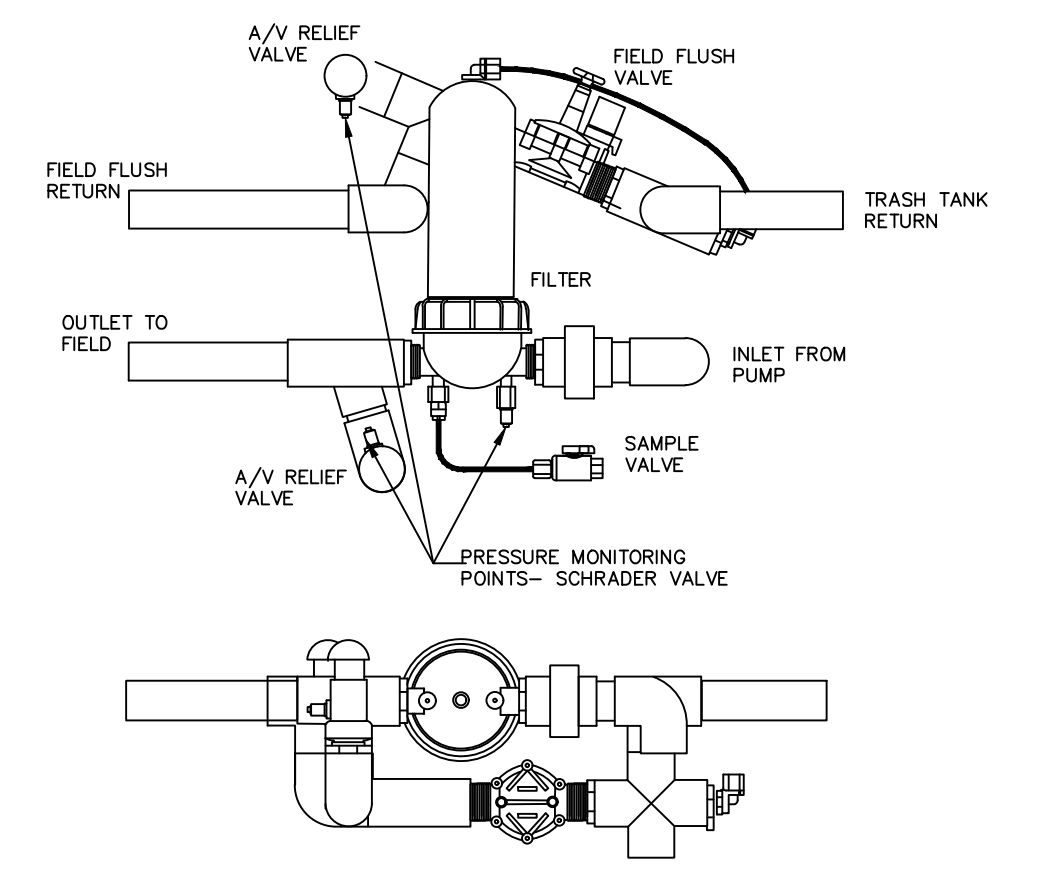
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DATE: 02/23/24
JOB NO. 24006-SEPTIC
SHEET NO. 3 OF 5



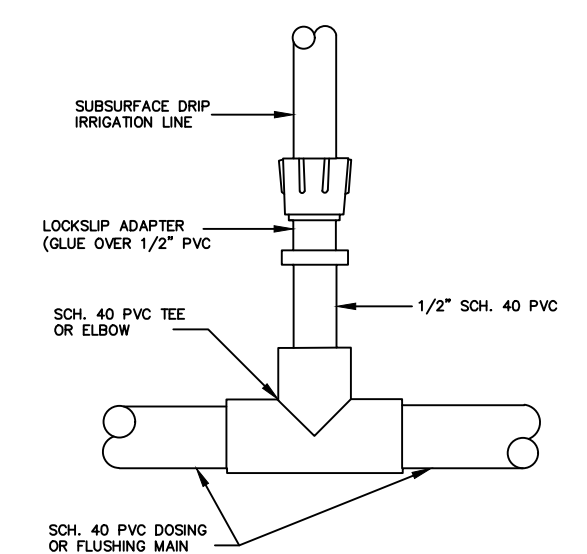
FLUSH MAIN CONNECTION DETAIL
N.T.S.



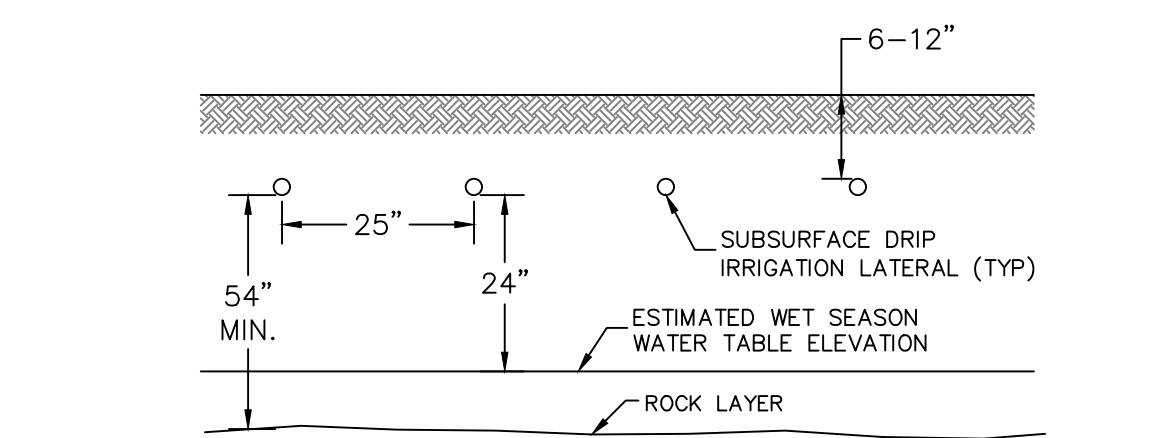
TYPICAL DRIP IRRIGATION FIELD LAYOUT
N.T.S.



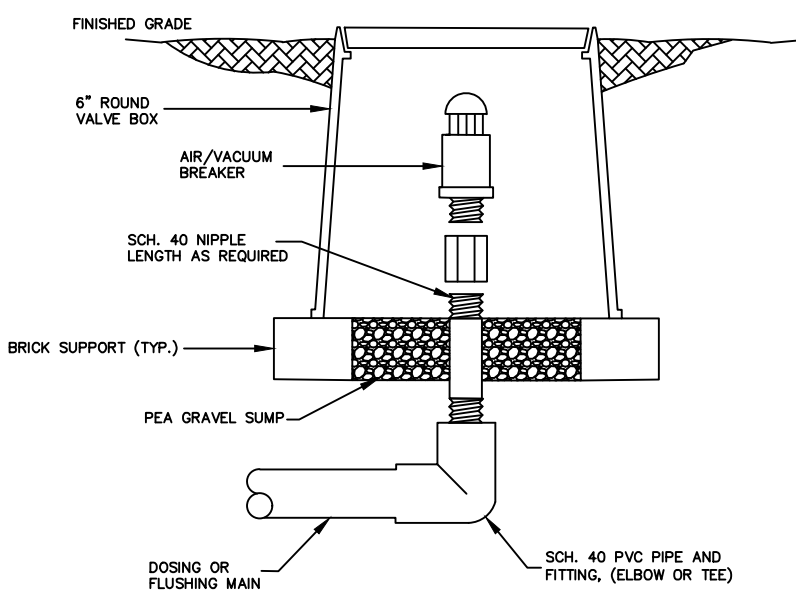
20" AUTO HOOT RISER CONNECTIONS DETAIL
N.T.S.



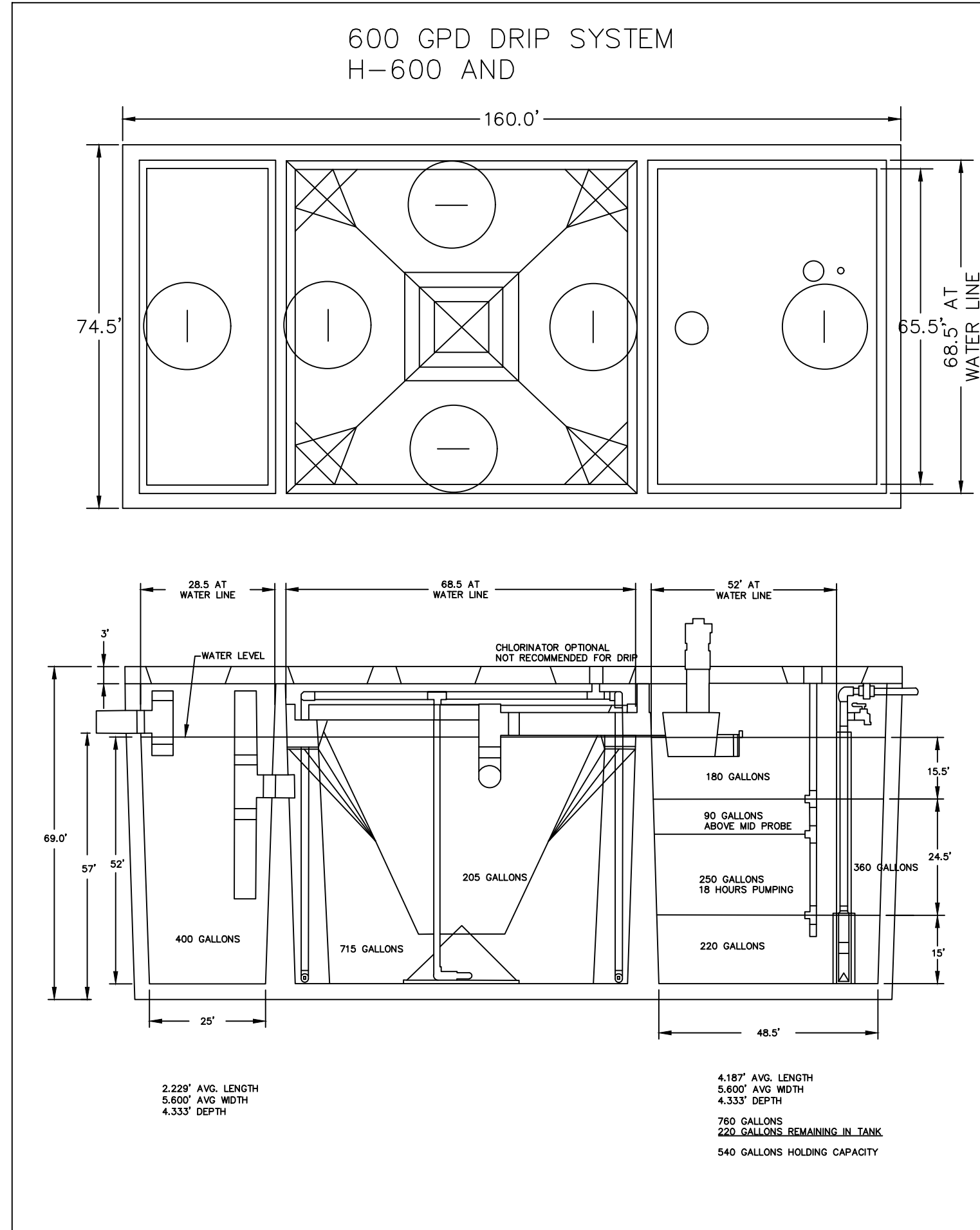
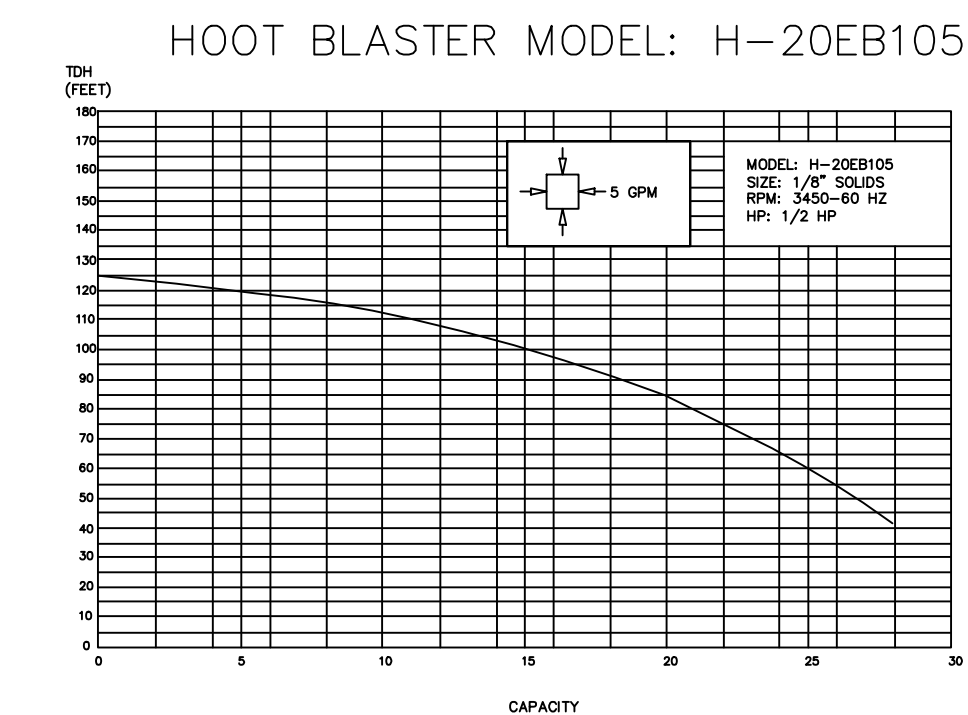
MANIFOLD CONNECTION DETAIL
N.T.S.



DRIP IRRIGATION FIELD CROSS-SECTION
N.T.S.



AIR/VACUUM RELEASE VALVE
N.T.S.



SEPTIC SYSTEM DESIGN NOTES

- GENERAL NOTES:
- CONTRACTOR TO FIELD LOCATE ANY UNDERGROUND UTILITIES, CABLES, ETC., PRIOR TO CONSTRUCTION AND REPAIR ANY OF THE SAME DAMAGED DURING CONSTRUCTION.
 - SEED, SOD, MULCH, OR OTHERWISE STABILIZE ALL DISTURBED AREAS AFTER CONSTRUCTION.
 - BI-ANNUAL MAINTENANCE IS REQUIRED. THIS MAINTENANCE SHALL BE PROVIDED BY A CERTIFIED MAINTENANCE PROFESSIONAL.
 - SEPTIC TANK SHALL HAVE 900 GALLONS OF LIQUID RETENTION, UNLESS SPECIFIED OTHERWISE ON PLANS.
 - SEPTIC TANK TO BE FITTED WITH APPROVED TRAFFIC BEARING TOP AND MANHOLE COVERS IN ANY LOCATION WHERE THE TANK WILL BE UNDER VEHICLE LOADS.
 - SEPTIC TANK TO BE PUMPED ONCE EVERY TWO YEARS (MINIMUM) TO REMOVE SOLIDS.
 - ALL SEPTIC SYSTEM CONSTRUCTION TO BE IN ACCORDANCE WITH 64E-6, F.A.C.
 - A COPY OF THE SIGNED MAINTENANCE AGREEMENT IS REQUIRED BEFORE FINAL APPROVAL BY THE HEALTH DEPARTMENT.
 - AN ANNUAL OPERATING PERMIT MUST BE OBTAINED FROM THE HEALTH DEPARTMENT PRIOR TO FINAL SYSTEM APPROVAL.
 - EMERGENCY/CONTINGENCY PLAN: IN THE EVENT OF A SYSTEM FAILURE, WATER USE WILL IMMEDIATELY BE RESTRICTED TO MINIMUM USAGE AND THE SEPTIC TANK WILL BE PUMPED BY A LICENSED TANK PUMPING CONTRACTOR AS NEEDED AND THE SEPTAGE TAKEN TO A LICENSED DISPOSAL FACILITY. EACH COMPONENT OF THIS TREATMENT/PURIFICATION AND EFFLUENT DISPOSAL SYSTEM WILL BE EXAMINED FOR ITS CONTRIBUTION TO THE SYSTEM FAILURE. THE COMPONENT(S) THAT CONTRIBUTE TO FAILURE WILL BE REPAIRED OR REPLACED UNTIL SYSTEM OPERATION CAN BE RESTORED. SYSTEM ELEMENTS WILL BE REPLACED UNTIL THE CAUSE OF THE FAILURE IS ISOLATED AND CORRECTED. WITH PROPER INSPECTIONS AND MAINTENANCE, SYSTEM FAILURE SHOULD BE LIMITED TO MINOR COMPONENT FAILURE AND NOT OVERALL SYSTEM FAILURE. MECHANICAL AND ELECTRICAL COMPONENTS WILL BE REPLACED AS NEEDED.
 - PHYSICAL COMPONENTS SUCH AS PIPES, TANKS, EMITTERS AND FILTERS WILL BE INSPECTED AND CLEANED OR REPLACED AS NEEDED.
 - HOOT AEROBIC TREATMENT UNIT REQUIRES 230 VOLT, 30 AMP, SINGLE PHASE MINIMUM POWER SOURCE. ELECTRICAL COMPONENTS SHALL BE INSTALLED BY A LICENSED ELECTRICIAN.
 - ALL COMPONENTS OF THE HOOT AEROBIC TREATMENT SYSTEM AND SUBSURFACE DRIP IRRIGATION SYSTEM TO BE SUPPLIED BY GEORGE W. SHEPARD & SON, INC., P.O. BOX 202, NAPLES, FL 34106. PHONE (239) 261-0607

I CERTIFY THAT ENGINEERING FEATURES OF THIS PERFORMANCE BASED TREATMENT SYSTEM HAVE BEEN SPECIFIED BY ME AND CONFORM TO THE ENGINEERING PRINCIPLES APPLICABLE TO SUCH PROJECTS. IN MY PROFESSIONAL JUDGMENT, THIS SYSTEM, WHEN PROPERLY CONSTRUCTED, OPERATED, AND MAINTAINED, WILL ACHIEVE THE ESTABLISHED PERFORMANCE STANDARDS AND COMPLY WITH APPLICABLE STATUTES OF THE STATE OF FLORIDA AND RULES OF THE HEALTH DEPARTMENT.

GENERAL NOTES

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION THE MINIMUM 100-YR FLOOD STAGE AS PER FEMA FLOOD INSURANCE RATE MAP - REFER TO FINISHED FLOOR ELEVATION SHOWN ON PLANS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
- ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
- THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES (OR DIAL 811).
- CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. B.24.E.5.i
- NO DRAINAGE STRUCTURES OR IMPROVEMENTS ARE PERMITTED WITHIN REQUIRED PLANTER AREAS/ISLANDS INCLUDING FIRE HYDRANTS, BACKFLOW PREVENTION DEVICES AND/OR FIRE DEPARTMENT CONNECTIONS.
- ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
- THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED MUNICIPAL PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED TESTS AND SHALL SUBMIT REPORTS BY AN INDEPENDENT AND DULY-LICENSED TESTING LABORATORY. SHOULD ANY TESTS FAIL TO MEET SPECIFICATION OF THE APPLICABLE CODES OR AS SHOWN HEREIN, THE CONTRACTOR SHALL, AT THEIR EXPENSE, CORRECT ALL DEFICIENT WORK AND SUBMIT LABORATORY TEST RESULTS SHOWING COMPLIANCE WITH THE APPROPRIATE SPECIFICATIONS.
- ALL WORK SHALL BE PERFORMED IN A SAFE AND WORKMANLIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES REQUIRED TO BEGIN THE WORK.
- THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERTY TEST AND INSPECT THE COMPLETED WORK.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF THE PROJECT ACCEPTANCE, DURING WHICH ALL FAULTY CONSTRUCTION AND/OR MATERIALS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL UNSUITABLE MATERIAL SUCH AS MUCH, MARL, AND DEBRIS SHALL BE REMOVED FROM THE LIMITS OF CONSTRUCTION AND LEGALLY DISPOSED OF. AT THE ENGINEER'S DIRECTION, MUCH MAY BE STOCKPILED ON THE SITE AT DESIGNATED LOCATIONS FOR USE IN LANDSCAPING.
- RECORD DRAWINGS: THE CONTRACTOR SHALL COMPLETE "RECORD DRAWING" (AS-BUILT) INFORMATION RELATIVE TO PIPE LENGTHS, MATERIALS AND ANY DEVIATION FROM THE PLANS AND PROVIDE A COPY OF ANY SUCH DEVIATIONS TO THE OWNER AND ENGINEER FOR FINAL ACCEPTANCE OF THE CONTRACTOR'S WORK PRODUCT.

SEPTIC SYSTEM DETAILS FOR:
SINGLE FAMILY RESIDENCE
3 HUDSON AVE
OCEAN RIDGE, FLORIDA

EnviroDesign Associates Inc.
1855 Dr. Andres Way, Unit 1, Delray Beach, Florida 33445
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FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506 33445
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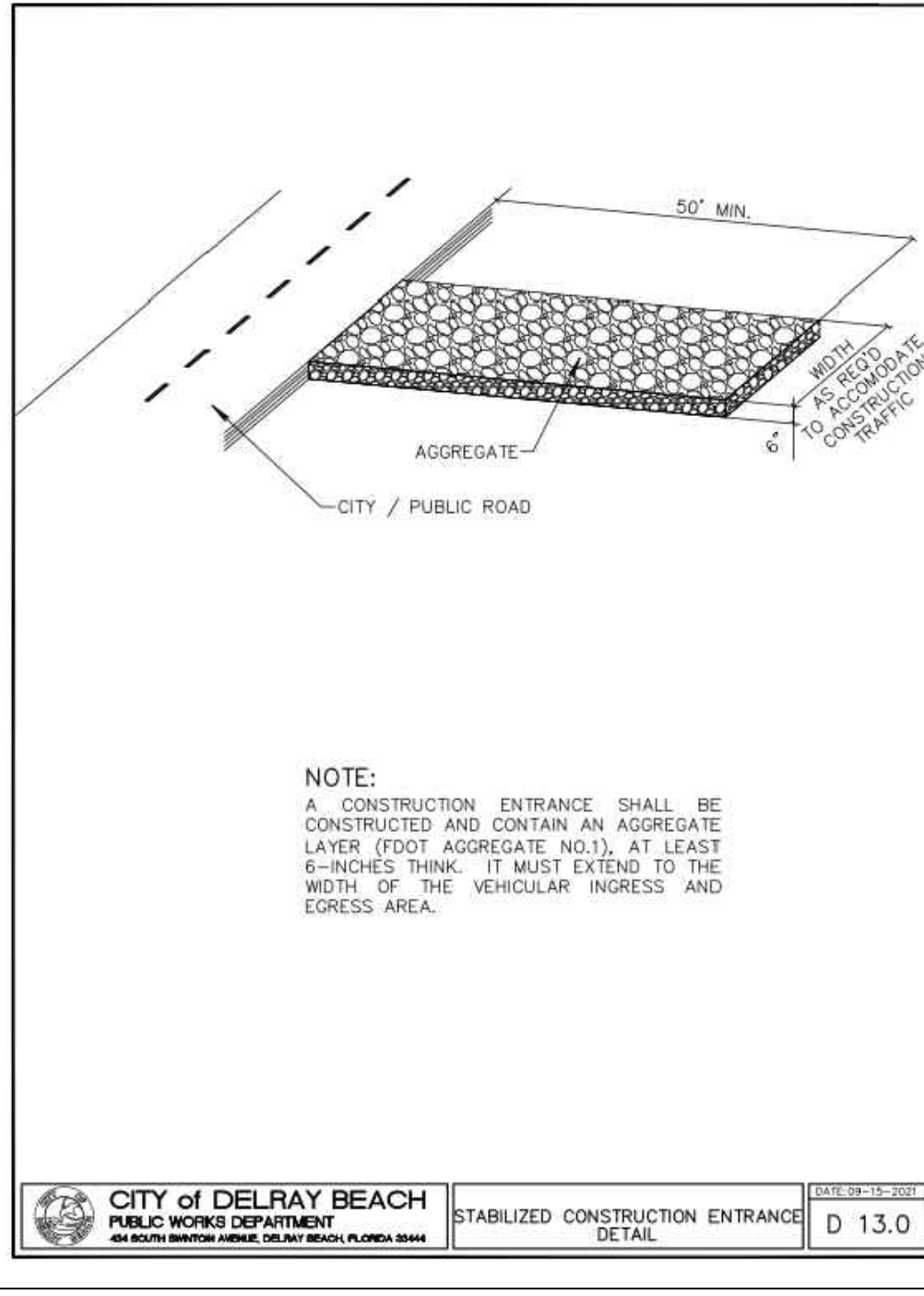
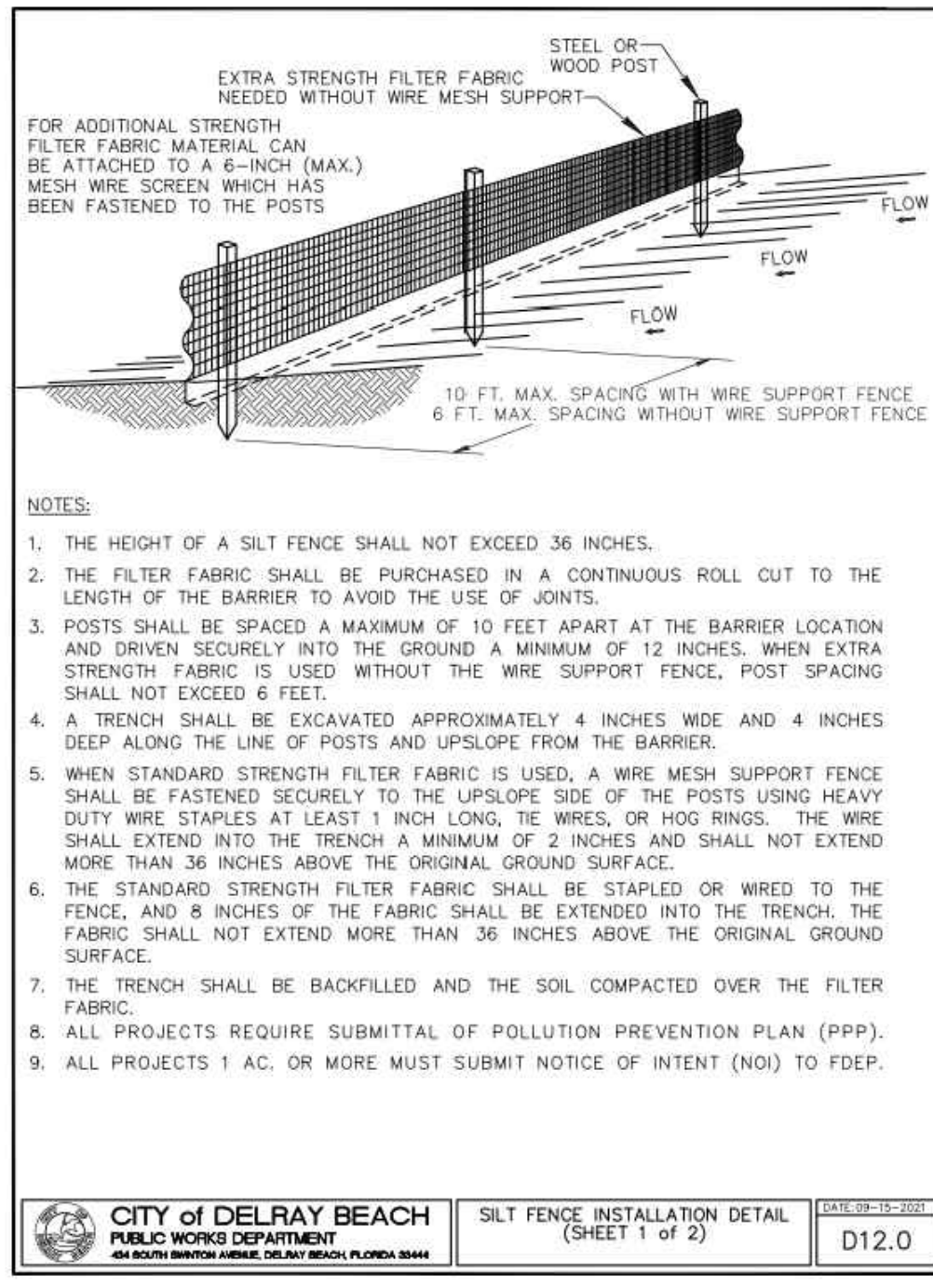
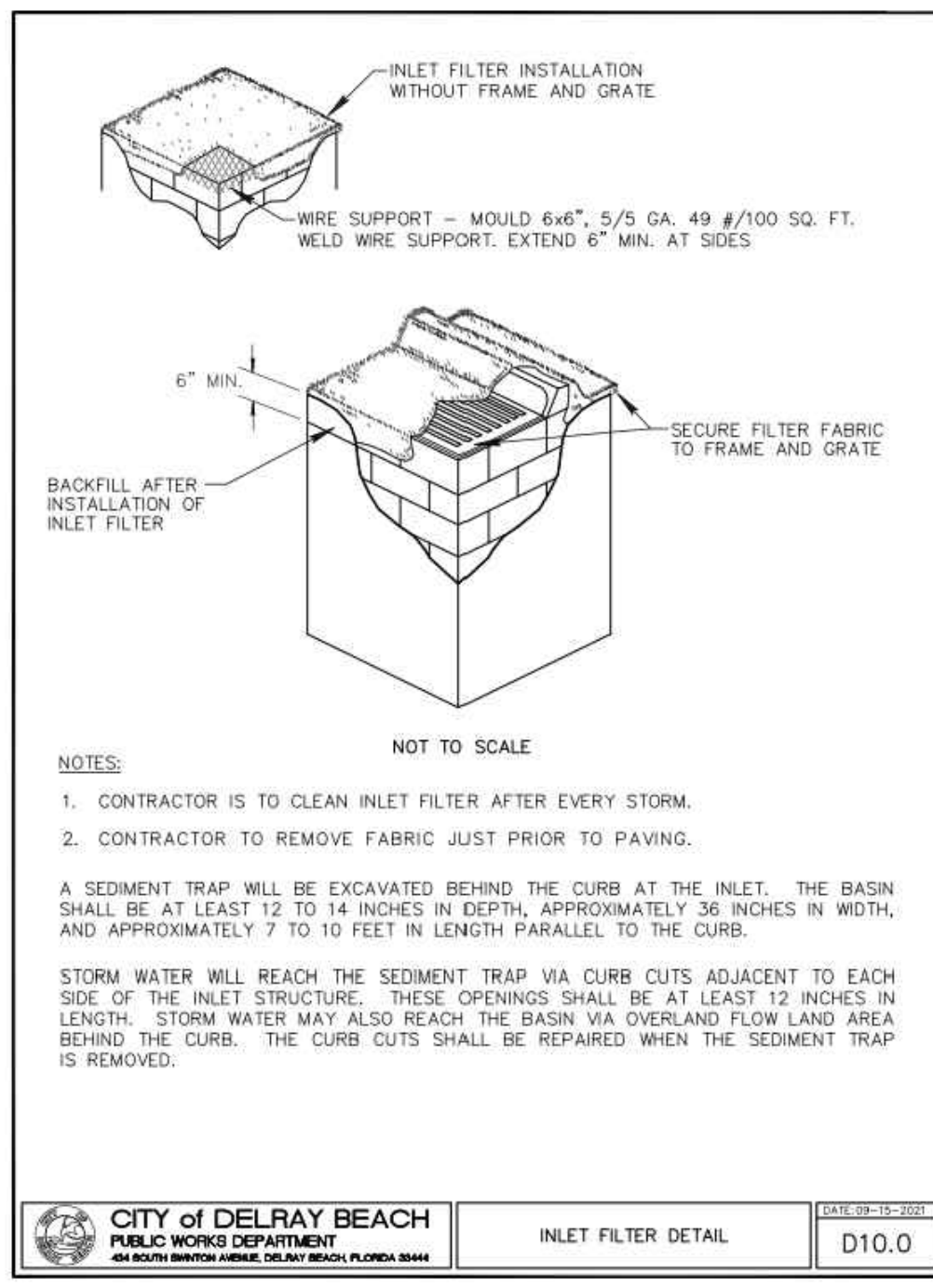
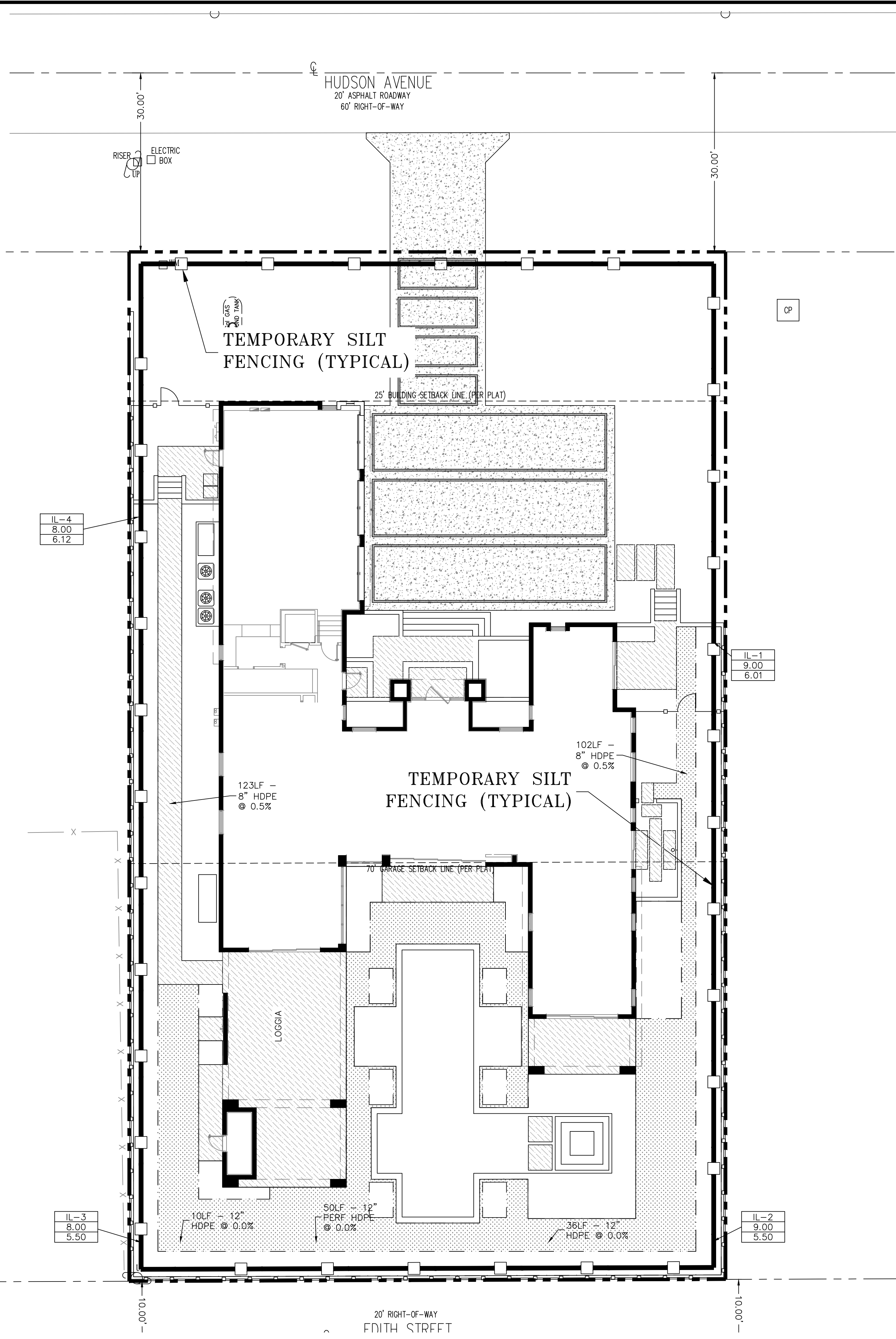
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J.A.P.

DATE:
2/23/24

JOB NO.
24006-DTL-HOOT

SHEET NO.
4 OF 5



1. THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVICTION OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENTATION SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.

2. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.

3. INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY OR AFTER EACH RAINFALL EVENT. REPAIR AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.

4. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.

5. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.

6. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.

7. DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.

8. ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.

9. EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

10. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.

11. ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.

12. DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES.

2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.

3. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES. WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET.

4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.

8. ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).

9. ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDEP.

BY:	
REVISIONS:	
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NOT VALID WITHOUT ENGINEER'S SEAL	
JOSEPH A. PIKE, P.E. FL REG # 42696	

CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33445	INLET FILTER DETAIL DATE: 02-23-2024 D10.0
CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33445	EROSION CONTROL NOTES DETAIL DATE: 02-23-2024 D 11.0
CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33445	SILT FENCE SECTION DATE: 02-23-2024 NOT TO SCALE
CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33445	ATTACHING TWO SILT FENCES DATE: 02-23-2024 NOT TO SCALE
CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33445	SILT FENCE INSTALLATION DETAIL (SHEET 1 OF 2) DATE: 02-23-2024 D12.0
CITY OF DELRAY BEACH PUBLIC WORKS DEPARTMENT 400 SOUTH BAYVIEW AVENUE, DELRAY BEACH, FLORIDA 33445	SILT FENCE INSTALLATION DETAIL (SHEET 2 OF 2) DATE: 02-23-2024 D 12.1

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SCALE: 1" = 10'

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POLLUTION PREVENTION PLAN FOR:
SINGLE FAMILY RESIDENCE
3 HUDSON AVENUE
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