

**TOWN OF OCEAN RIDGE
PLANNING & ZONING REGULAR MEETING
AGENDA**



**July 21, 2026 at 9:00 AM
Town Hall - Meeting Chambers**

COMMISSIONERS

Chair P. Shields Ferber
Vice Chair Kenneth Kaleel
Member Neal Sigety
Member Marc de Baptiste
Member Fady Khairallah
Alt. Member Jason Sutherland

ADMINISTRATION

Town Manager Michelle Heiser
Town Attorney Christy Goddeau
Town Clerk Kelly Avery
Building Official Mike Crisafulle
Town Planner Corey O'Gorman
Town Engineer Orlando Rubio
Town Zoning Official Manual Palacios

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

ADDITIONS, DELETIONS, MODIFICATIONS, AND APPROVAL OF AGENDA

PUBLIC COMMENT – (3-minute individual limit for items not on the agenda)

APPROVAL OF MINUTES

1. Adopt Minutes of the July 21, 2026, Regular Meeting

DISCUSSION / ACTION ITEMS

2. Quasi-judicial Hearing: Development Plan Review - 5920 N Ocean Blvd (Continuation)
3. Discussion on Revisions to Town's Regulations on Accessory Uses, Buildings, and Structures
4. Discussion on Revisions to Town's Duration of Construction due to State Mandate on Permit Duration for Single-Family Dwellings

COMMISSIONER COMMENTS

This item is reserved for any Commissioner Comments that are not related to any item printed on the agenda.

ADJOURNMENT

**THE NEXT MEETING OF THE PLANNING & ZONING BOARD WILL BE HELD
ON TUESDAY, SEPTEMBER 15, 2026, AT 9:00 AM AT TOWN HALL.**

The Town of Ocean Ridge is holding all meetings in-person, with an additional option of listening to the audio live. Any person wishing to view the meeting online, go to:
<https://www.youtube.com/@oceanridge9274>

If a person decides to appeal any decision made by the Planning & Zoning Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons who need an accomodation in order to attend or participate in this meeting should contact the Town Clerk at 561-732-2635 at least 5 days prior to the meeting in order to request such assistance. Please take notice that one or more Town Commissioners may be present at any board or commission meeting of the Town of Ocean Ridge.

Notice: The public may view the hard copy of the meeting materials at Town Hall before the meeting.

PLANNING & ZONING COMMISSION MEETING MINUTES
JUNE 16, 2026

Meeting Minutes of the Planning and Zoning Commission of the Town of Ocean Ridge held on Tuesday, June 16, 2026, in the Town Hall Meeting Chambers.

CALL TO ORDER

The meeting was called to order at 9:00 a.m. by Chair Ferber.

ROLL CALL

Assistant to the Town Manager Buzzetta led the roll call, which was answered by the following:

Chair Shields Ferber	Present
Vice Chair Kenneth Kaleel	Present
Member de Baptiste	Absent
Member Fady Khairallah	Present
Member Neal Sigety	Present
Member Gustafson	Absent

Members de Baptiste and Gustafson were absent with notice.

PLEDGE OF ALLEGIANCE

Chair Ferber led the Pledge of Allegiance.

ADDITIONS, DELETIONS, MODIFICATIONS, AND APPROVAL OF AGENDA

Vice Chair Kaleel moved to approve the agenda; seconded by Member Khairallah. Motion carried 4-0.

PUBLIC COMMENT

Chair Ferber opened the floor for public comment.

The following spoke: Terry Brown

Vice Chair Kaleel closed the floor for public comment.

APPROVAL OF MINUTES

1. Adopt Minutes of May 19, 2026, Regular Meeting.

Vice Chair Kaleel moved to adopt the minutes of May 19, 2026; seconded by Member Sigety. Motion carried 4-0.

DISCUSSION/ACTION ITEMS

2. Selection of Chair & Vice Chair

Town Clerk Kelly Avery noted that the annual selection of Chair and Vice Chair, which was to have been conducted at the prior meeting, had not taken place and needed to be completed. She offered the option of ballots or open nominations.

PLANNING & ZONING COMMISSION MEETING MINUTES
JUNE 16, 2026

Vice Chair Kaleel moved to nominate Shields Ferber as Chair, and Member Sigety moved to nominate Kenneth Kaleel as Vice Chair; seconded by Member Khairallah. Motion carried 4-0.

3. Discussion Regarding Revisions to Artificial Turf Ordinance

Town Attorney Goddeau provided an update on proposed amendments to the Town's artificial turf regulations. She explained that FDEP adopted minimum standards for synthetic turf on single-family residential properties of one acre or less, preempting conflicting local regulations. She also presented options to adopt the ordinance as drafted, modify and revisit it, or delay action pending review of other municipalities.

The Board discussed the irrigation head removal requirement.

Member Khairallah argued that the provision was redundant in practice, as installers routinely cap heads covered by turf, and that removal of all heads could be unnecessarily broad where heads serve adjacent landscaping.

Vice Chair Kaleel stated that the intent of the provision should be narrowly focused on preventing irrigation heads from being buried beneath artificial turf and recommended revising the language to reflect that specific purpose.

Town Engineer Orlando Rubio confirmed that the FDEP rule's purpose behind this provision is water conservation, not just installation practice. He noted that the drainage performance of artificial turf depends on underlying soil conditions, regardless of rated permeability. He advised that several municipalities restrict the pervious credit allowance for artificial turf.

Town Attorney Goddeau noted the Town's current code considers artificial turf to be one hundred percent and stated that coverage limitations may be considered in the future as regulations evolve.

Chair Ferber opened the floor for public comment.

The following spoke: Terry Brown

Chair Ferber closed the floor for public comment.

Town Engineer Rubio and Attorney Goddeau addressed Mr. Brown's comments regarding drainage and maintenance. Attorney Goddeau noted that existing code provisions already require artificial turf to be properly maintained and kept in compliance with established standards.

Vice Chair Kaleel recommended moving forward with the proposed ordinance, with the modification to the irrigation language to tie it expressly to the FDEP standard and limit it to heads covered by the turf installation. He also recommended scheduling a six-month follow-up review to assess how other municipalities have managed the issue and whether additional refinements are warranted.

Vice Chair Kaleel moved to approve the draft Artificial Turf Ordinance with a modification to the in-ground irrigation provision (Section B2) to reference the applicable FDEP standard and limit its scope; accordingly, seconded by Member Sigety. Motion carried 4-0.

PLANNING & ZONING COMMISSION MEETING MINUTES
JUNE 16, 2026

4. Discussion Regarding Revisions to Reasonable Accommodation Procedures Ordinance

Town Attorney Goddeau presented the draft ordinance. She explained that the Town's existing process complies with the Florida Fair Housing Act and the Americans with Disabilities Act, and the proposed amendment adds specific language addressing recovery residences. She noted that the ordinance also reaffirms the Town's non-transient residential character by requiring any approved recovery residence or similar use to provide residency exceeding thirty (30) days, consistent with current case law.

Vice Chair Kaleel moved to approve the Reasonable Accommodation Procedures Ordinance, seconded by Member Khairallah. Motion carried 4-0.

COMMISSIONER COMMENTS

Member Khairallah noted that the next scheduled meeting is July 21, 2026, and extended best wishes to the United States on its 250th anniversary.

Town Manager Heiser outlined the potential fiscal impacts of the proposed constitutional amendment, discussed possible increased costs related to fire services, and provided an update on ongoing discussions regarding the potential transfer of utility infrastructure management to Palm Beach County.

Vice Chair Kaleel commented on the fiscal challenges facing municipalities and expressed support for evaluating service consolidations where efficiencies may be achieved, while emphasizing the importance of prudent fiscal management. Town Manager Heiser concurred, noting that although the Town has benefited from conservative fiscal practices, increasing costs and unfunded mandates continue to place pressure on the budget.

Chair Ferber inquired about the status of the FPL underground utility project. Town Manager Heiser reported that all required easements have been secured, and she noted that Comcast's aerial lines remain above ground.

ADJOURNMENT

ADJOURNMENT

Meeting adjourned at 9:54 a.m.

Minutes prepared by Deputy Town Clerk Pinder and adopted by the Planning & Zoning Commission on July 21, 2026.

Shields Ferber, Chair

Attest:

Kelly Avery, Town Clerk

Town of Ocean Ridge, Florida
Planning & Zoning Board Agenda Memorandum

To:	Planning & Zoning Board Members
From:	Corey O’Gorman, Town Planner
Meeting Date:	July 21, 2026
Subject:	5920 N Ocean Blvd – Development Plan Review

1. PETITION DESCRIPTION

APPLICANT: Helen Asir

OWNER: Helen Asir

ADDRESS: 5920 N. Ocean Blvd, Ocean Ridge, Florida 33435

ZONING
DISTRICT: RSF

REQUEST: The applicant is requesting Development Plan Review approval in accordance with Town Code Land Development Code including Chapter 63 General and Administrative Provisions, Section 63-56 for Development Plan Review and Chapter 64 Zoning, including Section 64-1, RSF, Single-Family Residential.

2. BACKGROUND

As described in the Land Development Action Application, the applicant is requesting Development Plan Review (DPR) approval for construction of a second-floor addition with a two-car garage, and the first floor adhering to the existing footprint, grandfathered setbacks and a variance granted for an addition encroaching into the side setback.

The original application was submitted in 2023 for DPR and after staff review determined that a variance was needed for an addition in the side setback area, the applicant requested the variance which was subsequently approved by the Board of Adjustment (BOA) on April 17, 2024. The Planning and Zoning Board approved the Development Plan Review on September 17, 2024, but the approval expired because the applicant had not obtained a permit within 18 months as required in Section 63-55.

This application was heard by the Planning and Zoning Board at their April 21, 2026 meeting and proposed a renewal of the prior approval by the Board that was granted on September 17, 2024 with conditions. Those conditions included that: 1. The north building elevation must be revised to be flush against the existing wall in the form of banding, stucco score lines or similar treatment rather than trim that extends beyond the existing encroachment; 2. The balustrades on the 2nd floor flat roof and the covered entry must be revised to not exceed 32" (the column caps exceed the 2'8"

shown) and are redesigned to be a solid screen of all authorized rooftop equipment; 3. The wall in the front yard setback area must be reconstructed to comply with the Town Zoning Code; and, 4. All mechanical equipment must be screened in accordance with the Town Code. After presentation by the applicant and Board discussion, the Board deferred the request so that the same plans submitted for building permit could be presented to the Board.

At the May 19, 2026 meeting, the Planning & Zoning Commission considered revised plans and issues outlined by Town Staff including lack of calculations or graphics were provided to ensure that the design complies with the 15% window/door opening and substantial articulation requirements; the overall building height exceeded the maximum allowable and were contrary to the condition of approval regarding the flat roof design; lack of calculations for FAR, or the 2nd floor to 1st floor FAR ratio of 75%; no dimensions for garage parking; and mechanical equipment was located in the side setback.

Based on review of the revised plans, the issues from the May 19, 2026 meeting have been addressed. Regarding the roof, it has been redesigned to include a hip roof behind a decorative balustrade, and a roof "pediment" cover over the main entry. The hip roof and pediment comply with the maximum roof height requirement of 36'. The design includes a decorative balustrade that is 4' 5" above the tie beam. Section 64-1(f)(1) states that "parapets shall not be utilized with pitched roofs except in conjunction with a flat roof useable area", however this element appears to decorative feature and not necessarily a parapet. There is no clear language in the code to address the balustrade feature, and as such the Town Staff recommends approval of the subject to the Board consideration of the balustrade feature, and subject to conditions.

3. BOARD ACTION.

Development Plan Review is subject to the requirements of Town Code Section 63-56 which includes the following:

(1) *The planning and zoning commission shall use the review criteria as set forth herein when reviewing site plans.*

a. *Relationship of building to site:*

1. The site should be planned to accomplish a desirable transition with the streetscape. The overall balance and proportion of the proposed building will be considered.
2. The height and scale of each building should be compatible with its site and other buildings onsite

b. *Relationship of building and site to adjoining area(s):*

1. Buildings should be designed to enhance the surrounding neighborhood.
2. Harmony in architectural style, form, texture, mass and lines, as well as materials, colors, and use of architectural elements should be provided in the design of all buildings.
3. Buildings should be consistent with the established neighborhood character or within acknowledged architectural styles.

4. The height and scale of the proposed structure(s) should be compatible with the surrounding neighborhood

c. *Building design:*

1. Evaluation of a project should be based on quality of its design and relationship to surroundings.
2. Components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another.
3. Colors should be harmonious and representative of the architectural style of the building and generally within the character of the neighborhood.
4. Design attention should be given to mechanical equipment or other utility hardware on roofs, buildings and at grade so as to screen them from off-site view.
5. Buildings should be of a size as to be in harmony with permanent neighboring development or within acknowledged architectural styles.
6. Use of any/all of the above preferred design elements in conjunction with the renovation or addition to existing homes is encouraged, along with the removal of any existing elements that are not preferred.
7. The architectural style and elements of proposed additions and renovations shall be consistent with the other portions of the building.
8. All proposed structures shall be consistent with the town's land development regulations and the goals, objectives and policies of the comprehensive plan

In addition to the above, pursuant to 63-56(3), the planning and zoning commission shall approve, deny, approve with conditions, or request additional information in order to make a determination that the proposal is compliant with the above criteria.

4. STAFF RECOMMENDATION

Town Staff recommends approval of the subject to the Board consideration of the balustrade feature, and subject to condition regarding the wall in the front setback noted in the Plan Review Report.

PLAN REVIEW REPORT
5920 N Ocean Boulevard
05/06/2026 – 06/04/2026 – 07/14/2026

This Plan Review Report is for the Development Plan Review of the major renovation and second floor addition to the existing home at 5920 N. Ocean Boulevard. The proposal includes five (5) bedrooms, five (5) full baths and two-half baths, living room, dining room, kitchen, sunroom, gym and garage. This review references site and architectural plans prepared by M Architects dated 7/9/25, sheets A01 A02 A05 A06 A11 and A12, site plan prepared by SRI Consultants dated 8/29/24, sheet G-1.0, and landscape plan prepared by SRI Consultants dated 7/2/24, sheet A-0.2. **This review is based on revisions received on 07/14/2026, and recommends approval subject to conditions in this report.**

PCN: 46-43-45-27-08-000-0453
FLU: Single-Family Residential
Zoning: RSF

The following review is based on the requirements of the Town of Ocean Ridge Zoning Code, Chapter 64, Article I, Section 64-1 for RSF zoning, related sections of Article III Supplemental Regulations of the Code of Ordinances, and the Development Plan Review Checklist as applicable.

- ~~Survey was not included in the submittal, so the survey that was included in the building permit submittal is used for this review.~~
- ~~A site plan meeting the requirements of the development plan review checklist was not provided, however site data was provided on architectural sheet A01, and is used for technical review. Please provide a site plan complying with the requirements of the checklist so that it can be included in the package for review by the Planning & Zoning Board. This will assist the board in their review.~~ **Comment addressed.**

Section 64-1(e)(1) ~~Background: This code section requires window and door coverage minimum of 15% on all building elevations. Although it appears that the elevations comply with this requirement, there are no calculations to confirm compliance.~~

~~Comment: Please revise elevation sheets A11 and A12 to provide the calculations necessary to ensure compliance with the 15% requirement.~~
Comment addressed.

Section 64-1(e)(2) ~~Background: This code section requires “substantial articulation” on all building elevations. Although it appears that most of the elevations comply with this requirement, based on scaling the drawings there is a blank space between a window and sliding glass door on the west~~

~~elevation and a blank space between windows on the 2nd floor on the south elevation which may not be in compliance.~~

~~Comment:~~ Please show the required dimensions in these spaces to ensure compliance. **Comment addressed.**

Section 64-1(f)(2)

Background: This code section specifies that flat roofs are permitted in the RSF district provided that they comply with the requirements of 67-37. Section 67-37(b)(1) specifies that the maximum tie beam height for a 2-story structure is 24' and Section 67-37(b)(2) specifies that flat roofs shall be screened by a parapet which shall not extend above the top of the tie beam by more than 32". Sheets A11 and A12 show the top of tie beam at 24" which complies. However, they also show that the top of the roof deck is at 26' and the top of balustrades are at 29' 6" neither of which comply with this code section. In addition the elevations include an "overframe roof at the covered front porch" which is not dimensioned but exceeds the 29' 6" height of the balustrades and does not comply with this code section.

Comment: Please revise sheets A11 and A12, and other sheets as applicable to comply with the maximum height requirements in this code section. ~~Comment not addressed. As noted above, Section 64-1(f)(2) allows flat roofs provided that they comply with the requirements of Section 67-37. Section 67-37 limits the tie beam to 24' and requires a parapet which shall not extend more than 32" above the tie beam to screen any rooftop element as such the maximum overall allowable building height for a flat roof is 26' 8".~~

The roof design has been modified to include a hip roof behind a decorative balustrade, and a roof "pediment" cover over the main entry. The hip roof and pediment comply with the maximum roof height requirement of 36'. The design includes a decorative balustrade that is 4' 5" above the tie beam. Section 64-1(f)(1) states that "parapets shall not be utilized with pitched roofs except in conjunction with a flat roof useable area", however this element appears to decorative feature and not necessarily a parapet. The code does not appear to have any language that permits or prohibits the balustrade on a pitched roof and it is recommended that the Planning and Zoning Board consider this design element.

Section 64-1(i)

Background: This code section limits the 2nd floor area to 75% of the first floor, and specifies that "for purposes of calculating the 75 percent requirement of this section, the first floor area will include those portions

~~of a structure utilized in establishing the maximum finished floor elevation described in Section 67-32(a)(3) including roofed porches, but excluding bay windows, and which share at least one wall with the remainder of the habitable structure.” This section goes on to specify that “for purposes of calculating the second floor for the 75 percent requirement of this section, the second floor area will include all enclosed areas of the second floor and roofed porches and balconies, but will exclude bay windows whose sills are no lower than 12 inches from the floor, and provided the bay windows comprise 20 percent or less of any one facade and do not extend out beyond the overhang.”~~

Comment: ~~Please provide the legend described in the checklist calculating the first and second floors and providing the percentage 2nd floor to 1st floor space.~~ **Where the revisions do not address this comment, they did include the “Data Calculations for an Addition” and it shows square footage of first floor space at 4360 with the square footage of the second floor at 3570 which is 82% of the first-floor space. However, the Zoning Official has calculated the ratio of 2nd floor to 1st floor and the project complies, so this comment is resolved.**

Section 64-1(j)(6)

Background: ~~This code section states that the maximum floor area of all finished floors under roof shall be 32 percent of the total lot area for lots over 20,000 square feet. Floor Area is defined, as “the gross horizontal areas of all floors of all buildings on a lot, measured from the exterior face of exterior walls or other type of enclosure, or from the centerline of a wall separating two buildings, including garages, carports, and porte cocheres, but not including: basements, attics (unless used as living space), unenclosed decks or patios, covered porches, balconies (covered or uncovered), or crawl spaces”.~~

Comment: ~~Please provide the legend described in the checklist calculating the first and second floors and providing the calculation of total floor area.~~ **Although the comment is not addressed, the “Data Calculations for an Addition” that was provided includes a total square footage of 8463 which is 31.89%. The Zoning Official has confirmed that the house complies with the maximum FAR, so this comment is resolved.**

Section 64-46

Background: ~~This code section addresses required parking for single-family and two-family dwelling, calculating the required parking at one (1) space per bedroom or room that would qualify as a bedroom per the Florida Building Code. This code also requires a fully enclosed garage for two (2) full sized vehicles with spaces measured at 10 x 20, and for every~~

~~two bedrooms above four bedrooms, and additional garage parking space is required. This home includes five (5) bedrooms thus requiring two (2) garage spaces and three (3) exterior spaces (measured at 9 x 18).~~

~~Comment: Please revise sheet A05 to show two parking spaces dimensioned at 10 x 20.~~ **Comment addressed.**

Section 64-50

~~Background: This code section specifies that no part of an air conditioning unit may be placed within 10' of the side or rear lot line. The proposed plans show AC units located in the side yard area near the north property line which does not comply with this requirement.~~

~~Comment: Please revise all applicable plans to show compliance with the 10' setback for mechanical equipment.~~ **Comment addressed.**

In addition to the above, the following were conditions of approval from the original approval by the Planning & Zoning Board, and to the extent that they are applicable to this set of plans, please provide revisions showing compliance.

- ~~1. The north building elevation must be revised to be flush against the existing wall in the form of banding, stucco score lines or similar treatment rather than trim that extends beyond the existing encroachment.~~ **Comment addressed.**
- ~~2. The balustrades on the 2nd floor flat roof and the covered entry must be revised to not exceed 32" (the column caps exceed the 2'8" shown) and are redesigned to be a solid screen of all authorized rooftop equipment.~~ **The balustrades no longer serve as a parapet, and comment is addressed.**
- ~~3. The wall in the front yard setback area must be reconstructed to comply with the Town Zoning Code.~~ **Comment not addressed, include as condition of approval.**
- ~~4. All mechanical equipment must be screened in accordance with the Town Code.~~ **Comment addressed.**

Please note that once revisions are received additional comments may be generated if appropriate.

Section 66-1

~~Background: This code section states that at least 35% of the lot be maintained in a natural or landscaped state pervious to rainfall. The Data Calculations for Additions that is provided specifies that the total pervious area is 32.07%.~~

~~Comment: Please revise the plan to comply with the minimum pervious area requirement. Sheet G-1.0, Greenspace Map, shows a total green area of 9557 square feet which is 36% of the lot area and complies with this requirement. This comment is addressed.~~

DATA CALCULATIONS FOR AN ADDITION
(EXPANDING EXISTING FOOTPRINT OF A STRUCTURE)

APPLICANT FILL OUT: PROPERTY ADDRESS:					ZONING DISTRICT: _____				
APPLICANT USE					ZONING OFFICIAL USE ONLY				
*TOTAL SITE AREA _____ Sq. Ft.					_____ Sq. Ft.				
BASE FLOOD ELEVATION (NAVD) (SOURCE THE FLOOD INSURANCE STUDY)									
FINISHED FLOOR ELEVATION (NAVD)									
ZONING OFFICIAL USE ONLY		APPLICANT USE			ZONING REVIEW				
		EXISTING		PROPOSED					
		Sq. Ft.	%	Sq. Ft.	%				
FLOOR AREA RATIO (MAXIMUM _____%)									
LOT COVERAGE (MAXIMUM _____%)									
ZONING OFFICIAL USE ONLY		APPLICANT USE			ZONING REVIEW				
		EXISTING		PROPOSED		EXISTING		PROPOSED	
*PERCENTAGE FROM TOTAL SITE AREA		Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%
FIRST FLOOR UNDER A/C (_____)									
SECOND FLOOR UNDER A/C (_____)									
TOTAL UNDER A/C (_____)									
TOTAL FLOOR AREA (_____)									
TOTAL UNDER ROOF (_____)									
FLAT ROOF (_____)									
TOTAL ROOF (_____)									
GARAGE (_____)									
COVERED PATIO (_____)									
COVERED ENTRY (_____)									
COVERED BALCONY (REAR) (_____)									
COVERED BALCONY (FRONT) (_____)									
OPEN BALCONY (_____)									
BUILDING FOOTPRINT (_____)									
SEPTIC TANK & DRAINFIELD (_____)									
PAVED AREA (_____)									
SYNTHETIC TURF (_____)									
TOTAL IMPERVIOUS (_____)									
(INCLUDES SYNTHETIC TURF)									
TOTAL PERVIOUS (_____)									
ZONING OFFICIAL USE ONLY		APPLICANT USE			ZONING REVIEW				
		EXISTING		PROPOSED		EXISTING		PROPOSED	
		FEET		FEET		FEET		FEET	
BUILDING HEIGHT (_____)									
BUILDING SETBACKS:									
FRONT (_____)									
REAR (_____)									
SIDE INTERIOR (_____)									
SIDE CORNER (_____)									
WATERWAY (_____)									
DRIVEWAY (_____)									

Prepared By: _____ Date: _____

ASIR RESIDENCE

5920 N. Ocean Boulevard · Ocean Ridge, FL 33435

RESUBMISSION — JULY 2026

Presented by: Homeowner · Joseph Asir

Original Approval: September 17, 2024

First Resubmission Hearing: April 21, 2026 — Deferred to May

Second Submission Hearing: May 17, 2026 — Deferred to July

Third Hearing Date: July 21, 2026

Architect of Record: Marcello Penso, AR0016862

Background & Purpose of This Submission

THIRD HEARING BEFORE THE PLANNING & ZONING COMMISSION

CHRONOLOGY

September 17, 2024 — Original Approval

The Planning & Zoning Commission approved the two-story neoclassical addition at 5920 N. Ocean Blvd with four conditions of approval. All zoning, setback, FAR and height requirements were met. The building permit application deadline was subsequently missed by the applicant.

April 21, 2026 — First Resubmission Hearing

The applicant returned to the Commission. Town Planner O'Gorman recommended approval subject to the same conditions as the prior approval. The Board deferred action 4-0 to the May 2026 meeting, directing the applicant to submit a complete, coordinated set of current architectural and engineering plans with the new engineer's sign-off. Member Sigety noted an observation regarding window treatment on the eastern elevation.

May 6, 2026 — Town Planner Plan Review Report Issued

Prior to the May 17 hearing, Town Planner O'Gorman issued a Plan Review Report with comments on the new architectural plans (M Architects, dated 7/9/25). Comments addressed window and door coverage, articulation, roof height, floor area calculations, parking, and mechanical equipment setbacks.

May 17, 2026 — Second Submission Hearing

The Commission reviewed the resubmission and the Town Planner's May 6 comments. The Commission's determination, as set forth in the May 2026 meeting minutes, resulted in the matter being deferred to the July 2026 meeting, allowing the applicant to address all outstanding items.

May 27, 2026 — Architect's Written Response to Plan Review

Architect Marcello Penso (AR0016862) submitted a written response to each of the Town Planner's May 6 comments. The roof height concern was resolved by adopting a hip roof design — a solution agreed to by the Town — that complies with all height and parapet requirements under Sections 64-1(f)(2) and 67-37.

July 21, 2026 — This Submission

All requested materials have been compiled. This document provides a point-by-point compliance record addressing every outstanding item from both prior hearings and the Town Planner's report.

WHAT THIS SUBMISSION ADDRESSES

- ☐ Complete, coordinated architectural and engineering plans with new engineer's sign-off, as directed by the Board at the April 21, 2026 hearing
- ☐ Written confirmation of compliance with all four conditions of the September 2024 original approval
- ☐ Point-by-point response to each item in the Town Planner's May 6, 2026 Plan Review Report
- ☐ Roof design solution: hip roof adopted behind solid parapet, satisfying Section 64-1(f)(2) — agreed by the Town

☐ Architectural justification for the mix of arched and rectangular windows, consistent with Neoclassical tradition and Town Code Section 63-56(1)(c)(2)

☐ Updated site data and zoning compliance figures — all unchanged from previously approved values, confirmed by Zoning Official Palacios

Summary: This resubmission presents the ASIR Residence with a complete plan package, full documentation of code compliance, and resolution of all outstanding conditions and comments raised at the April and May 2026 hearings. The applicant respectfully requests final approval at the July 21, 2026 hearing.

5920 N. Ocean Blvd, Ocean Ridge, FL 33435 P&Z Commission · July 21, 2026

ASIR RESIDENCE
MAY 2026 TOWN PLANNER COMMENTS — COMPLIANCE RESPONSE
03 / 08

Plan Review Compliance

POINT-BY-POINT RESPONSE TO TOWN PLANNER PLAN REVIEW REPORT, MAY 2026

§ 64-1(e)(1)

Window & Door Coverage — 15% Minimum

Calculations have been added directly to elevation sheets A11 and A12, confirming that all four building elevations meet or exceed the required 15% window and door opening coverage.

RESOLVED

§ 64-1(e)(2)

Substantial Articulation — All Elevations

Required dimensions have been added to all elevations. 16'×8' articulation boxes with spaced-line hatching have been shown on each elevation to demonstrate compliance with the articulation requirements, including the areas previously flagged on the west and south elevations.

RESOLVED

§ 64-1(f)(2)

Roof Height & Parapet

Hip roof design adopted. The second-floor addition now incorporates a hip roof that sits behind the perimeter balustrade parapet and is not visible from the street. Tie beam height is 24' (compliant). The solid parapet is 32" above the tie beam (compliant). The hip roof structure rises within the screened parapet zone. This solution was presented to and agreed by the Town. See Slide 05 for full design details.

RESOLVED

§ 64-1(i)

2nd Floor ≤ 75% of 1st Floor

Calculation legend has been added to the site plan. Second floor area: 3,523 SF = 71.89% of first floor area (4,900 SF). Compliant. Measurements taken from exterior wall faces per Town Code.

COMPLIANT

§ 64-1(i)(6)

Floor Area Ratio — Max 32%

FAR calculation legend included on site plan. Total floor area: 8,423 SF on 26,535 SF lot = 31.74% FAR. Compliant with the 32% maximum. Calculations based on exterior wall dimensions.

COMPLIANT

§ 64-46

Parking — 5 Bedrooms

Sheet A05 revised to show two enclosed garage spaces dimensioned at 10'×20'. Air handler unit is ceiling-hung (noted on plans). Three exterior spaces at 9'×18' are shown on site plan. Total: 2 covered + 3 open = 5 spaces. Compliant for a 5-bedroom dwelling.

COMPLIANT

§ 64-50

Mechanical Equipment Setback & Screening — 10' Min.

All north-side condensing units have been relocated to the west side of the structure, complying with the required 10' setback. All mechanical equipment is shown on the site plan, drainage plan, and landscape plan, with landscaping screening provided for all equipment locations per Town Code.

RESOLVED

Whitney Way

Double-Frontage Setback — 25'

The 25' setback line along the Whitney Way frontage has been added to all applicable plan sheets. The existing structure and proposed addition maintain the same relationship to Whitney Way as the previously approved plan. It is noted that this lot is physically separated from Whitney Way by a 5'–6' masonry retaining wall with fence atop, and this comment was not raised at the original September 2024 hearing.

NOTED

5920 N. Ocean Blvd, Ocean Ridge, FL 33435 P&Z Commission · July 21, 2026

Prior Conditions of Approval

FOUR CONDITIONS FROM SEPTEMBER 17, 2024 ORIGINAL APPROVAL — EACH ADDRESSED

Condition 1

North Elevation Treatment

"The north building elevation must be revised to be flush against the existing wall in the form of banding, stucco score lines or similar treatment rather than trim that extends beyond the existing encroachment."

The north elevation has been revised accordingly. The proposed window trim, door trim, and decorative emblem do not extend beyond the plane of the existing encroachment wall. Articulation is achieved through recessed banding and stucco score lines flush to the wall face. Revised sheets A11 and A12 reflect this treatment.

ADDRESSED

Condition 2

Balustrades — Max 32" / Solid Screen

"The balustrades on the 2nd floor flat roof and the covered entry must be revised to not exceed 32" and are redesigned to be a solid screen of all authorized rooftop equipment."

The adoption of the hip roof design directly resolves this condition. The solid perimeter parapet serves as the required 32" screen. The decorative balustrade is integrated as a facing element on the parapet exterior that does not exceed 32" above the tie beam. Column caps have been revised to comply. The hip roof itself is screened and not visible from street level.

ADDRESSED

Condition 3

Front Yard Wall Reconstruction

"The wall in the front yard setback area must be reconstructed to comply with the Town Zoning Code."

Addressed in the applicant's written response to the Town Planner dated June 4, 2026. As set forth in that letter, the wall was previously presented to, approved by, and inspected by the Town's own building officials on multiple occasions; the permit was inspected and closed. The applicant's position is that the matter is resolved by those prior Town approvals and that there is no basis to require reconstruction. This matter has not been raised by Town officials or the Zoning Official in subsequent discussions with the architect of record.

SEE JUNE 4 RESPONSE

Condition 4

Mechanical Equipment Screening

"All mechanical equipment must be screened in accordance with the Town Code."

All mechanical equipment — AC condensing units, pool equipment, and generator — is shown on the site plan (Sheet A05), drainage plan (Sheet A0.3), and landscape plan (Sheet A0.2). Landscaping screening is provided on the landscape plan for all equipment locations. AC units have been relocated to the west side to comply with the 10' setback requirement of § 64-50.

ADDRESSED

Board's April 2026 Direction: The Board directed the applicant to return with a complete, coordinated set of current architectural and engineering plans bearing the new engineer's sign-off. Those complete, coordinated plans — including all sheets referenced above — are included in this submission package, signed and sealed by the engineer of record.

Roof Design — Hip Roof Solution

RESOLUTION OF SECTION 64-1(F)(2) HEIGHT & PARAPET REQUIREMENTS — AGREED BY THE TOWN

THE DESIGN SOLUTION

Hip Roof Behind the Parapet

The second floor addition incorporates a hip roof whose ridge and slopes sit entirely within the zone screened by the solid perimeter parapet. The hip roof is not visible from street level — it is concealed by the balustrade-faced parapet, which functions as the required solid screen under Section 64-1(f)(2) and Ordinance 2022-09.

Height Compliance

Tie beam height: 24' above finished floor — compliant with the maximum for a 2-story structure under § 67-37(b)(1). Solid parapet: 32" above top of tie beam — compliant with § 67-37(b)(2). The hip roof rises above the tie beam within the screened parapet area. No roof element is visible above the parapet from any public right-of-way.

No Accessible Flat Roof Area

The hip roof design eliminates any usable flat roof area above 14' AFF, fully resolving the prior concern about flat roof access restrictions under § 64-1(f). There are no stairs, hatches, or other means of access to the roof.

Town Agreement

This hip roof approach was presented to and agreed upon by the Town prior to this submission. It represents the accepted resolution of the roof height issue that was the subject of the prior Plan Review Report comments.

DESIGN RATIONALE & AESTHETIC IMPACT

Visual Character Preserved

The hip roof is entirely hidden behind the decorative balustrade parapet on the ocean-facing (east) elevation. The classical triangular pediment — approved in principle at the April 2025 hearing — crowns the central columned portico and remains a defining feature of the neoclassical design. The overall appearance of the building from the street is unchanged.

Consistency with Neoclassical Tradition

Hip roofs concealed behind parapets and balustrades are a well-established feature of neoclassical residential and civic architecture. The White House, Monticello, and many Palm Beach and Ocean Ridge estate-style residences use this precise combination — a hip or low-pitched roof invisible behind a parapet — to achieve the clean, horizontal roofline characteristic of neoclassical design while managing water drainage effectively.

Structural & Practical Benefit

A hip roof provides superior storm drainage, reduces wind uplift exposure compared to a flat roof, and eliminates the maintenance concerns associated with flat roof membranes — an important consideration for an ocean-adjacent property.

Result: The hip roof design satisfies all Town Code requirements under §§ 64-1(f)(2) and 67-37, was agreed by the Town, and preserves the intended neoclassical appearance of the residence from all public vantage points.

ASIR RESIDENCE
WINDOW DESIGN — NEOCLASSICAL TRADITION
06 / 08

Arched & Rectangular Windows — A Neoclassical Principle

RESPONSE TO MEMBER SIGETY'S OBSERVATION REGARDING WINDOW TREATMENT ON THE EAST ELEVATION

THE CLASSICAL HIERARCHY OF OPENINGS

Ground Floor Arched / Upper Floor Rectangular — The Classical Rule

The combination of arched windows on the ground floor and rectangular windows on the upper floor is not an inconsistency — it is one of the most fundamental ordering principles of classical and neoclassical architecture. It derives directly from the Roman arch and the Renaissance reinterpretation of classical orders, codified by Andrea Palladio in the 16th century and transmitted into the neoclassical tradition.

Why Arched Below, Rectangular Above?

In classical design, the ground floor is considered the most public and ceremonial zone of a building. Arched openings — expressing structural mastery over gravity — are reserved for this zone to convey grandeur and welcome. Upper floors, housing private spaces, receive the simpler, more restrained rectangular opening. This deliberate hierarchy gives a building visual stability: the heavier, more ornamental base anchors the composition, while the lighter, simpler upper floor recedes appropriately.

The Palladian Window

The canonical example of arched-below / rectangular-beside is the Palladian (or Venetian) window: a central arched opening flanked by flat-topped openings. This motif appears in virtually every major neoclassical building in the Western world and is central to the Palm Beach and South Florida estate tradition.

PRECEDENTS — LOCAL & HISTORIC

The White House, Washington D.C.

The south portico of the White House uses arched openings at the ground colonnaded level and rectangular windows on the upper residence floor — the identical ordering as the ASIR Residence.

Mar-a-Lago, Palm Beach

The landmark Palm Beach estate (Addison Mizner / Marion Sims Wyeth, 1924) employs arched openings at the ground level throughout its principal elevations, with rectangular fenestration in upper and flanking zones.

Vizcaya Museum & Gardens, Miami

The quintessential South Florida neoclassical villa uses arched arcade openings on the ground floor and rectangular windows above — the same compositional logic employed here.

6301 N. Ocean Blvd., Ocean Ridge

As noted in the Architectural Style Narrative, this is the most prominent neoclassical building in Ocean Ridge itself and provides a direct local precedent for this architectural vocabulary within the immediate community.

Conclusion: The mix of arched ground-floor and rectangular upper-floor windows on the east (and north) elevations of the ASIR Residence is not an inconsistency. It is an intentional, historically grounded compositional decision that is the hallmark of the Neoclassical style, consistent with Town Code Section 63-56(1)(c)(2) requiring "balanced proportions" of components.

5920 N. Ocean Blvd, Ocean Ridge, FL 33435 P&Z Commission · July 21, 2026

ASIR RESIDENCE
ZONING & COMPLIANCE — ALL PARAMETERS
07 / 08

Zoning & Compliance

ALL DIMENSIONAL PARAMETERS REMAIN IDENTICAL TO THE SEPTEMBER 2024 APPROVED SUBMISSION

PARAMETER	CODE REQUIREMENT	PROPOSED	CHANGE FROM PRIOR APPROVAL	STATUS
Zoning	RSF (Residential Single-Family)	RSF	None	UNCHANGED
Lot Area	—	26,535 SF	None	UNCHANGED
Building Footprint	Max 32% lot coverage	5,156 SF (19.5%)	None	COMPLIANT
Floor Area Ratio (FAR)	Max 32%	31.74%	None	COMPLIANT
Front Setback	25'	25'	None	COMPLIANT
Side Setbacks	15'	15' (variance granted for north)	None	COMPLIANT
Tie Beam Height (2-story)	Max 24' — § 67-37(b)(1)	24'	None	COMPLIANT
Parapet Height	Max 32" above tie beam — § 67-37(b)(2)	32" (2'8")	None	COMPLIANT
Roof Design	Flat roofs per § 64-1(f)(2) / Ord. 2022-09	Hip roof, concealed behind solid parapet — not visible from street	Hip roof adopted — resolves prior comment	RESOLVED

First Floor Area	—	4,900 SF	None	UNCHANGED
Second Floor Area	Max 75% of 1st floor	3,523 SF (71.89% of 1st floor)	None	COMPLIANT
Parking	2 enclosed (10×20) + 3 open (9×18)	2 covered + 3 open — dimensioned on Sheet A05	Spaces dimensioned on plans	COMPLIANT
Mechanical Setback & Screening	10' from side/rear lot lines — § 64-50; screening per Town Code	Condensers relocated to west side; all equipment shown on site plan, drainage plan, and landscape plan with landscaping screens	Units relocated; screening provided	RESOLVED
East Elevation	—	4-column Corinthian portico with triangular pediment; arched ground-floor windows; rectangular upper windows; solid parapet balustrade	Pediment (approved Apr. 2025); hip roof behind parapet	UPDATED
Neighboring Heights	Compatible scale — § 63-56(1)(a)(2)	26' — below all immediate neighbors: 5910 N. Ocean (32'7"); 2 Whitney Way (25"); 5930 N. Ocean (~24')	None	COMPATIBLE

Zoning Official Palacios confirmed at the April 21, 2026 hearing that no dimensional calculations have changed.

Summary & Request for Approval

JULY 21, 2026 — PLANNING & ZONING COMMISSION

WHAT WE ARE ASKING

The applicant respectfully requests that the Planning and Zoning Commission approve the ASIR Residence at 5920 N. Ocean Boulevard, Ocean Ridge.

The project was originally approved on September 17, 2024. The applicant appeared before the Commission on April 21, 2026 (deferred to May) and May 17, 2026 (deferred to July). All four conditions of the original approval have been addressed. All Town Planner Plan Review comments issued May 6, 2026 have been resolved. Complete, coordinated plans with engineer's sign-off are submitted as directed at both prior hearings.

The design — a two-story Neoclassical residence with Corinthian columns, triangular pediment, and a hip roof concealed behind a code-compliant solid parapet — is fully compliant with all applicable Town of Ocean Ridge zoning and building codes.

KEY POINTS FOR THE COMMISSION

- ☐ **All prior conditions addressed** — All four conditions of the September 2024 original approval (north elevation, balustrades, front wall, and mechanical screening) are documented as resolved in this submission.
- ☐ **All Plan Review comments resolved** — Each of the Town Planner's May 6, 2026 comments has been addressed with plan revisions, calculations, or a design change.
- ☐ **Hip roof solution agreed by Town** — The roof height concern raised prior to the May 17, 2026 hearing is resolved. The hip roof sits behind the solid parapet and is not visible from any public right-of-way.
- ☐ **Window design is architecturally correct** — Arched ground-floor / rectangular upper-floor windows are a defining characteristic of Neoclassical design with centuries of precedent — not an inconsistency. See Slide 06 and the expanded Architectural Style Narrative.
- ☐ **No dimensional changes** — Height, setbacks, FAR, footprint, and all zoning parameters are identical to the September 2024 approved submission, confirmed by Zoning Official Palacios at the April 21, 2026 hearing.
- ☐ **Complete plan package submitted** — Coordinated architectural and engineering plans with new engineer's sign-off are included, as directed at the April and May 2026 hearings.
- ☐ **Neighborhood compatible** — At 26', the proposed structure is below every neighboring building on the block. The Neoclassical style is consistent with and enhances the character of the N. Ocean Boulevard streetscape.

Request: Approve the ASIR Residence development plan at 5920 N. Ocean Boulevard, Ocean Ridge, as presented, with all prior conditions now addressed and all plan review comments resolved.

ASIR RESIDENCE — STEP 2 SUBMISSION

EXHIBIT INDEX

P&Z COMMISSION HEARING — JULY 21, 2026

5920 N. Ocean Boulevard, Ocean Ridge, FL 33435 · RSF Zoning District · Two-Story Residential Addition

EX.	ITEM	DOCUMENT TITLE	STEP 2 CHECKLIST REQUIREMENT	PKG. PAGES
A	1	Architectural Drawing Set Site Plans · Floor Plans · Elevations (All Cardinal Directions) · Approved Septic Plan	Applicant shall submit site plans, elevation from all cardinal directions plans, and floor plans sets as approved by the reviewing staff.	Package Pages 1 – 20
B	2	Current Survey Boundary & Topographic Survey as Approved by Reviewing Staff	Applicant shall submit current survey as approved by the reviewing staff.	Package Page 19
C	3	Landscape Plans Sheet A 0.2 — Existing & Proposed Landscaping with Tree Schedule	Applicant shall submit landscape plans identifying existing and proposed landscaping. Also include tree schedule.	Package Page 20
D	5	Site & Neighborhood Photographs Project Site and Adjacent Properties with Structure Heights	Applicant shall provide digital photographs of the lot to be developed and the properties to the left, to the right, and across the street from proposed structural address along with the appropriate height of those structures.	Package Pages 21 – 25
E	6	Greenspace Map Sheet G1.0 — Impervious vs. Green Space with Area Calculations	Applicant shall provide a greenspace map showing the green space versus impervious for the proposed lot plans (roofed structures, hardscape, green space, data calculations).	Package Page 26
F	7	Color Renderings Proposed Residence — All Viewpoints	Applicant shall submit color rendering of the house from all viewpoints plans.	Package Pages 27 – 30
G	8	Material Selections Exterior Building Materials, Finishes & Paint Specifications	Applicant shall submit material selections and information about the building materials to be used for the exterior of the building plans. Include paint details on the plans/elevations that state the name of the color, manufacturer, and manufacturer number.	Package Page 31
H	9	Architectural Style Narrative Neoclassical Design — Compliance with Town Code §63-56	Applicant shall provide a narrative that identifies the architectural style of the proposed structure, and how each of the elements under Town Code Section 63-56 has been met.	Package Pages 32 – 38

Note: Step 2 Checklist Item 4 (Streetscape/Phantom Outline) is Not Applicable to this application.

EXHIBIT

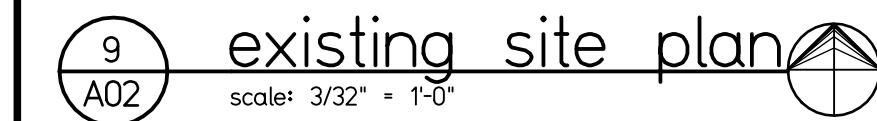
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Architectural Drawing Set

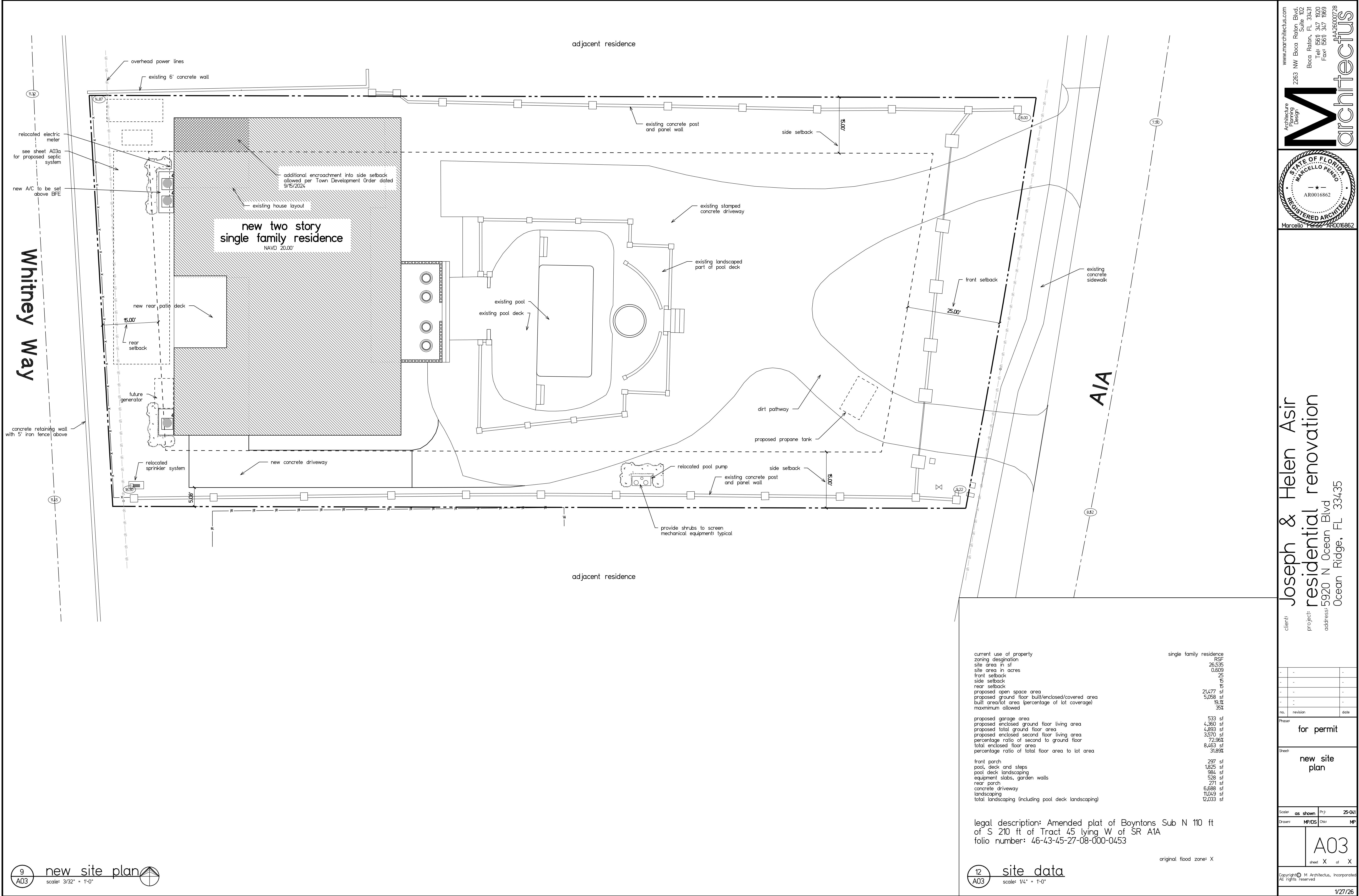
Site Plans · Floor Plans · Elevations (All Cardinal Directions) · Approved Septic Plan

STEP 2 CHECKLIST — ITEM 1

Applicant shall submit site plans, elevation from all cardinal directions plans, and floor plans sets as approved by the reviewing staff.



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current use of property	single family residence
zoning designation	RSF
site area in sf	26,535
site area in acres	0.609
front setback	25
side setback	15
rear setback	15
proposed open space area	21,477 sf
proposed ground floor built/enclosed/covered area	5,058 sf
built area/lot area (percentage of lot coverage)	19.1%
maximum allowed	35%
proposed garage area	533 sf
proposed enclosed ground floor living area	4,360 sf
proposed total ground floor area	4,893 sf
proposed enclosed second floor living area	3,570 sf
percentage ratio of second to ground floor	72.96%
total enclosed floor area	8,463 sf
percentage ratio of total floor area to lot area	31.89%
front porch	297 sf
pool, deck and steps	1,825 sf
pool deck landscaping	984 sf
equipment slabs, garden walls	528 sf
rear porch	271 sf
concrete driveway	6,688 sf
landscaping	11,049 sf
total landscaping (including pool deck landscaping)	12,033 sf

legal description: Amended plat of Boyntons Sub N 110 ft of S 210 ft of Tract 45 lying W of SR A1A
folio number: 46-43-45-27-08-000-0453

original flood zone: X

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2263 NW Boca Raton Blvd.
Suite 102
Boca Raton, FL 33431
Tel: (561) 347-1920
Fax: (561) 347-1969

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MARCELLO PENGO
AR0016862
REGISTERED ARCHITECT
Marcello Pengo

client: Joseph & Helen Asir
project: residential renovation
address: 5920 N Ocean Blvd
Ocean Ridge, FL 33435

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Phase: for permit

Sheet: new site plan

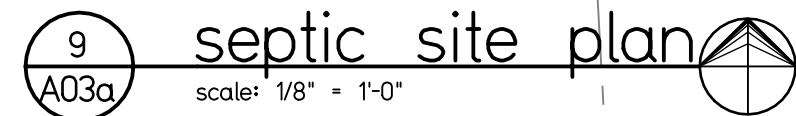
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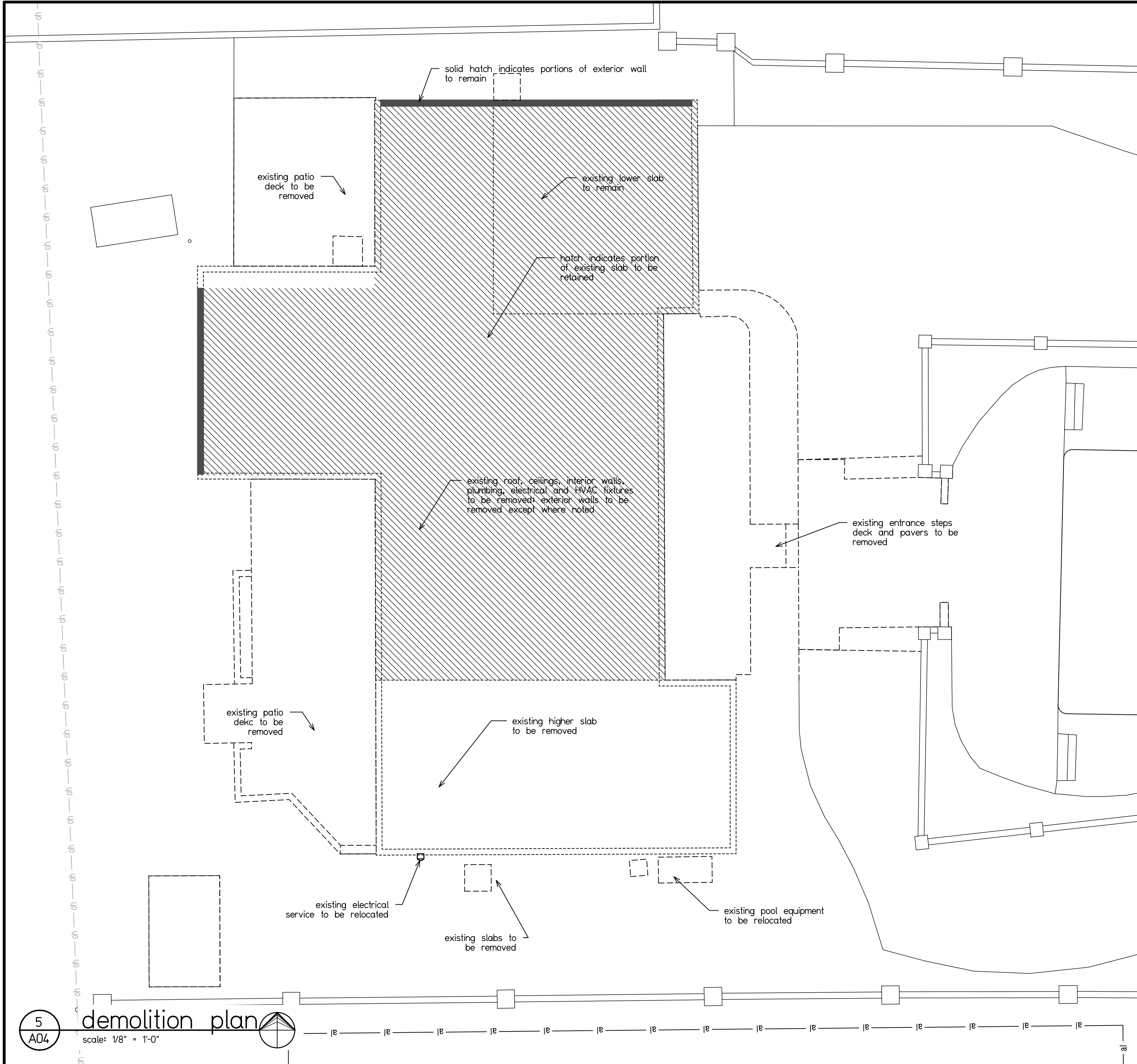
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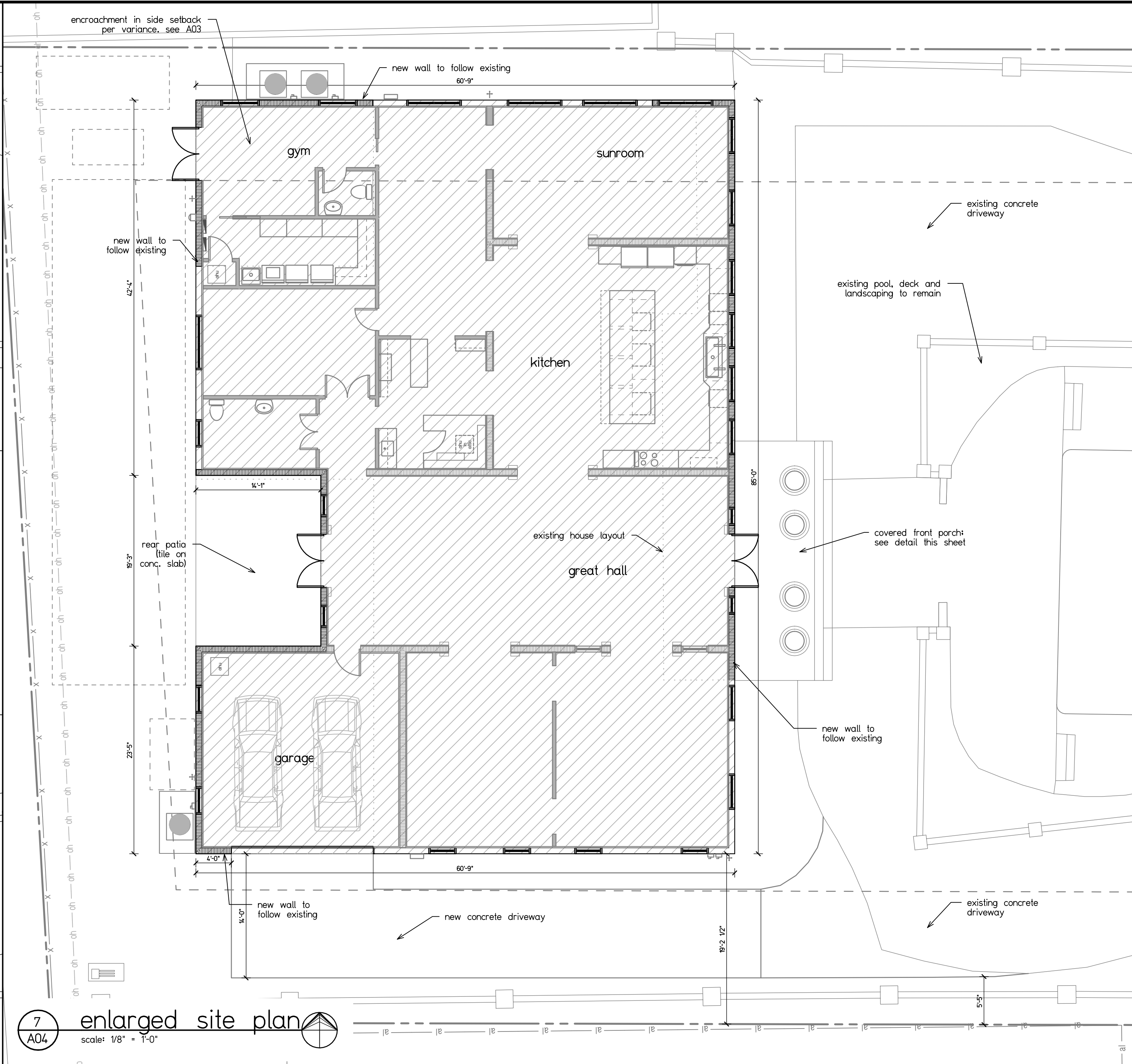
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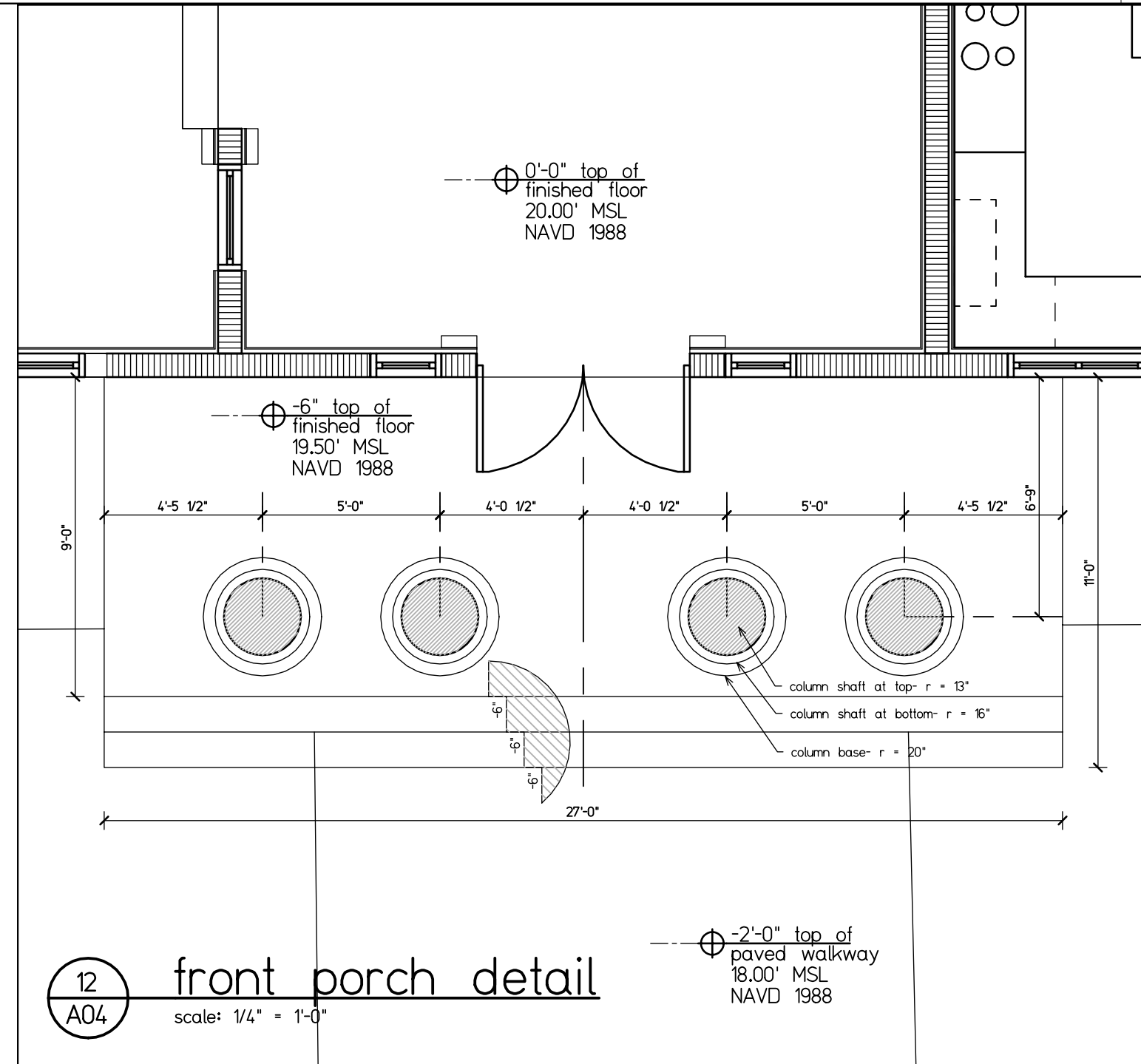




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A04
demolition plan
scale: 1/8" = 1'-0"



7
A04
enlarged site plan
scale: 1/8" = 1'-0"



12
A04
front porch detail
scale: 1/4" = 1'-0"

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MARCELLO PINO
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REGISTERED ARCHITECT
Marcello Pino AR0016862

client: Joseph & Helen Asir
project: residential renovation
address: 5920 N Ocean Blvd
Ocean Ridge, FL 33435

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for permit

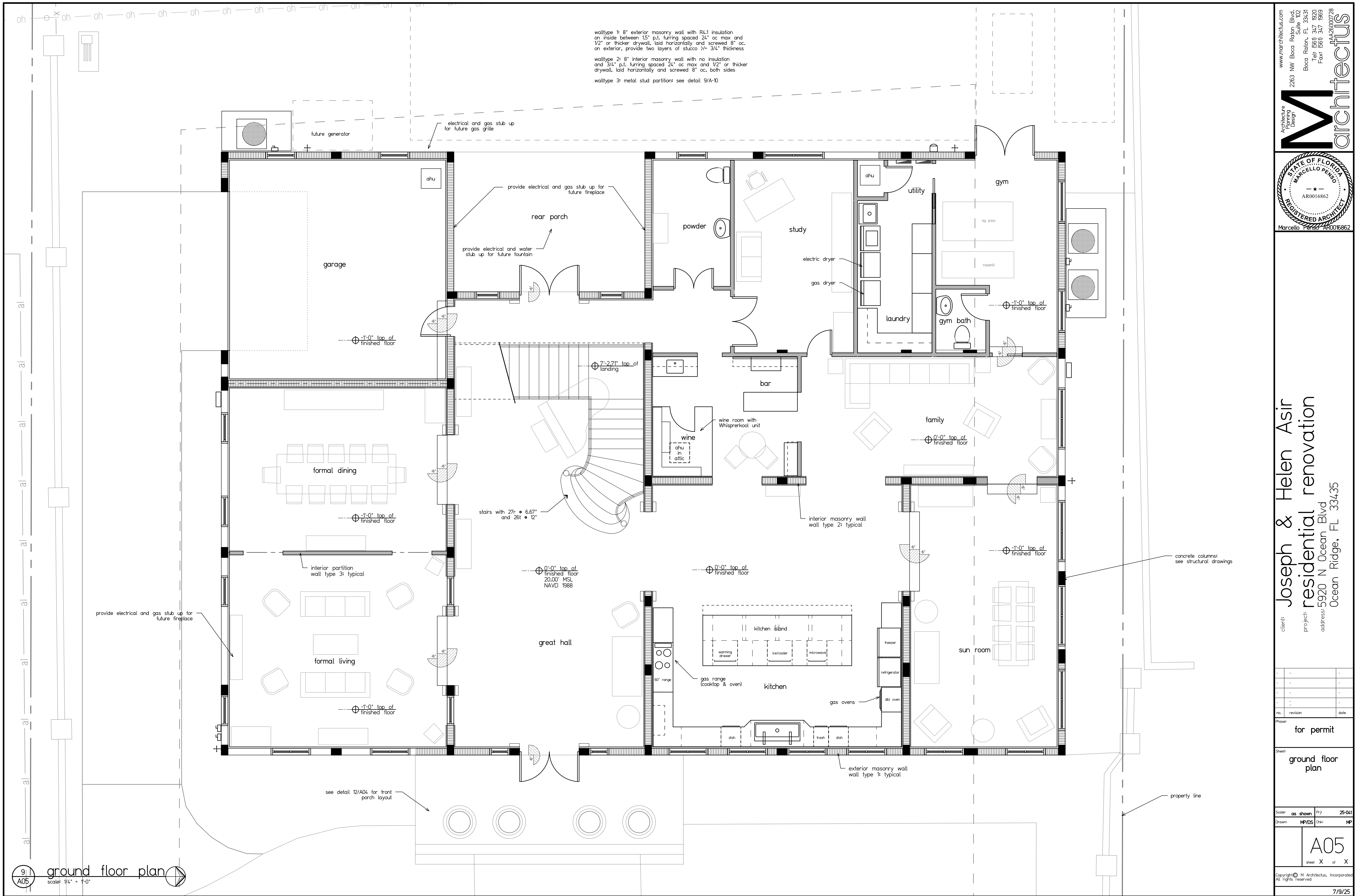
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7/9/25



walltype 1: 8" exterior masonry wall with R4.1 insulation on inside between 15" p.t. furring spaced 24" oc max and 1/2" or thicker drywall, laid horizontally and screwed 8" oc. on exterior, provide two layers of stucco >= 3/4" thickness

walltype 2: 8" interior masonry wall with no insulation and 3/4" p.t. furring spaced 24" oc max and 1/2" or thicker drywall, laid horizontally and screwed 8" oc, both sides

walltype 3: metal stud partition: see detail 9/A-10

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2263 NW Boca Raton Blvd.
Suite 102
Boca Raton, FL 33431
Tel: (561) 347 1920
Fax: (561) 347 1969
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STATE OF FLORIDA
MARCELLO PERINO
AR0016862
REGISTERED ARCHITECT

Marcello Perino AR0016862

client: Joseph & Helen Asir
project: residential renovation
address: 5920 N Ocean Blvd
Ocean Ridge, FL 33435

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for permit

Sheet: ground floor plan

Scale: as shown (in ft) 25'-0"

Drawn: MP/DS Date: MP

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sheet X of X

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7/9/25

handrail mounted 34" to 38" above tread nosing; anchorage to resist 200lb concentrated force in any direction

minimum clearance to wall (FBCR 311.7.8)

type 1 circular handrail with 1.75" diameter- provide shop drawing of code compliant cross section for approval, having some graspability of a circular cross section of 1.25" to 2" in diameter (FBCR R311.7.8.3); railing to be paintgrade

1 1/2"

5 stair handrail detail

scale: 1" = 1"

guardrails can be 36" high max in R-3 occupancies

handrail at 34" to 38" above leading edge of tread

construction to resist 200 lb concentrated load in any direction

handrail extensions not required for R-3 occupancies

where used, balusters must be spaced 4" max oc

if bottom rail is provided it should be no higher than 2" above leading edge of tread; bottom rail is not required for R-3 occupancies

9 typical railing detail

scale: 1" = 1'-0"

walltype 1: 8" exterior masonry wall with R4.1 insulation on inside between 15" p.i., furring spaced 24" oc max and 1/2" or thicker drywall, laid horizontally and screwed 8" oc, on exterior, provide two layers of stucco 3/4" thickness

walltype 2: 8" interior masonry wall with no insulation and 3/4" p.i., furring spaced 24" oc max and 1/2" or thicker drywall, laid horizontally and screwed 8" oc, both sides

walltype 3: metal stud partitions see detail 9/A-10

10 second floor plan

scale: 1/4" = 1'-0"

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REGISTERED ARCHITECT

Marcello Pino AR0016862

client: Joseph & Helen Asir

project: residential renovation

address: 5920 N Ocean Blvd
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for permit

Sheet: second floor plan

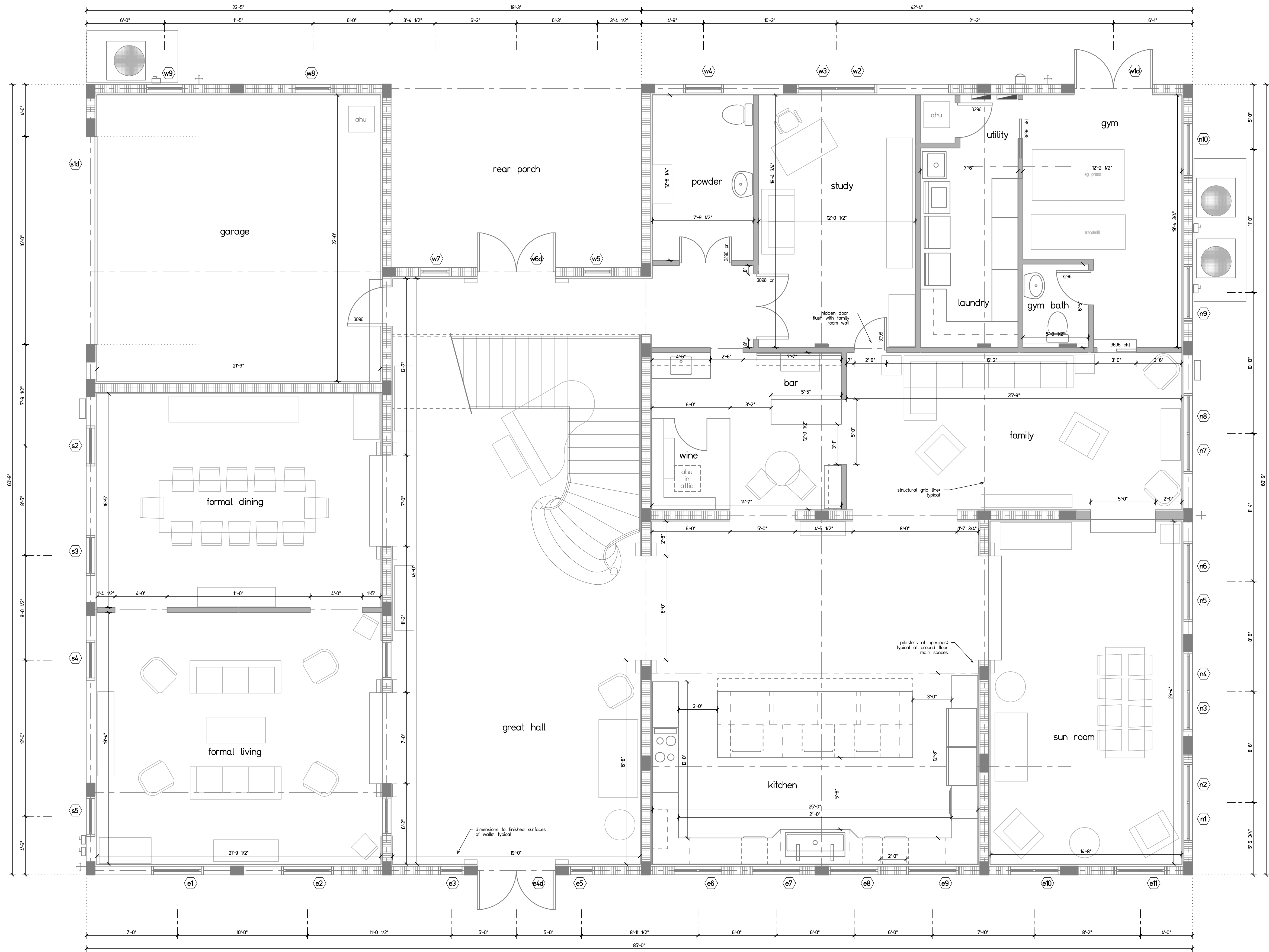
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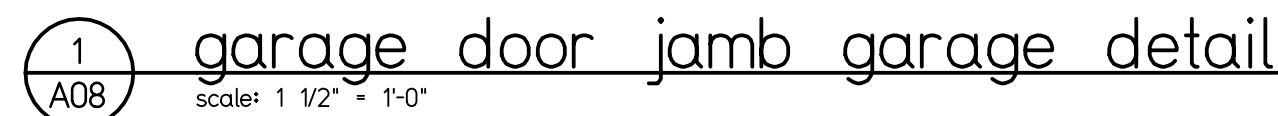
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sheet X of X

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Phase: for permit

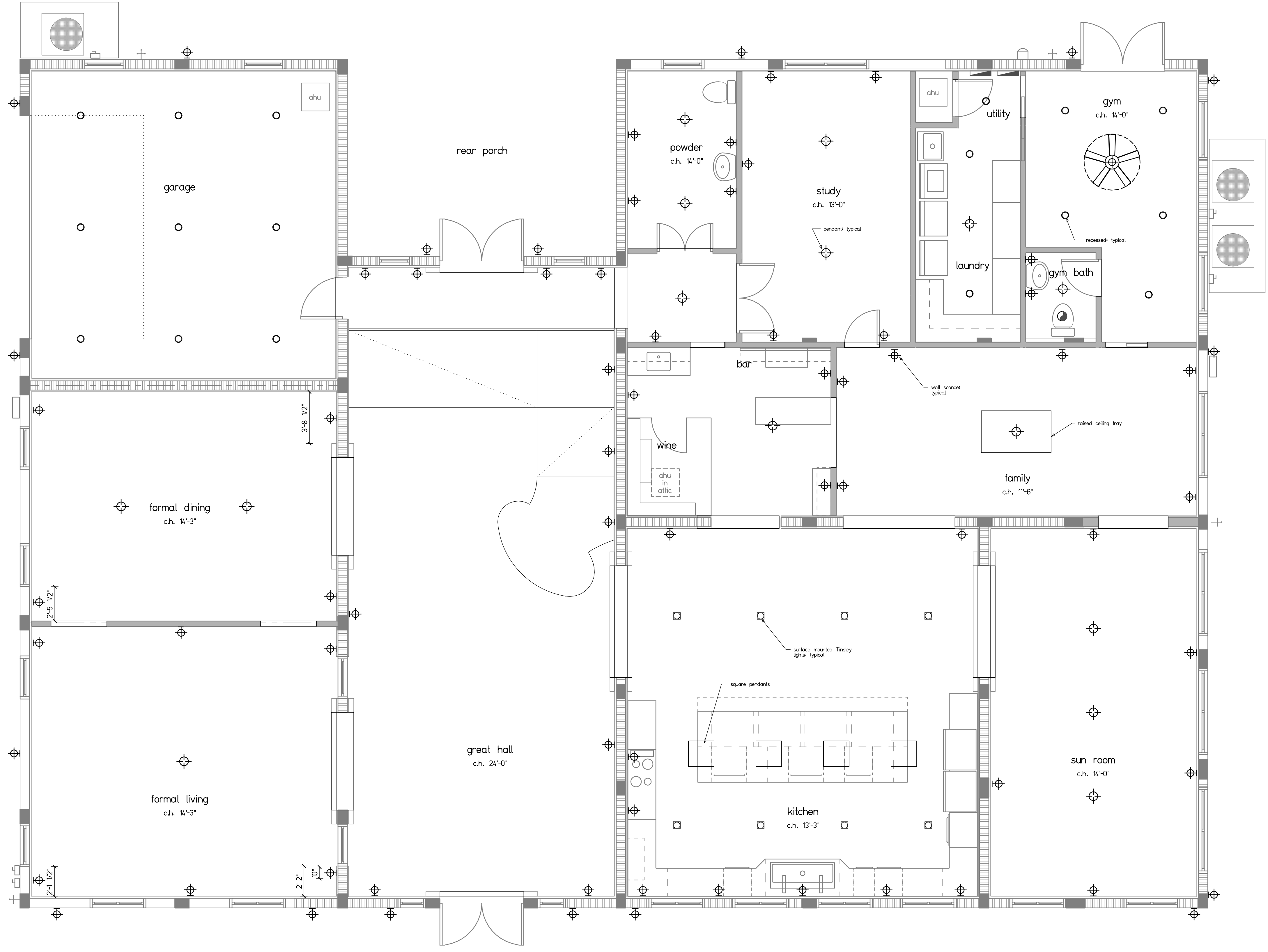
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second floor
layout plan

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sheet X of X

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Design

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STATE OF FLORIDA

MARCELLO PINO

AR0016862

REGISTERED ARCHITECT

Marcello Pino AR0016862

client:

project:

address:

Joseph & Helen Asir

residential renovation

5920 N Ocean Blvd

Ocean Ridge, FL 33435

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for permit

Sheet:

ground floor ceiling plan

Scale:

as shown

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25-041

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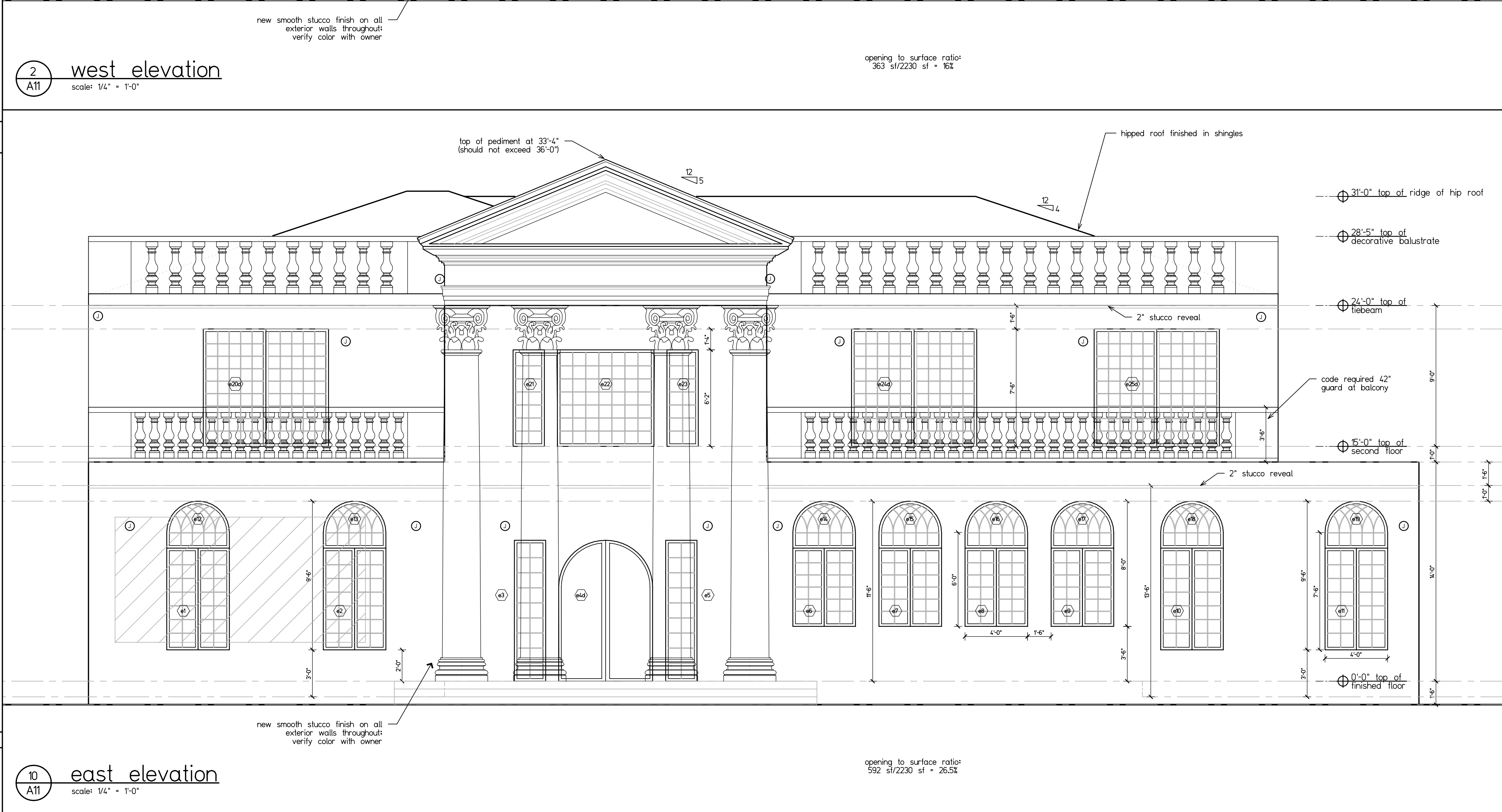
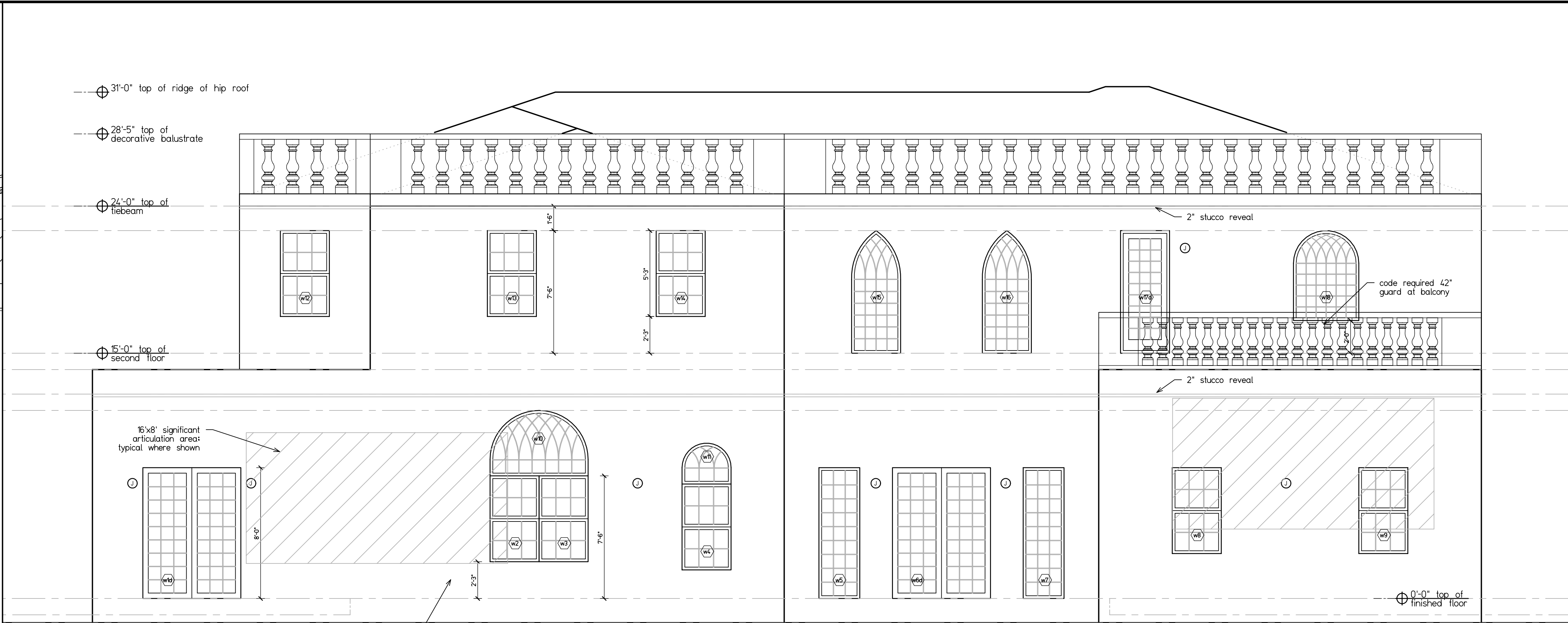
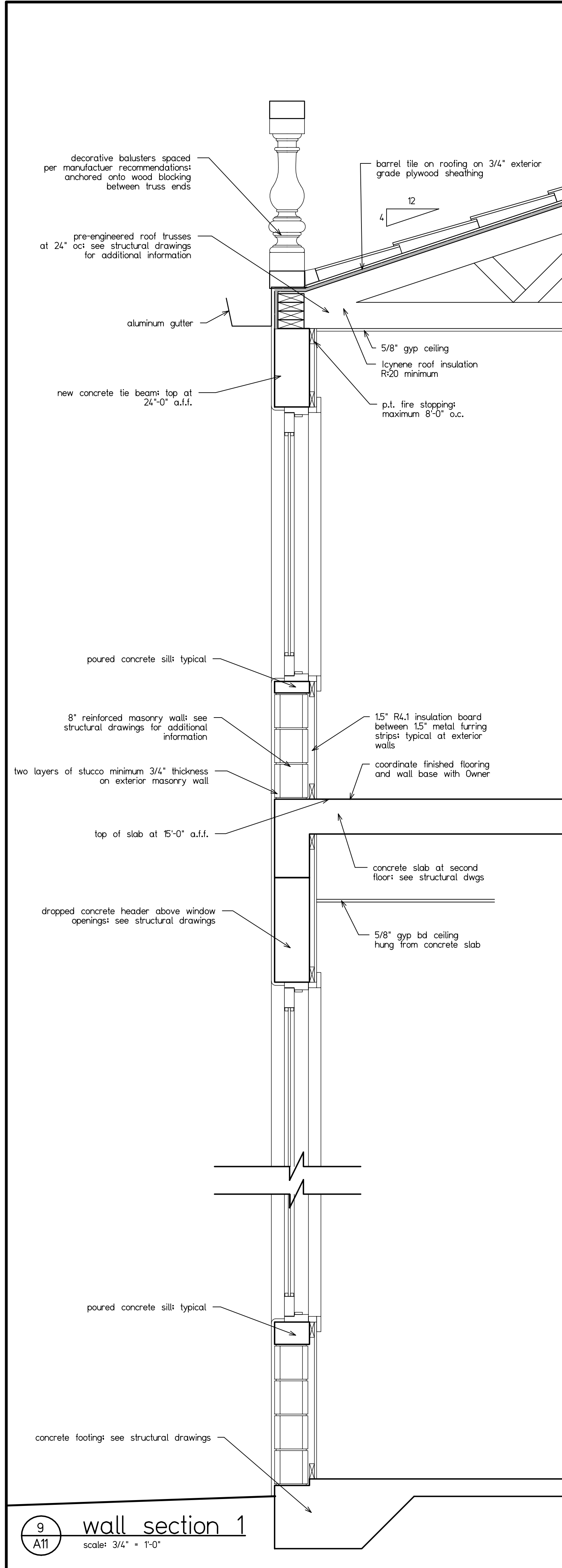
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no.	revision	date

for permit

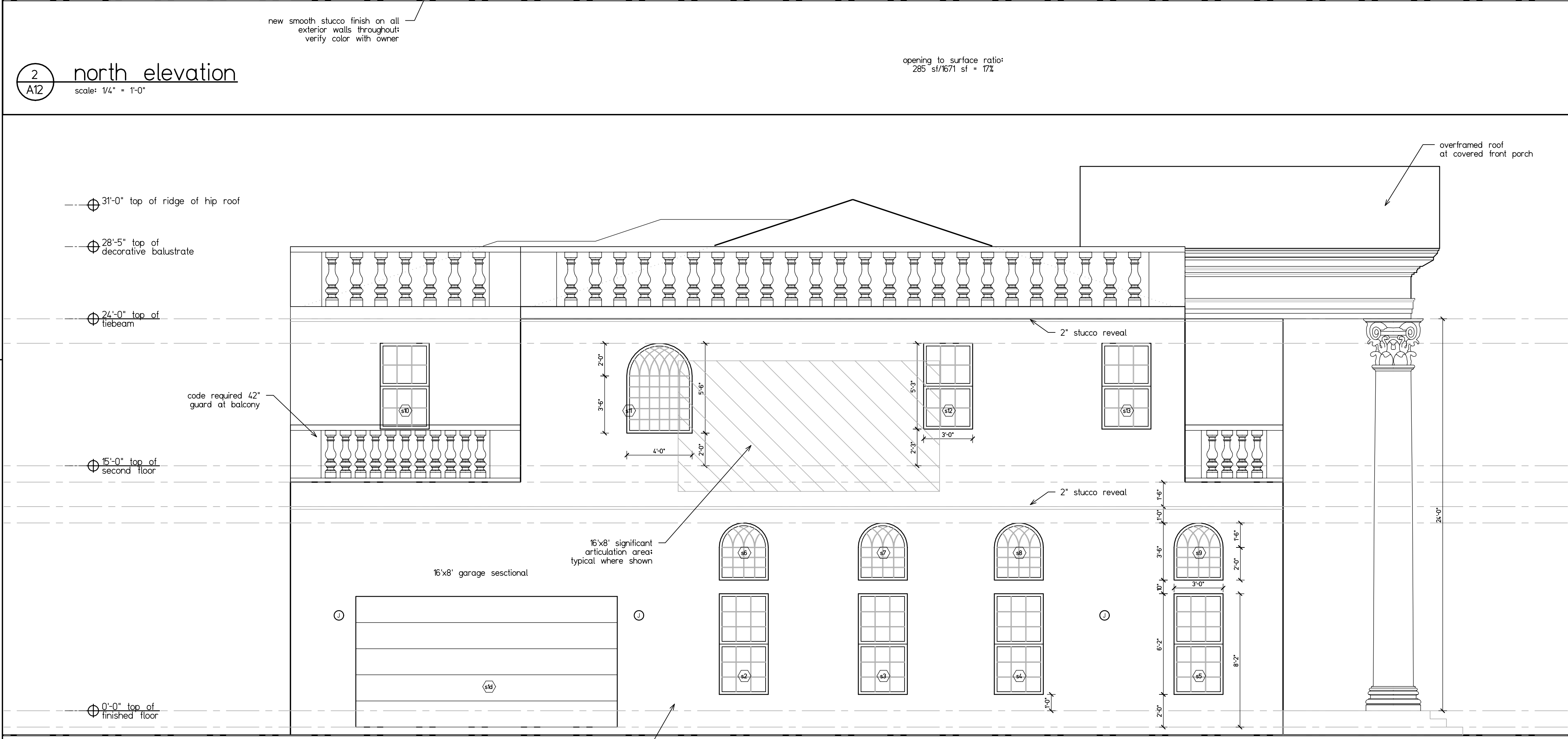
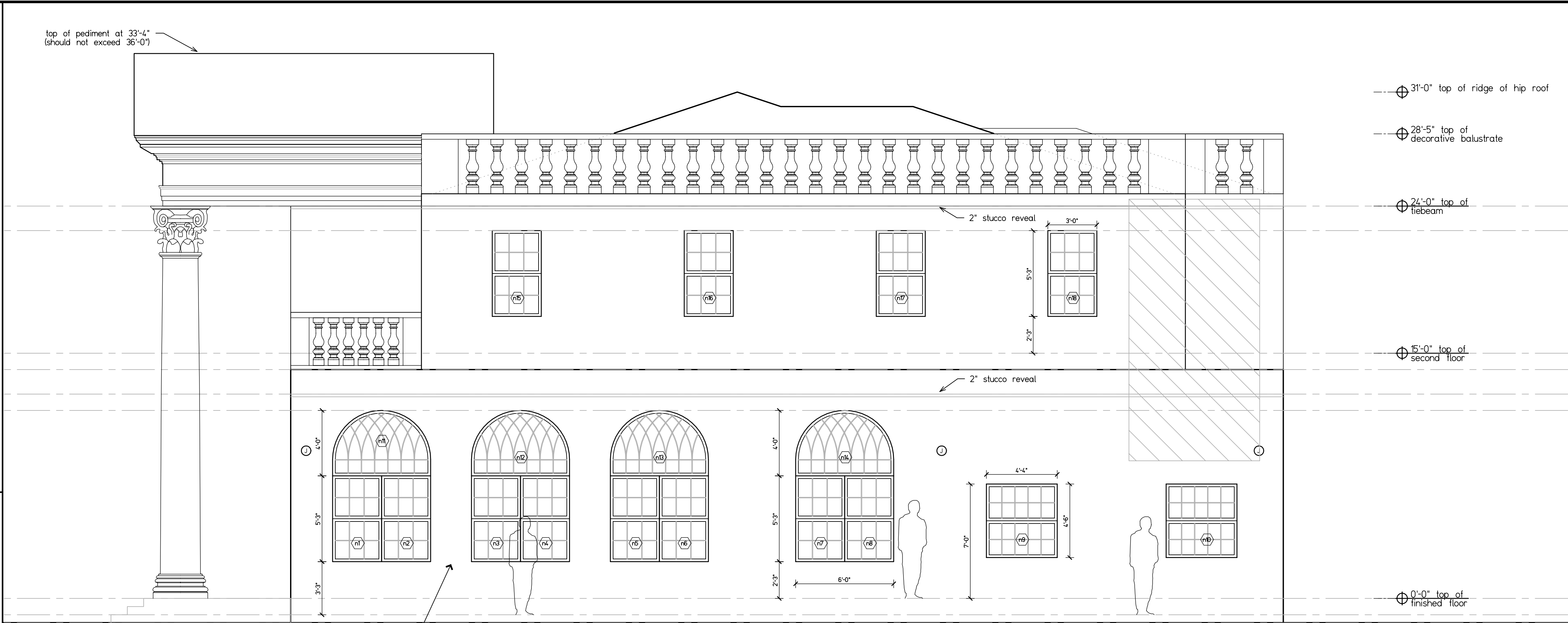
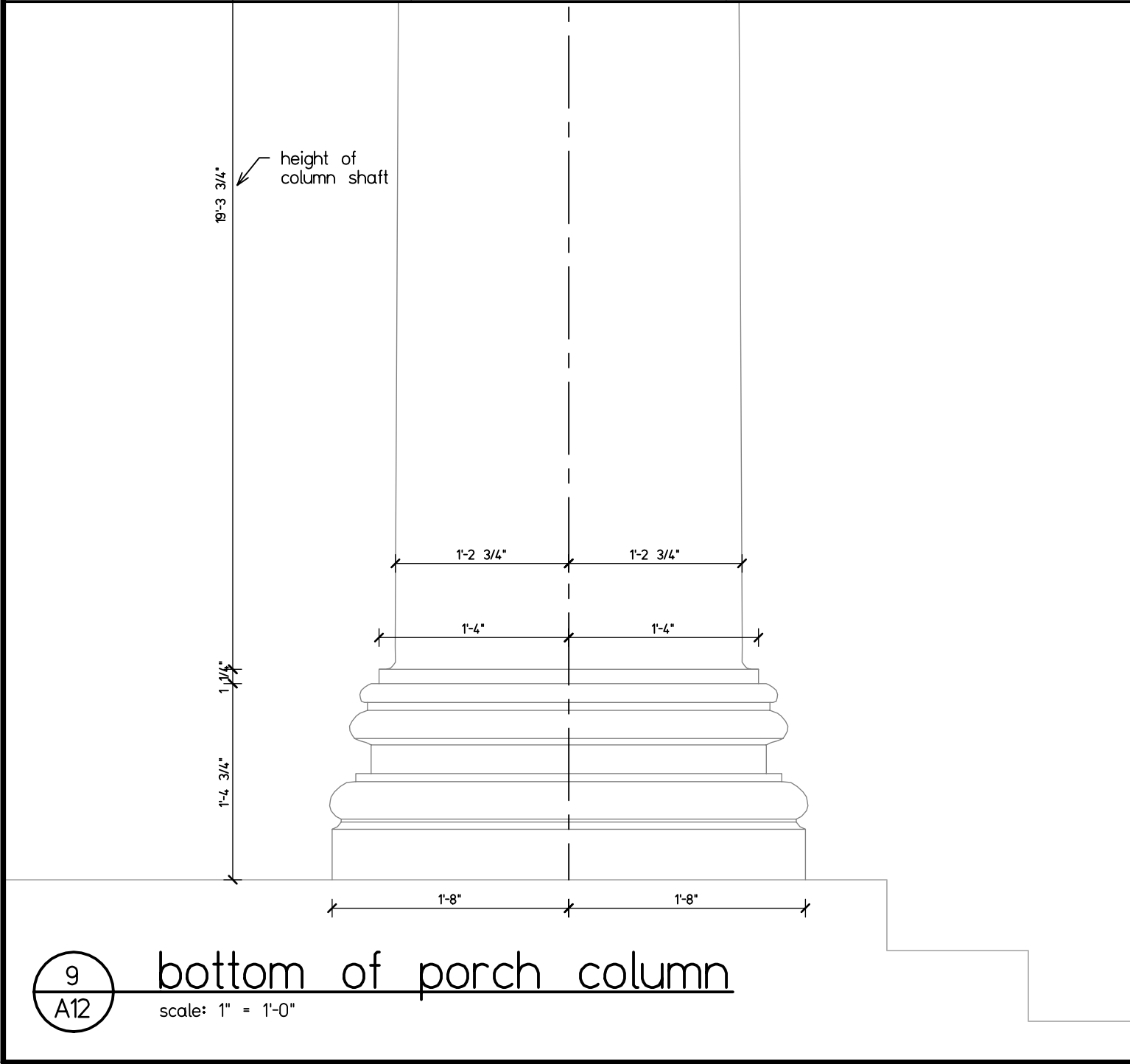
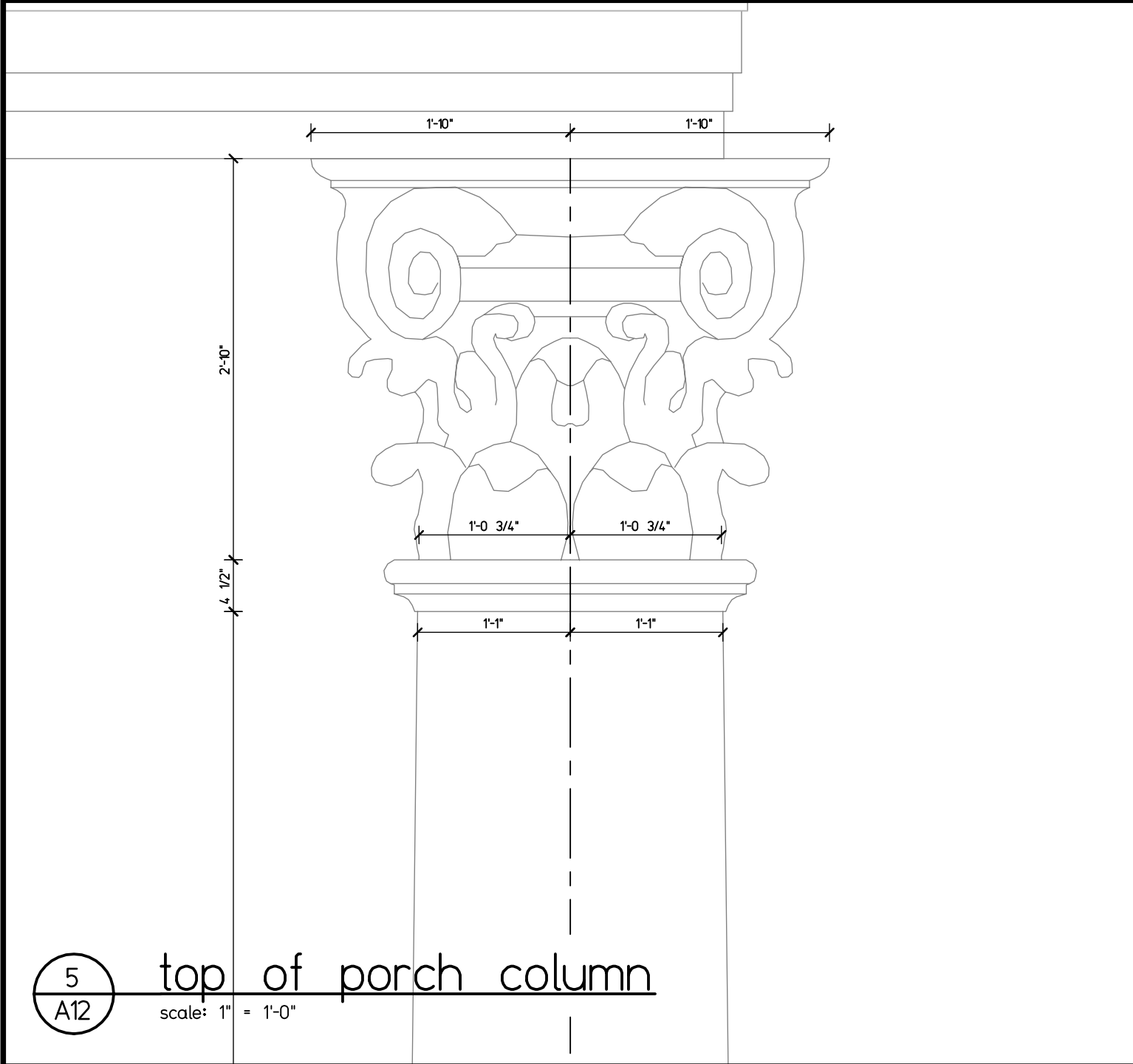
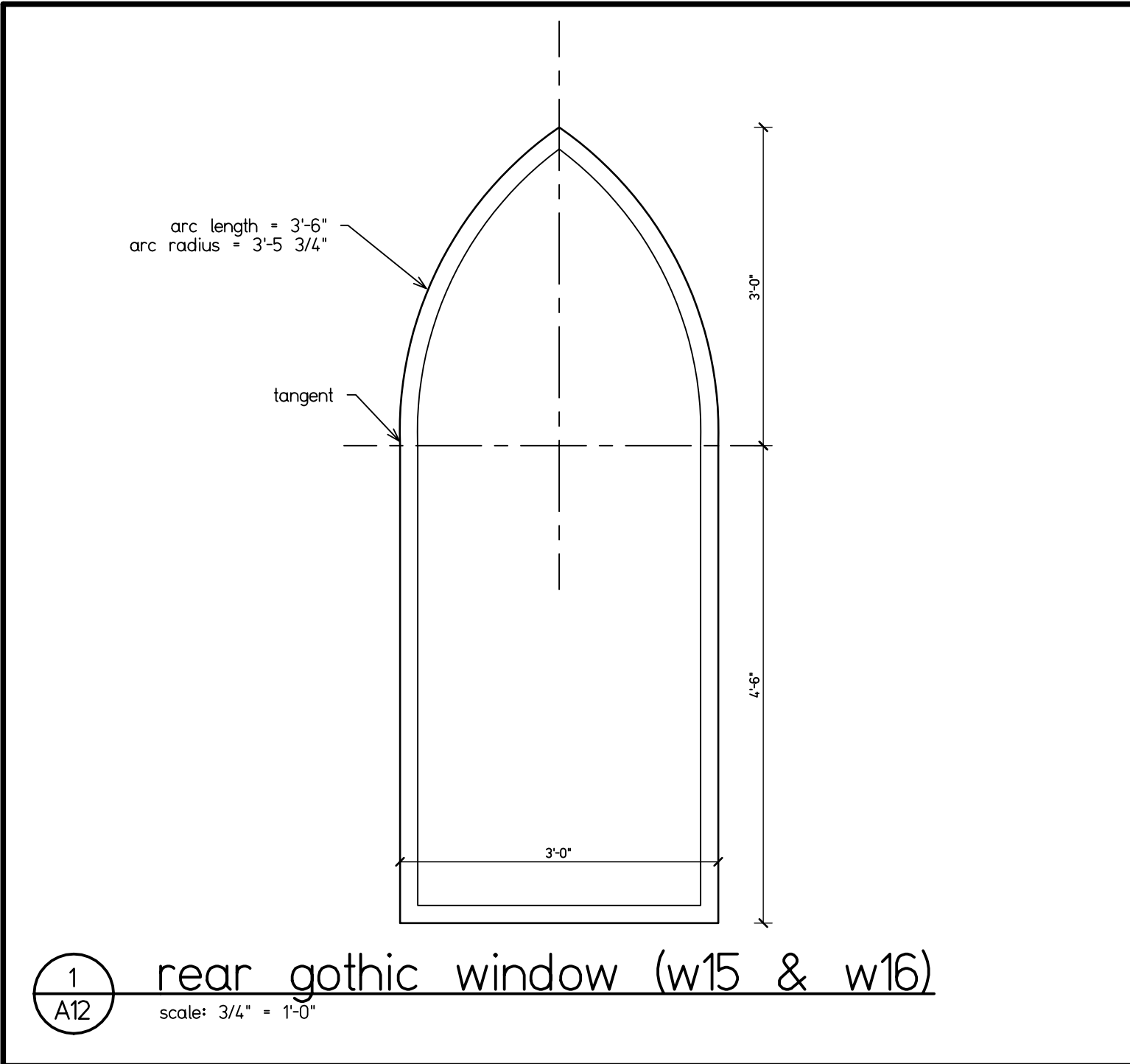
Sheet: east and west elevations

Scale	as shown	in J	25-041
Drawn	MP/DS	Draw	MP

A11
sheet X of X

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1/27/26



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Suite 102
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Tel: (561) 347-1920
Fax: (561) 347-1969

Architecture
Interior Design

Mararchitectus

STATE OF FLORIDA
MARCELLO PENGO
REGISTERED ARCHITECT
AR0016862

client: Joseph & Helen Asir
project: residential renovation
address: 5920 N Ocean Blvd
Ocean Ridge, FL 33435

no.	revision	date
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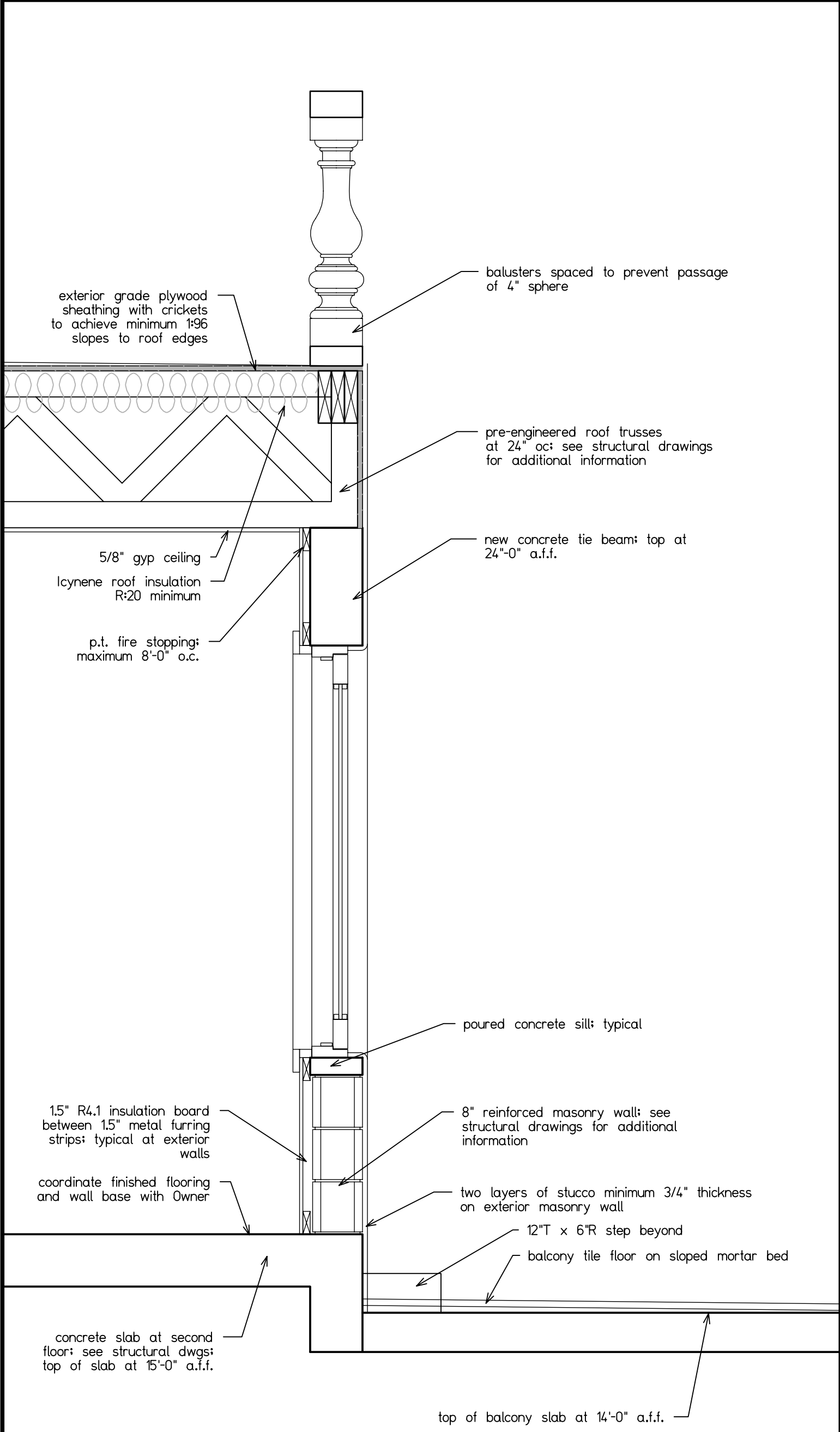
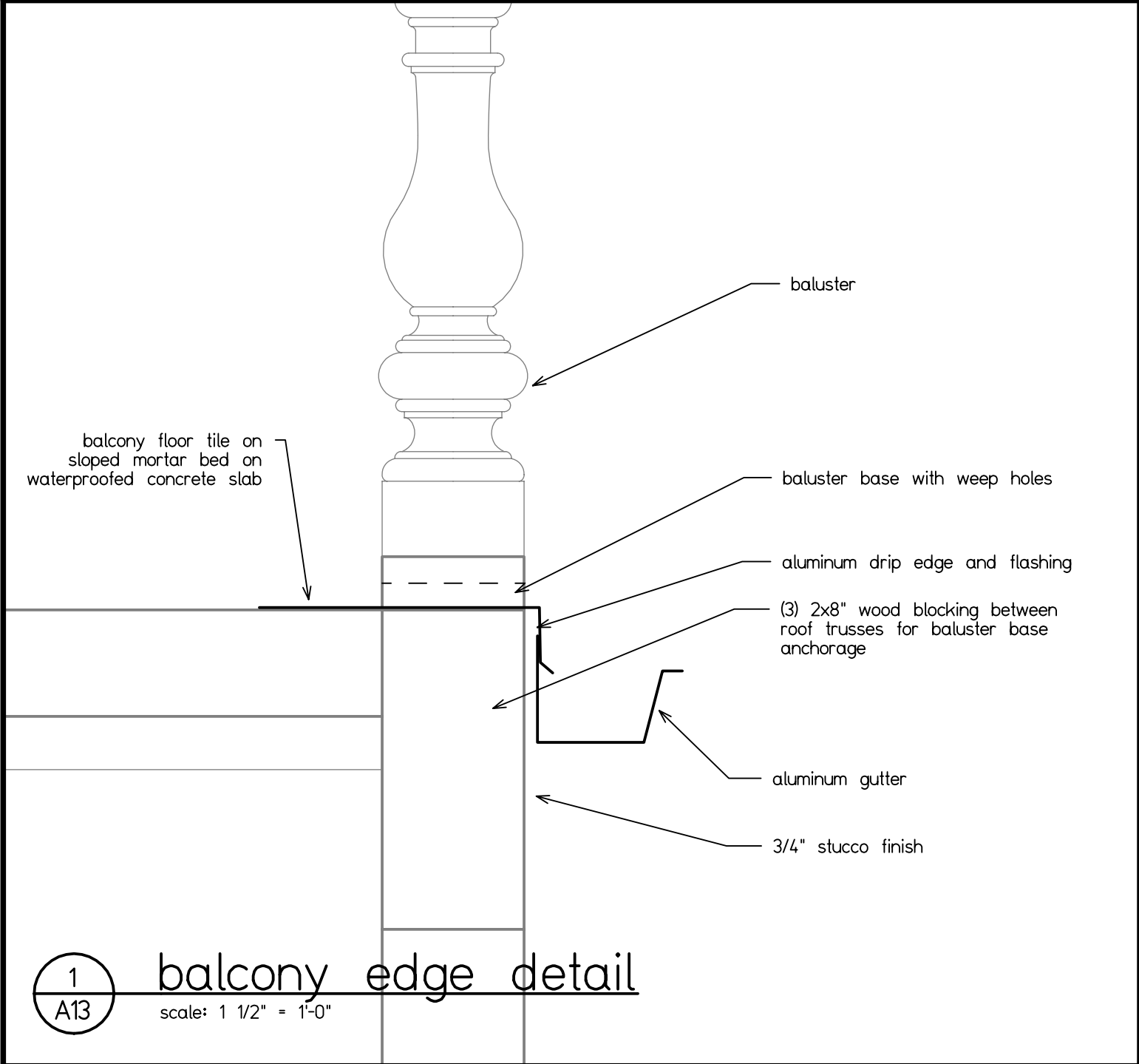
Sheet: north and south elevations

Scale	as shown	in J	25-041
Drawn	MP/DS	Drawn	MP

A12

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Architectus

STATE OF FLORIDA
MARCELLO PINO
AR0016862
REGISTERED ARCHITECT

Marcello Pino AR0016862

client: Joseph & Helen Asir

project: residential renovation

address: 5920 N Ocean Blvd
Ocean Ridge, FL 33435

no.	revision	date
-	-	-
-	-	-
-	-	-
-	-	-

Phase: for permit

Sheet: balcony and drainage plan

Scale	as shown	in J	25'-0"
Drawn	MP/DS	ch	MP

A13

sheet X of X

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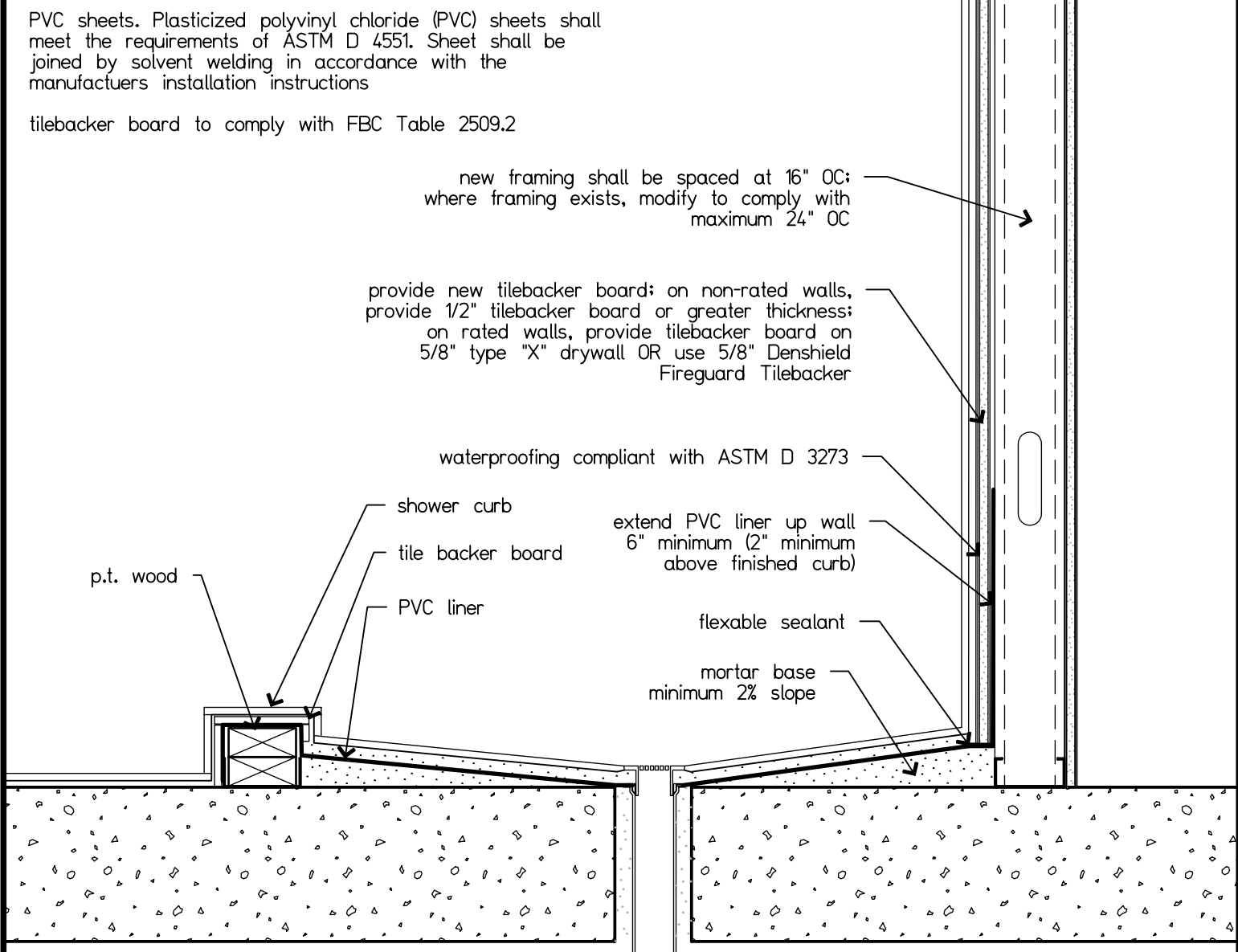
7/9/25

window schedule							
mark	size	type	frame	finish	wind pressures	NOA #	remarks
				east elevation			
e1	24"x90" pair	fixed	alum	white	+32.2/-35.1	25-0929.08	
e12	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e1
e2	24"x90" pair	fixed	alum	white	+32.2/-35.1	25-0929.08	
e13	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e2
e3	24"x108"	fixed	alum	white	+32.4/-35.3	25-0929.08	
e5	24"x108"	fixed	alum	white	+32.4/-35.3	25-0929.08	
e6	24"x72" pair	fixed	alum	white	+32.7/-35.6	25-0929.08	
e14	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e6
e7	24"x72" pair	fixed	alum	white	+32.7/-35.6	25-0929.08	
e15	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e7
e8	24"x72" pair	fixed	alum	white	+32.7/-35.6	25-0929.08	
e16	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e8
e9	24"x72" pair	fixed	alum	white	+32.7/-35.6	25-0929.08	
e17	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e9
e10	24"x90" pair	fixed	alum	white	+32.2/-35.1	25-0929.08	
e18	48"x24" arch	fixed	alum	white	+34.6/-37.5	25-0929.08	needs horizontal mullion bar to connect to e10
e11	24"x90" pair	fixed	alum	white	+32.2/-41.3	25-0929.08	
e19	48"x24" arch	fixed	alum	white	+34.6/46.2	25-0929.08	needs horizontal mullion bar to connect to e11
e21	24"x72" pair	fixed	alum	white	+34.2/-37.1	25-0929.08	
e22	72"x72" pair	fixed	alum	white	+318/-34.7	25-0929.08	
e23	24"x72" pair	fixed	alum	white	+34.2/-37.1	25-0929.08	
				north elevation			
n1	37"x63"	single hung	alum	white	+33.6/-44.0	24-0116.05	needs CWS mullion bar to connect to n2
n2	37"x63"	single hung	alum	white	+33.6/-44.0	24-0116.05	
n11	74"x37" arch	fixed	alum	white	+33.2/-43.3	25-0929.08	needs horizontal mullion bar to connect to n1 & n2
n3	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	needs CWS mullion bar to connect to n2
n4	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
n12	74"x37" arch	fixed	alum	white	+33.2/-36.1	25-0929.08	needs horizontal mullion bar to connect to n1 & n2
n5	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	needs CWS mullion bar to connect to n2
n6	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
n13	74"x37" arch	fixed	alum	white	+33.2/-36.1	25-0929.08	needs horizontal mullion bar to connect to n1 & n2
n7	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	needs CWS mullion bar to connect to n2
n8	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
n14	74"x37" arch	fixed	alum	white	+33.2/-36.1	25-0929.08	needs horizontal mullion bar to connect to n1 & n2
n9	54"x52"	single hung	alum	white	+33.2/-36.0	25-0929.03	
n10	54"x52"	single hung	alum	white	+33.2/-36.0	25-0929.03	
n15	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
n16	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
n17	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
n18	37"x63"	single hung	alum	white	+33.6/-36.5	24-0116.05	
						24-0116.22	mullion bar product approval
notes: provide shop drawings for review for all new windows: sizes are nominal windows to be installed with p.t. 2x buck at header; 2x buck to be anchored to header with 1/4" tapcons at spacing equal or less than anchorage spacing required for window frame at header; refer to manufacturer NOA and details on A06; ** indicates windows already owned by Owner							

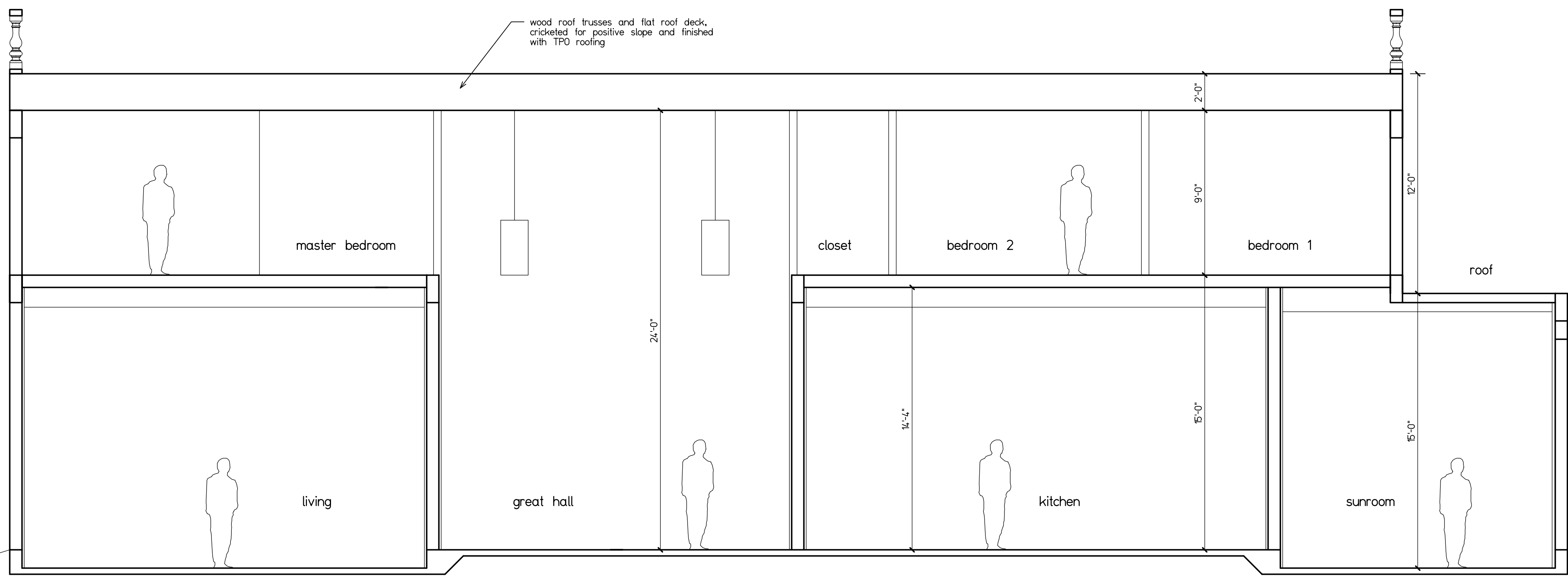


notes:

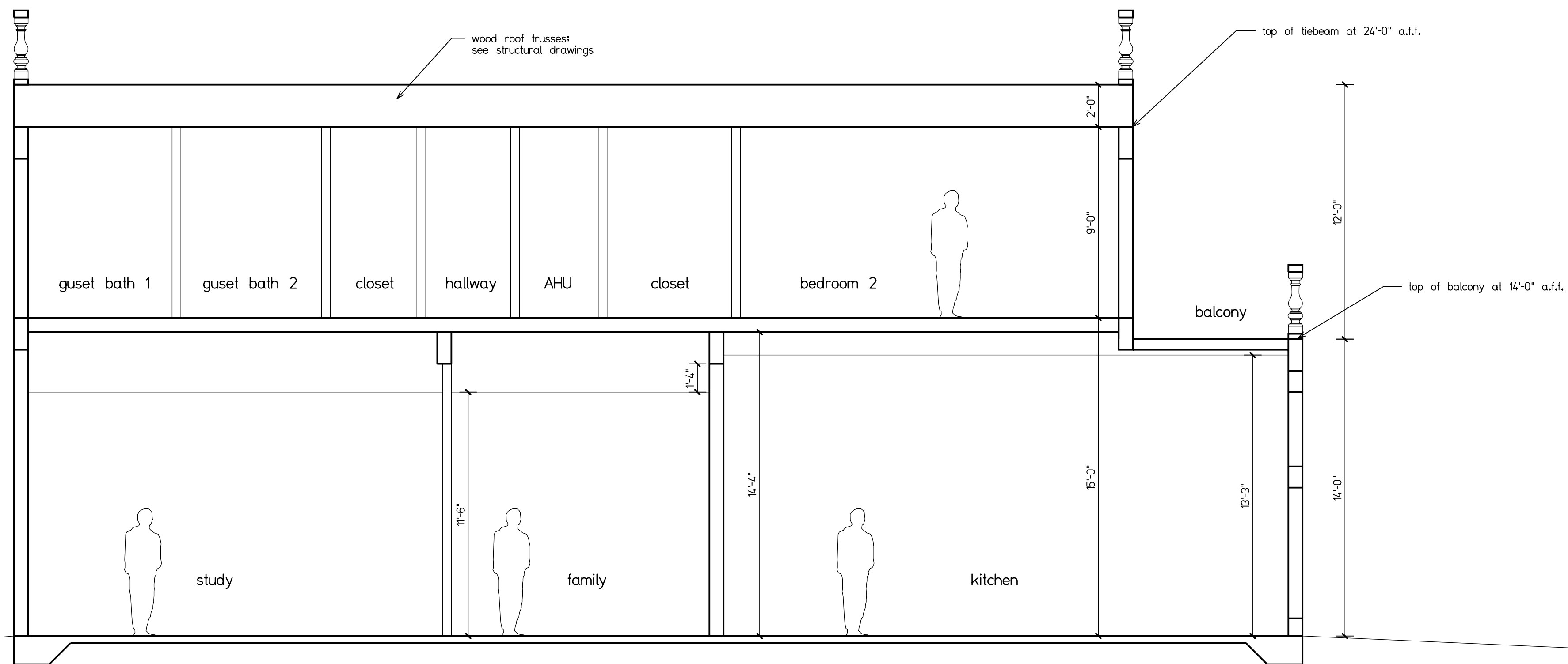
- provide shop drawings for review for all new windows: sizes are nominal; windows to be installed with p.t.
- 2x back-sill header will be anchored to header with 1/4" lapcocks of spacing equal to or less than anchorages spacing required for window frame at header; refer to manufacturer NOA and details on A06;
- ** indicates windows already owned by Owner



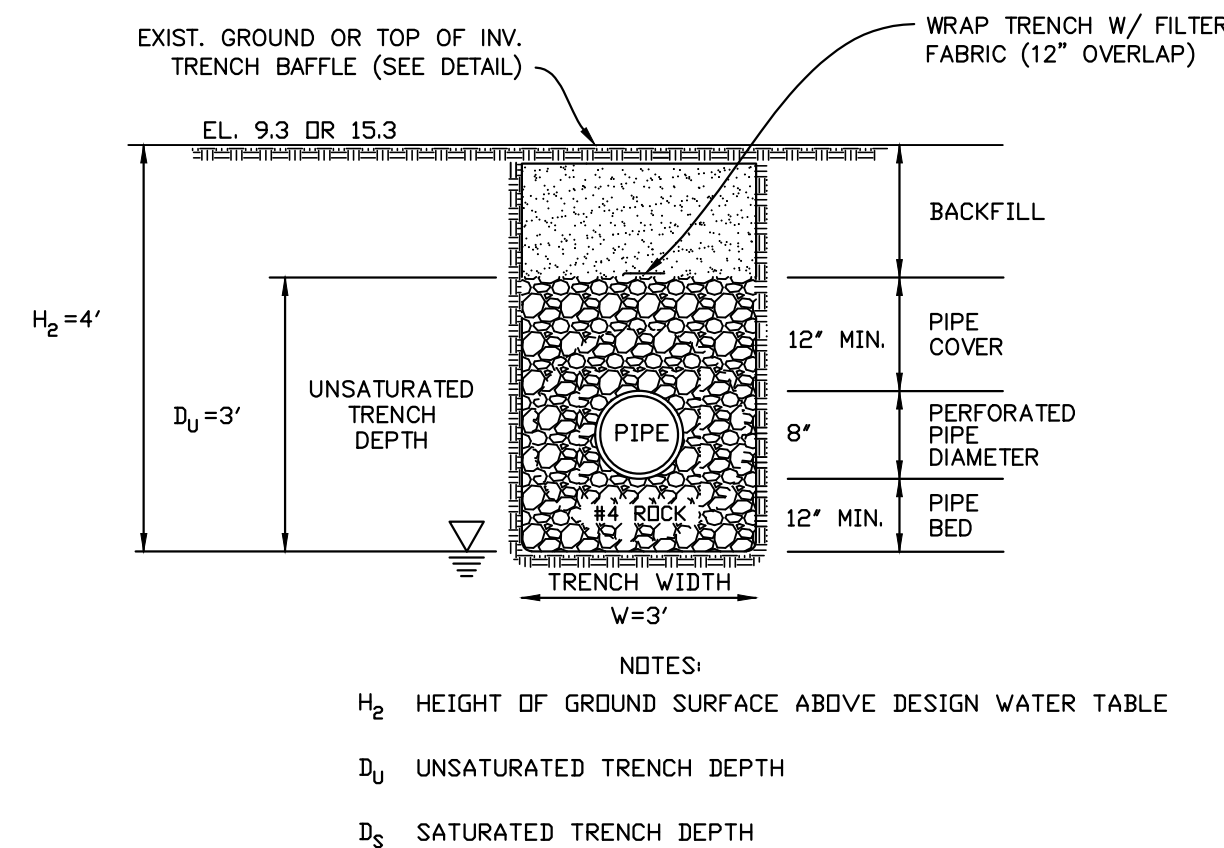
9 shower pan detail
scale: 1 1/2" = 1'-0"



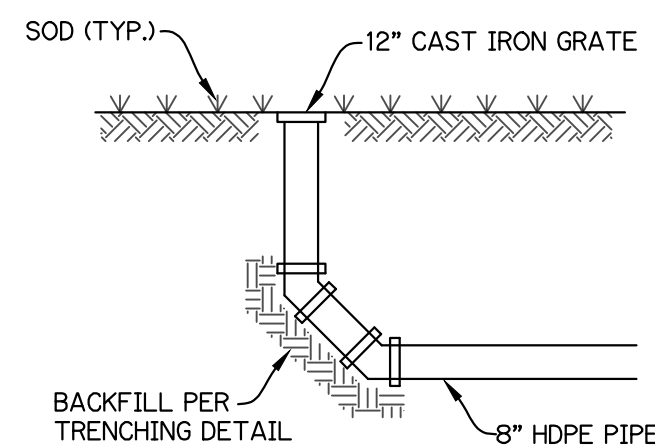
2 section through living, great hall, kitchen and sunroom
scale: 1/4" = 1'-0"



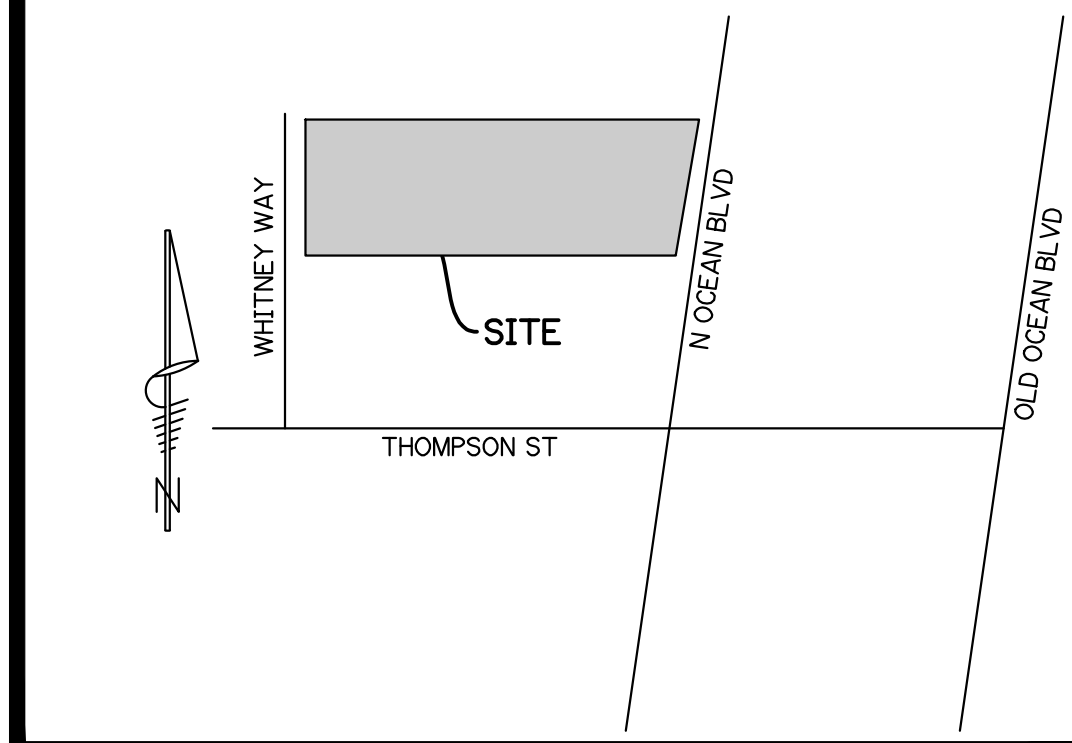
10 section through study/kitchen
scale: 1/4" = 1'-0"



EXFILTRATION TRENCH DETAIL
NOT TO SCALE



YARD DRAIN DETAIL
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

LEGEND:

DIRECTION OF FLOW	
EXISTING ELEVATION	 0.00
FINISH FLOOR ELEVATION	F.F.E.
HIGH POINT	H.P.
PROPOSED CONTOUR LINE	 0.0
PROPOSED ELEVATION	 0.00
EXISTING LIGHT	
EXISTING UTILITY POLE	
EXISTING UTILITY POLE	
EXISTING VALVE	
EXISTING WATER METER	

LAND USE:

TOTAL LOT AREA = 26,535 SF
EXISTING PERVIOUS AREA = 12,874 SF
EXISTING IMPERVIOUS AREA = 13,661 SF

PROPOSED PERVIOUS AREA = 11,145 SF (42%)
PROPOSED IMPERVIOUS AREA = 15,390 SF (58%)

WATER MANAGEMENT CALCULATIONS:

$$1" \times (\text{SITE AREA}) = 2,211 \text{ CF}$$

RETENTION PROVIDED:

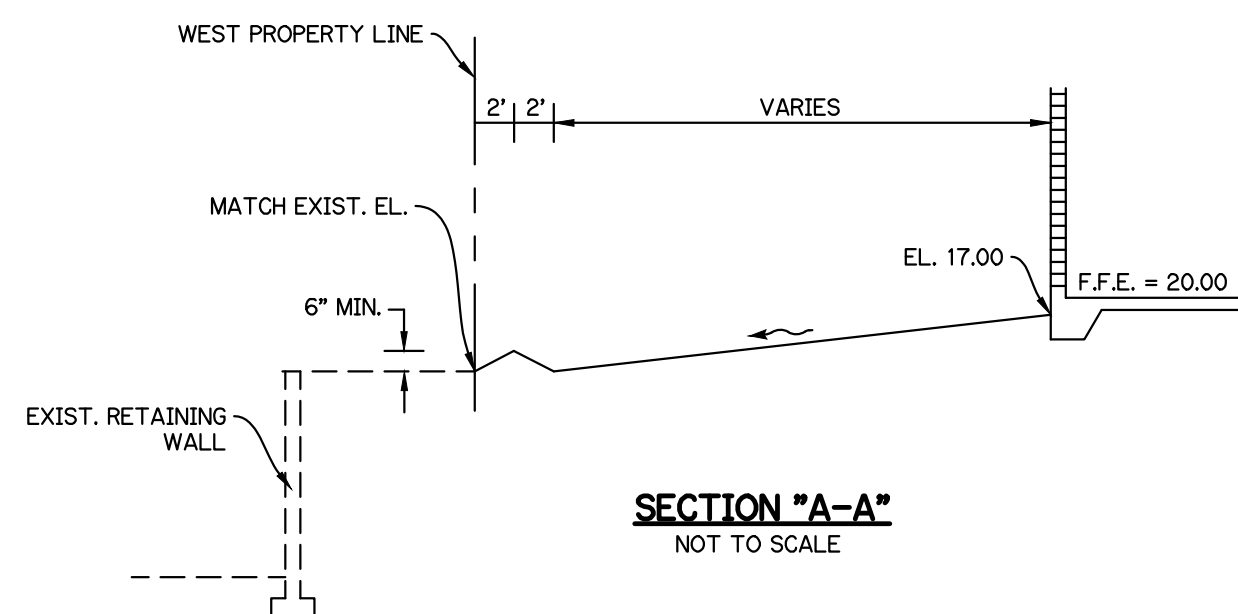
$$V_{\text{EXFILT.}} = \frac{L * (K * (H_2W + 2H_2D_U - D_U^2 + 2H_2D_S) + ((1.39 \times 10^{-4}) * W * D_U))}{FS}$$

$L = 50 \text{ LF}$
 $K = 8.91 \times 10^{-4}$
 $H_2 = 4'$
 $W = 3'$
 $D_U = 3'$
 $D_S = 0'$
 $FS = 2$

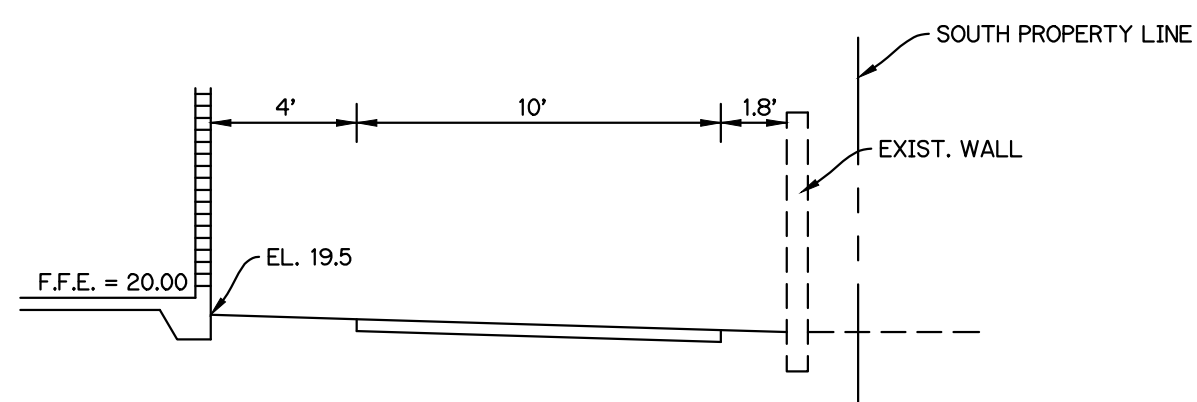
$$V_{\text{EXFILT.}} = 2.297 \text{ CF PROVIDED}$$

NOTES:

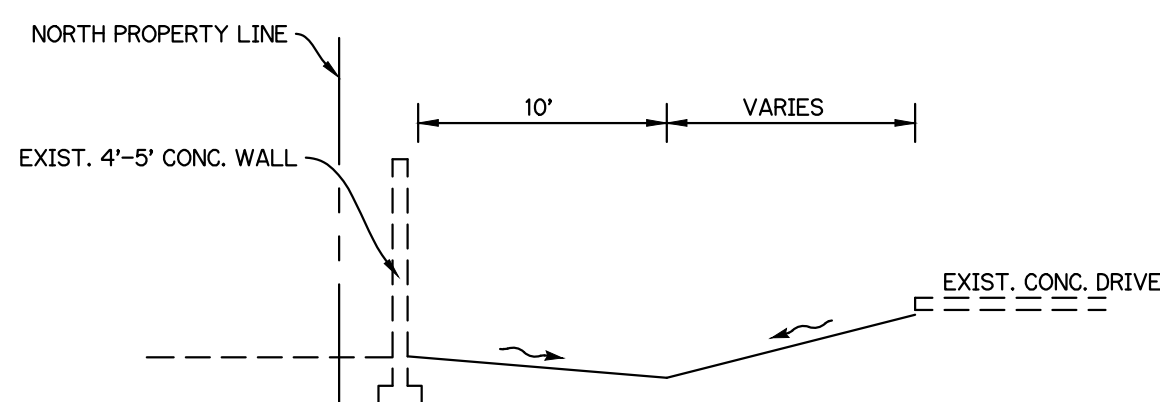
1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY PREPARED BY ACCURATE LAND SURVEYORS, INC., PROJECT NUMBER SU-21-3032, DATED 11-07-2023.
2. ALL ELEVATIONS SHOWN ARE BASED ON NAVD 1988 DATUM.
3. SITE IS LOCATED IN FLOOD ZONE "X" PER FEMA FLOOD MAP 12099C0793F.



SECTION "A-A"
NOT TO SCALE



SECTION "B-B"
NOT TO SCALE



SECTION "C-C"
NOT TO SCALE

SITE ENGINEERING PLAN

SITE ENGINEERING PLAN
FOR
5920 N OCEAN BOULEVARD
OCEAN RIDGE, FL

[illegible]

FB 9889

LPI
Last Devenport, Inc.
1860 Old Okeechobee Road, Suite 504
West Palm Beach, FL 33409
phone (561)615-6567 fax (561)615-3988

SCALE: 1"=20'

DATE: OCT 2025

DESIGNED BY: SAS

CHECKED BY:RWL

DRAWING FILE:
25-092 SI

12/17/2025
RONALD W. LAST, P.E.
FLORIDA P.E. #38707

25-092

SHEET 1 OF 1



Know what's below.
Call before you dig.

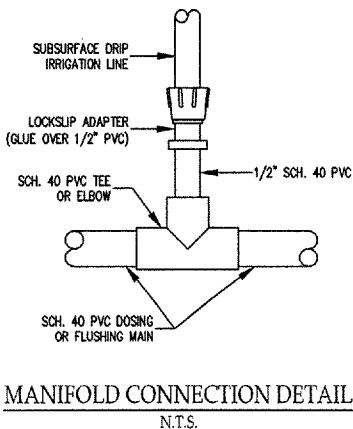
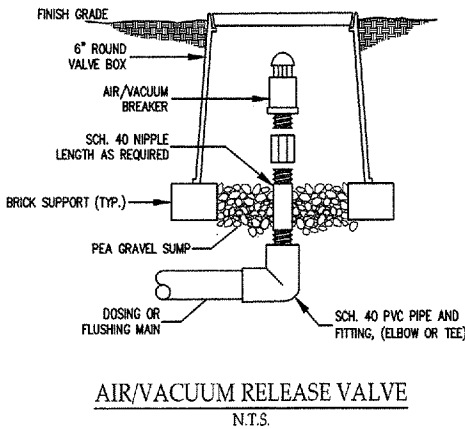
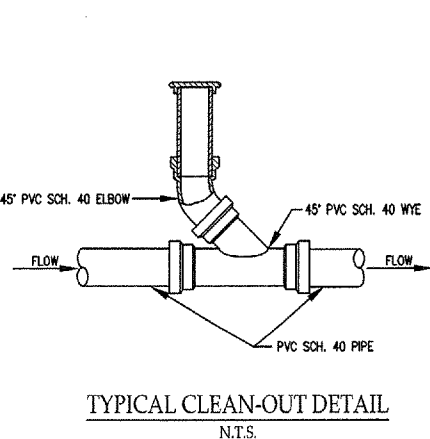
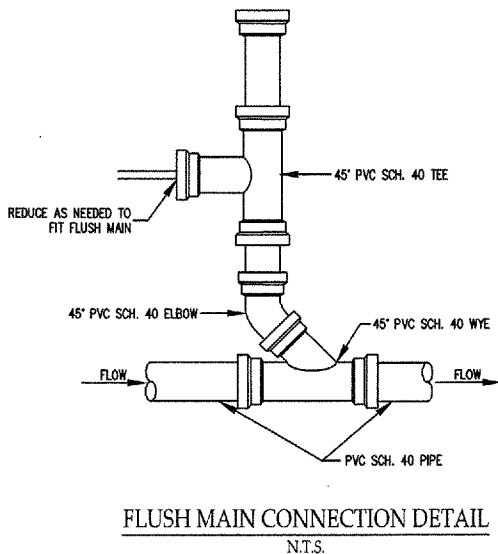
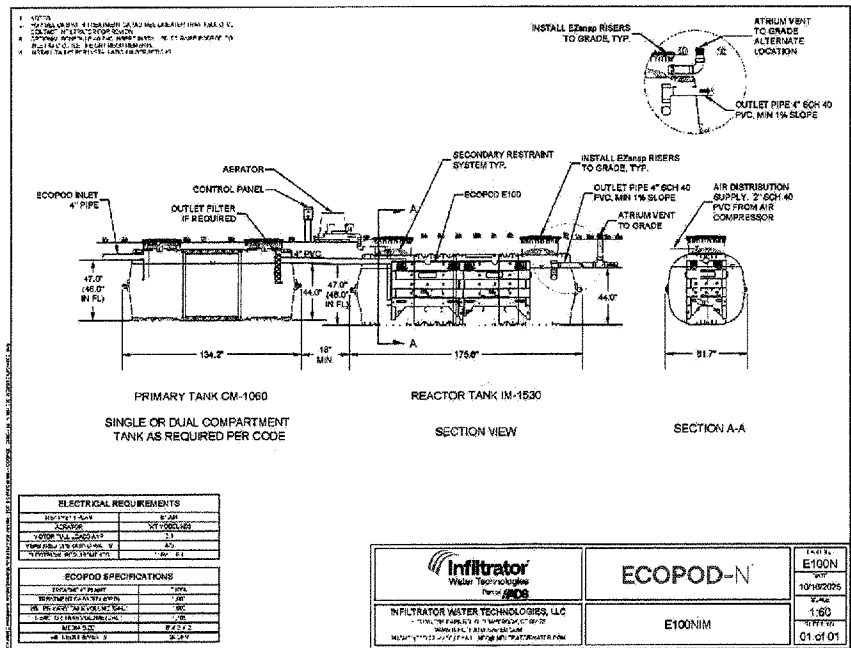
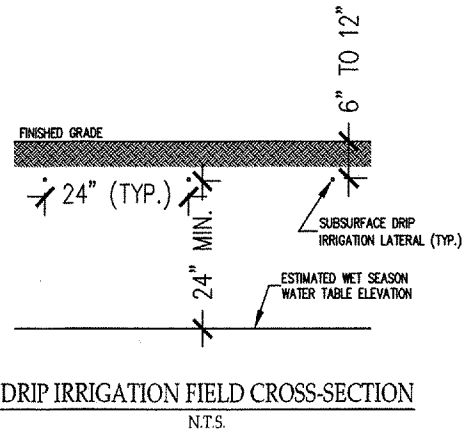
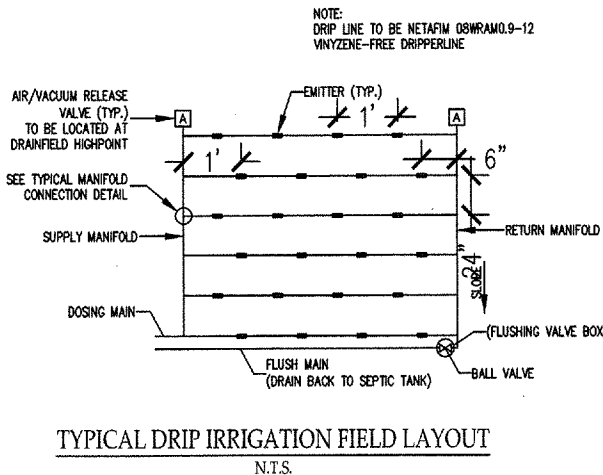
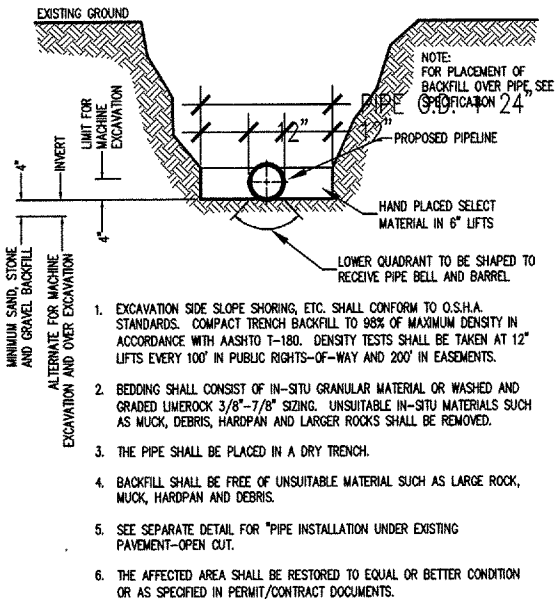


CIVIL ENGINEERING CONSULTING, INC.
CERTIFICATE OF AUTHORIZATION #33369
8195 WHITE ROCK CIRCLE
BOYNTON BEACH, FL 33436
Phone: 561-847-0398
www.ccc-fl.com

andre@ccc-fl.com

DRIP IRRIGATION CALCULATIONS

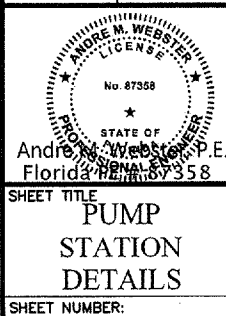
Design Table					
Design Parameters Information					
Area (Acres)	0.25	sq ft			
Peak Daily Demand (GPD)	250	gal			
Subsurface Drip Irrigation Design Parameters					
Hydraulic Loading	0.80	gal/ft ² /hr			
Drip Line Area	400	sq ft			
Drip Line Length	200	ft			
Drip Line Spacing	2.0	ft			
Drip Spacing (inches)	2.4	in			
Drip Spacing (mm)	61.0	mm			
Groundwater Table Depth	2.2	ft			
Estimated Seasonal Water Use	22.2	in			
Subsurface Drip Irrigation System Design Summary					
Piping Section	Flow (GPM)	Pressure Head (ft)	Flow (GPM)	Pressure Head (ft)	
Drainage Main	1.25	3.0	0.2	4.6	0.5
Drainage Header	1.25	3.0	0.1	4.6	0.5
Drainage Lateral	0.20	0.2	0.2	4.6	0.5
Flushing Header	1.25	3.0	N/A	1.4	0.2
Flushing Main	1.25	3.0	N/A	1.4	0.2
Subsurface Drip Irrigation System Design Summary					
Headloss Component	Flow (GPM)	Pressure Head (ft)	Flow (GPM)	Pressure Head (ft)	
Friction Head	1.25	3.0	0.2	4.6	0.5
Minor Head	1.25	3.0	0.2	4.6	0.5
Maximum Head	1.25	6.0	0.2	9.2	1.0
Total Dynamic Head	1.25	6.0	0.2	9.2	1.0
Subsurface Drip Irrigation Summary					
Number of Infiltration Units	1.0				
Length of Drip Lateral	200	ft			
EDI Drip Lateral Spacing	2.0	ft			
Min. EDI Drip Lateral	60.7	in			
Total EDI Drip Lateral	4.6	ft			
EDI Drip Lateral Spacing	1.6	ft			
Min. EDI Drip Lateral	40.7	in			



Andre M Webster

Digitally signed by
Andre M Webster
Date: 2026.01.13
10:52:54 -05'00'

Project #: 25-238
Issue Date: 12/29/25
Drawn By: AMW
Chkd By: AMW
Scale: As Shown



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ANDRE M. WEBSTER, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

EXHIBIT

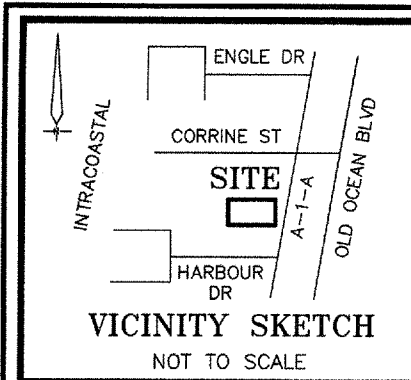
B

Current Survey

Boundary & Topographic Survey as Approved by Reviewing Staff

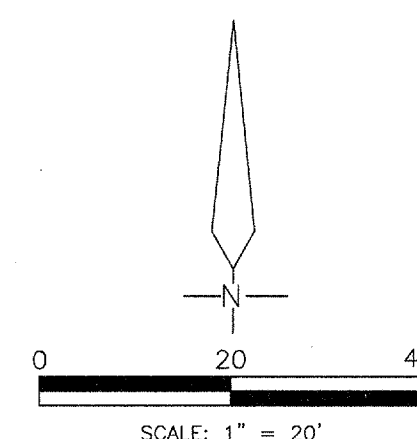
STEP 2 CHECKLIST — ITEM 2

Applicant shall submit current survey as approved by the reviewing staff.

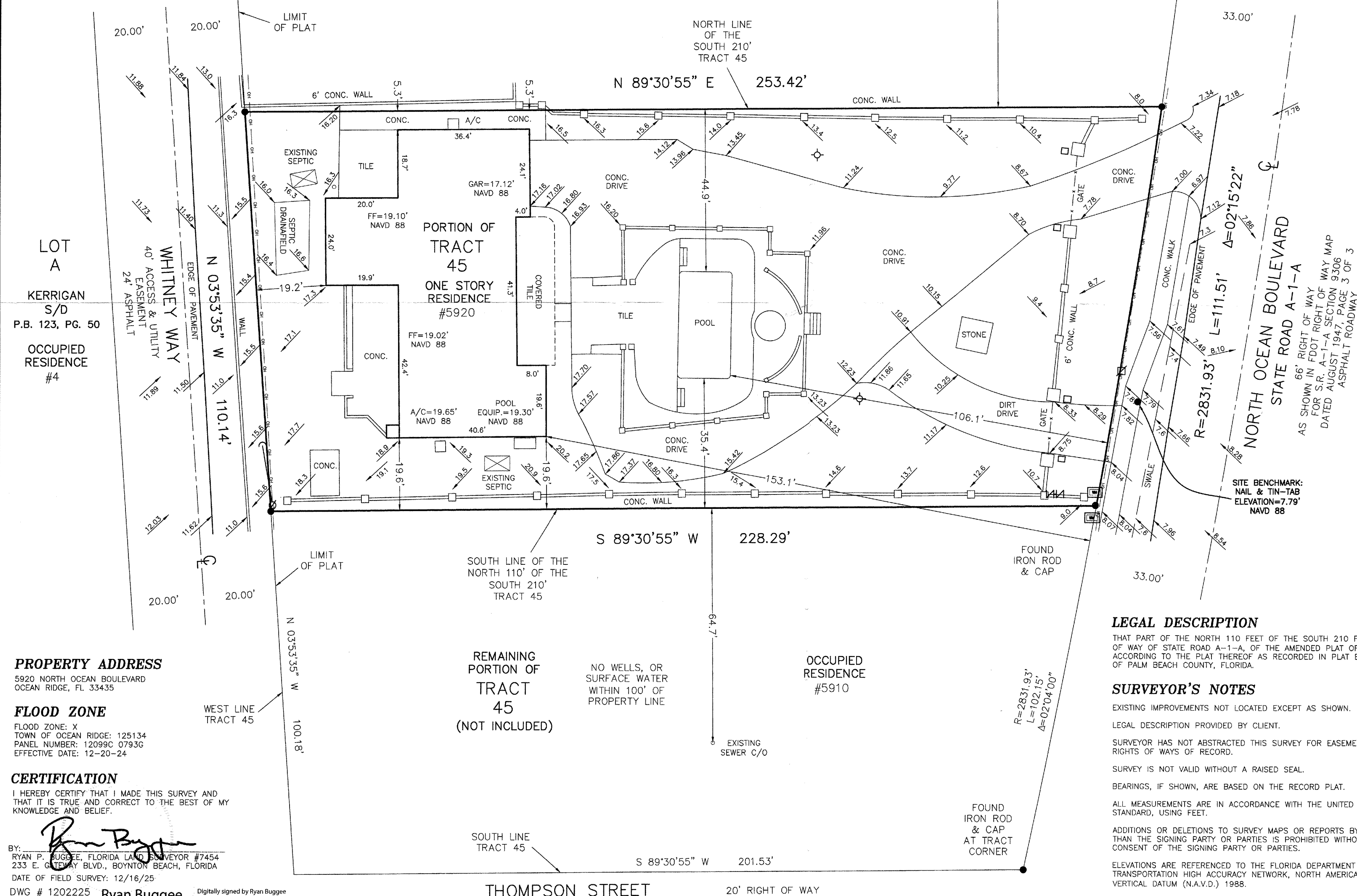


TRACT 38

P.B. 12, PG. 45



Boundary Survey for JOSEPH ASIR



- LEGEND:**
- = IRON ROD AS NOTED
 - = PRM AS NOTED
 - CONC. = CONCRETE
 - ASPH. = ASPHALT
 - (P) = PLAT
 - (D) = DEED/DESCRIPTION
 - (M) = MEASURED
 - (C) = CALCULATED
 - U.E. = UTILITY EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - = WOOD UTILITY POLE
 - = OVERHEAD WIRES
 - = WATER METER
 - ⊕ = FIRE HYDRANT
 - = CATCH BASIN
 - = ELECTRIC UTILITY
 - = CABLE TV UTILITY
 - 13.7' = SPOT ELEVATION
 - ⚡ = BACKFLOW PREVENTER
 - ⊙ = LIGHT POLE

LEGAL DESCRIPTION

THAT PART OF THE NORTH 110 FEET OF THE SOUTH 210 FEET OF TRACT 45, LYING WEST OF THE RIGHT OF WAY OF STATE ROAD A-1-A, OF THE AMENDED PLAT OF PART OF BOYNTON'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 12, PAGE 45 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES

EXISTING IMPROVEMENTS NOT LOCATED EXCEPT AS SHOWN.

LEGAL DESCRIPTION PROVIDED BY CLIENT.

SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR EASEMENTS AND RIGHTS OF WAYS OF RECORD.

SURVEY IS NOT VALID WITHOUT A RAISED SEAL.

BEARINGS, IF SHOWN, ARE BASED ON THE RECORD PLAT.

ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, USING FEET.

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

ELEVATIONS ARE REFERENCED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION HIGH ACCURACY NETWORK, NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) 1988.

REVISIONS:
1.)

PREPARED BY:

**Bob Buggee, Inc.
the "SURVEYOR"**

P.O. BOX 3887
BOYNTON BEACH, FLORIDA, 33426
SURVEY & MAPPING BUSINESS #7890
561-732-7877

PROPERTY ADDRESS

5920 NORTH OCEAN BOULEVARD
OCEAN RIDGE, FL 33435

FLOOD ZONE

FLOOD ZONE: X
TOWN OF OCEAN RIDGE: 125134
PANEL NUMBER: 12099C 0793G
EFFECTIVE DATE: 12-20-24

CERTIFICATION

I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY:
RYAN P. BUGGEE, FLORIDA LAND SURVEYOR #7454
233 E. GATEWAY BLVD., BOYNTON BEACH, FLORIDA
DATE OF FIELD SURVEY: 12/16/25

DWG # 1202225 Ryan Buggee

Digitally signed by Ryan Buggee
Date: 2026.01.05 15:45:49 -05'00'

THOMPSON STREET

20' RIGHT OF WAY

EXHIBIT

C

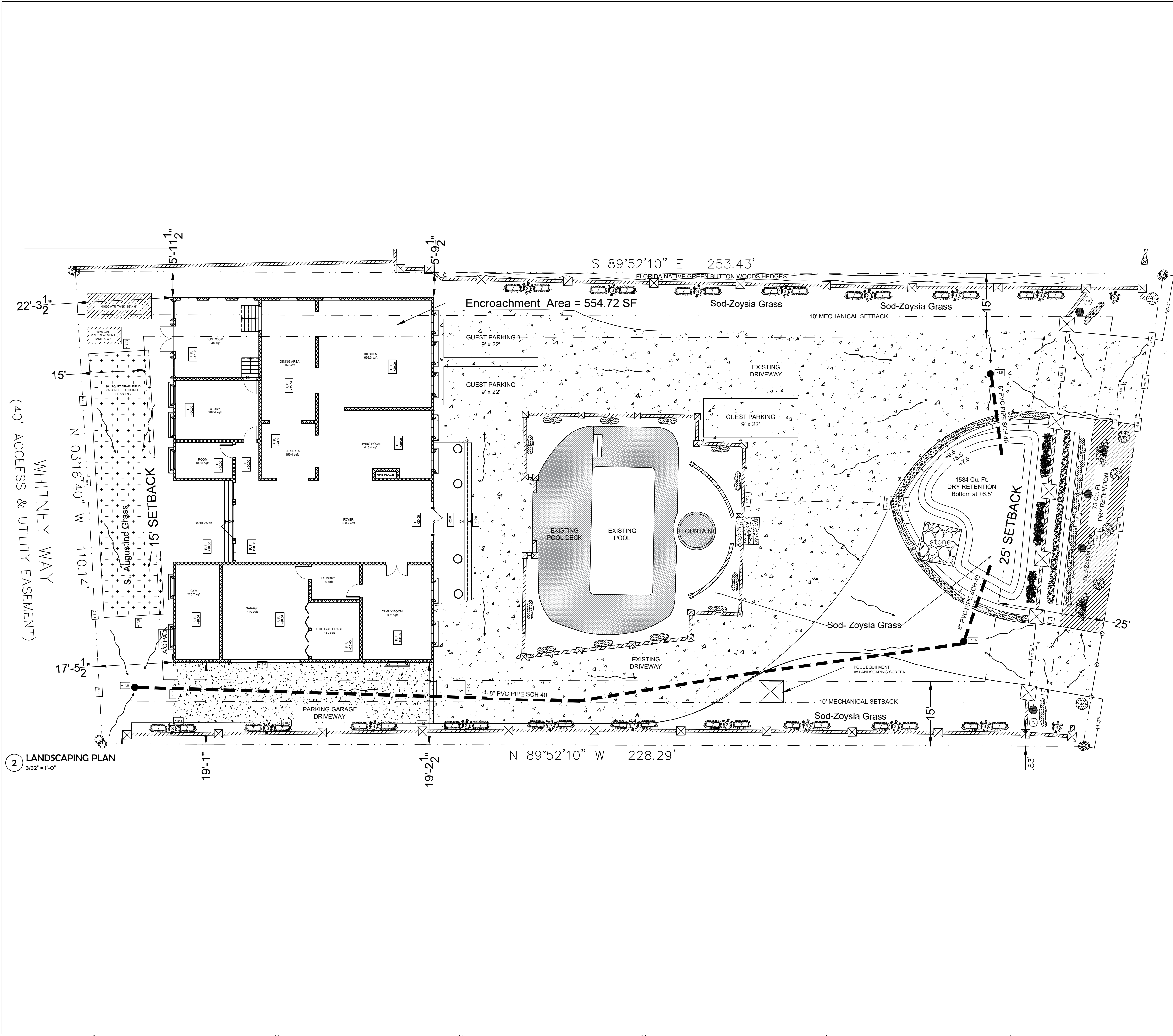
Landscape Plans

Sheet A 0.2 — Existing & Proposed Landscaping with Tree Schedule

STEP 2 CHECKLIST — ITEM 3

Applicant shall submit landscape plans identifying existing and proposed landscaping. Also include tree schedule.

CONSULTANT: SRI CONSULTANTS, INC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN APPROVAL OF SRI CONSULTANTS, INC. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS SHOWN IN THIS DRAWING. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. SRI CONSULTANTS, INC. MUST BE NOTIFIED OF ANY DISCREPANCIES FOUND. SRI CONSULTANTS, INC. ASSUMES NO LIABILITY FOR THE UNAUTHORIZED USE OF THESE PLANNING AND SPECIFICATIONS.



Landscape Legend

- 1. Garcinia
- 2. Japanese Blueberry Tree
- 3. Brugmansia Angle's Tumpet's
- 4. Callophylums
- 5. Japanese Boxwoods
- 6. White Mussaendas
- 7. Green Island Ficus
- 8. Large Benjamina Ficus
- 9. Barbara Karst Bougainvillea

Existing Landscape information was provided by the owner.

Second floor is complying with the code mandated setbacks.

1880 N. CONGRESS AVENUE
SUITE 221
BOYNTON BEACH, FL 33426
PH: (561) 372-1290, FAX: (561) 377-4590
E.C.A. # 6996

SEAL

REVISIONS	BY / DATE
1. Revised Setbacks	12/05/2023
2. Revised Site Plan	01/02/2024
3. Added Landscaping	01/17/2024
4. Revised retention Area	06/13/2024

PROJECT TITLE:
ASIR RESIDENCE

5920 N. OCEAN BOULEVARD
OCEAN RIDGE, FL 33435

SHEET TITLE:
LANDSCAPING

DATE: JULY 02, 2024
JOB NO: 2023-06
DRAWN BY: NBS
CHECKED BY: SSR

SHEET NUMBER:
A-0.2

EXHIBIT

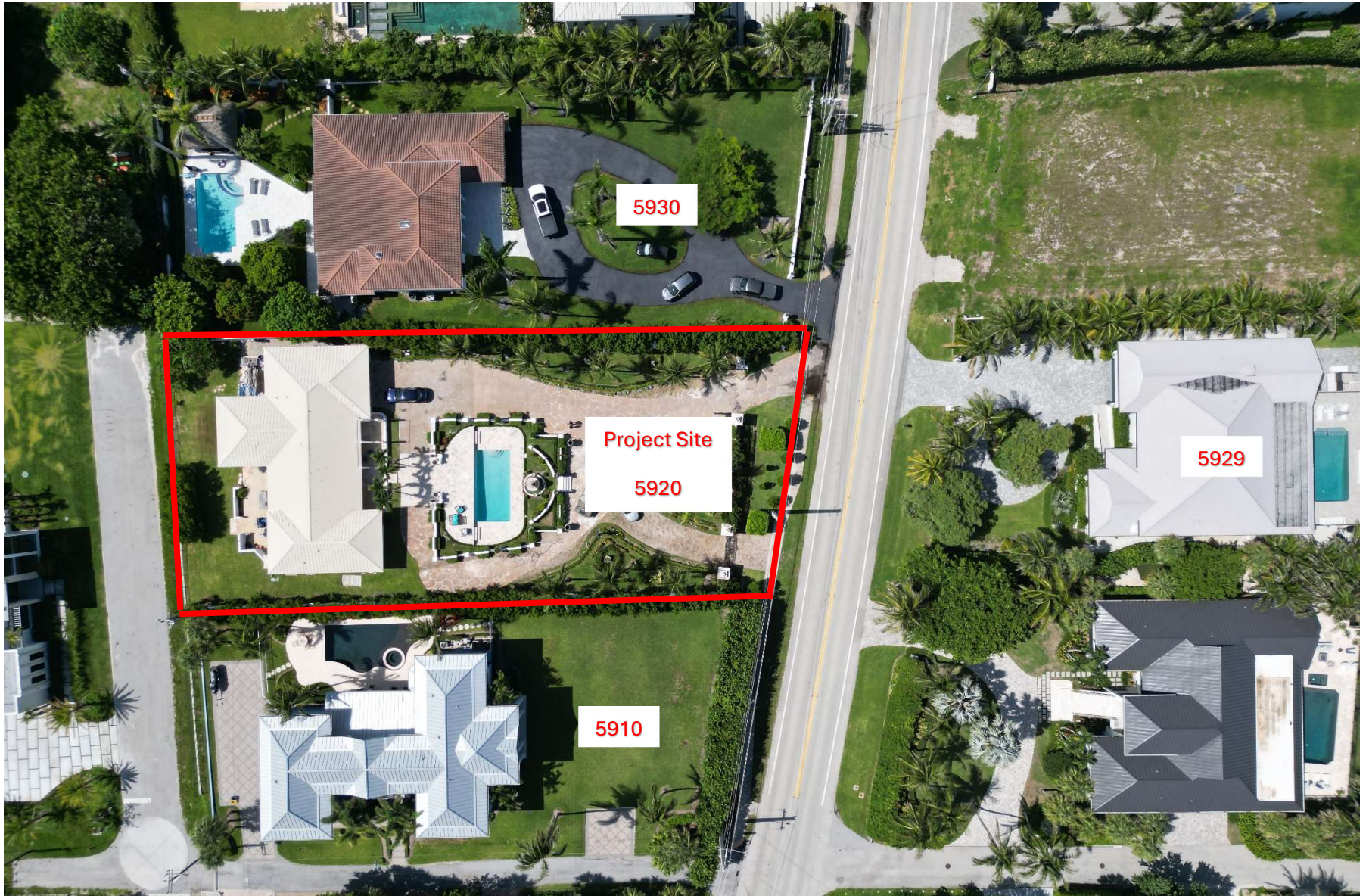
D

Site & Neighborhood Photographs

Project Site and Adjacent Properties with Structure Heights

STEP 2 CHECKLIST — ITEM 5

Applicant shall provide digital photographs of the lot to be developed and the properties to the left, to the right, and across the street from proposed structural address along with the appropriate height of those structures.





5930

Height: 24 ft

PHOTOGRAPHS

2



5910

Height: 32.5 ft

PHOTOGRAPHS

3



5929

Height: 22 ft

PHOTOGRAPHS

4

5920 N Ocean-Proposed Addition
Height 26'



EXHIBIT

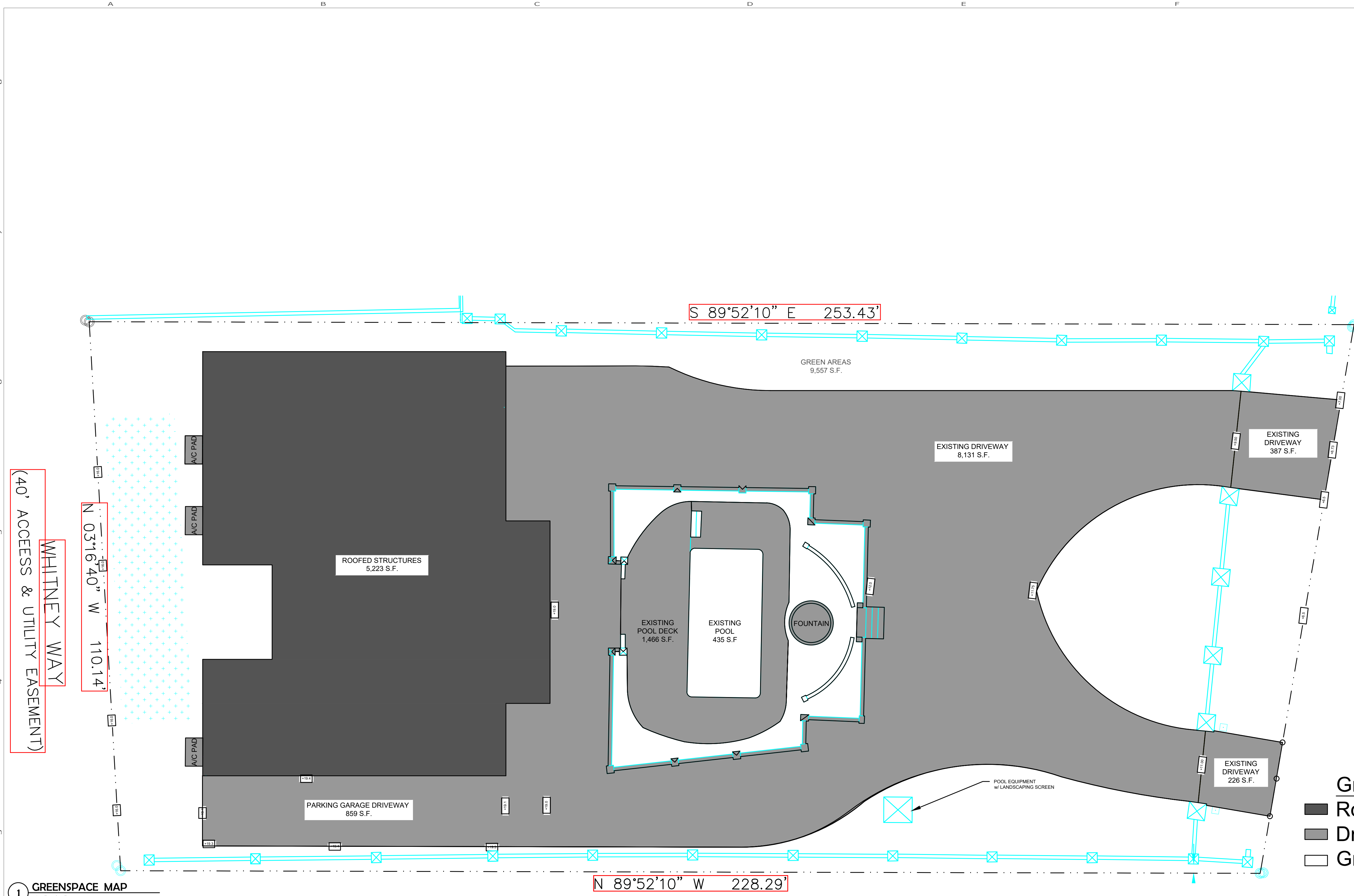
E

Greenspace Map

Sheet G1.0 — Impervious vs. Green Space with Area Calculations

STEP 2 CHECKLIST — ITEM 6

Applicant shall provide a greenspace map showing the green space versus impervious for the proposed lot plans (roofed structures, hardscape, green space, data calculations).



Greenspace Map Legend

■ Roofed Structures - 5,223 S.F.

■ Driveway & pool deck - 11,564 S.F.

□ Green Areas - 9,557 S.F.

EXHIBIT

F

Color Renderings

Proposed Residence — All Viewpoints

STEP 2 CHECKLIST — ITEM 7

Applicant shall submit color rendering of the house from all viewpoints plans.









EXHIBIT

G

Material Selections

Exterior Building Materials, Finishes & Paint Specifications

STEP 2 CHECKLIST — ITEM 8

Applicant shall submit material selections and information about the building materials to be used for the exterior of the building plans. Include paint details on the plans/elevations that state the name of the color, manufacturer, and manufacturer number.



1880 N. Congress Ave., Suite 221
Boynton Beach, FL 33426
Phone: (561) 372-1290, Fax: (561) 877-4590
e-mail: office@sriconsultants.net

August 30, 2024

To: Kelly Avery, Town Clerk

From: S. S. Rajpathak, P.E.

RE: 5920 N. Ocean Blvd., Material Selection for the proposed Residence

Building Structure:

- | | |
|----------------------------------|---|
| a. Columns, Slabs and Beams: | Reinforced concrete |
| b. Walls: | Concrete Masonry Units |
| c. 2 nd Floor & Roof: | Steel Joist with Metal Pan and Concrete |
| d. Parapet Wall: | Solid Concrete and Concrete Balustrades |

Windows and Doors

- | | |
|----------------|----------------------------------|
| a. Windows: | Wood Frame with Clear Glass. |
| b. Doors: | Wood Frame with Solid panels |
| c. Entry Door: | Ornamental Metal door with glass |
| d. Moldings: | Fypon |

Wall Coverings:

- a. Lath and Stucco over waterproofed Walls and concrete elements.
- b. Articulation: Concrete or wood moldings around windows, doors, and Floor borders
- c. Northside 1st floor wall: Textured stucco on wall, and around windows and doors.

Building Paint:

Paint Manufacturer: Sherwin Williams
Paint Color: Pure White
Paint Number: SW 7005

EXHIBIT

H

Architectural Style Narrative

Neoclassical Design — Compliance with Town Code §63-56

STEP 2 CHECKLIST — ITEM 9

Applicant shall provide a narrative that identifies the architectural style of the proposed structure, and how each of the elements under Town Code Section 63-56 has been met.

ASIR RESIDENCE · 5920 N. OCEAN BOULEVARD

OCEAN RIDGE, FL 33435

ARCHITECTURAL STYLE NARRATIVE

Prepared for: Town of Ocean Ridge Planning & Zoning Commission

Hearing Date: July 21, 2026

Architect of Record: Marcello Penso, AR0016862

Architectural Style: Neoclassical

The architectural style of the proposed structure at 5920 N. Ocean Boulevard is Neoclassical — a tradition rooted in the architecture of ancient Greece and Rome, revived and refined through the Italian Renaissance, and carried forward into the residential architecture of 18th and 19th century Europe and America. This narrative identifies the style, describes its defining characteristics as they appear in this design, and demonstrates how the design meets each of the elements of Town Code Section 63-56.

Origin of Neoclassical Design: Developed in the mid-18th century as a reaction against the ornate Rococo and Baroque styles, Neoclassical architecture sought to revive the simplicity and symmetry of ancient Greek and Roman building. It embodies ideals of democracy, rationality, and civic order — qualities that made it the dominant style for government buildings, banks, estate homes, and civic institutions from London and Paris to Washington, D.C., and Palm Beach.

Defining Characteristics of This Design

Simplicity and Symmetry

The design is organized on a strict bilateral axis. Windows, doors, columns, and decorative elements are symmetrically placed on all principal elevations. The building reads as a single, coherent composition — a hallmark of the Neoclassical tradition.

Grandeur

The two-story scale, the four full-height Corinthian columns on the east (ocean-facing) elevation, and the triangular pediment above the portico convey a sense of permanence and civic grandeur entirely appropriate to the oceanfront setting of N. Ocean Boulevard.

Columns and Pilasters

The east elevation features four fluted Corinthian columns — the most elaborate of the classical orders — rising from a stepped base to support the triangular pediment. Pilasters at the building corners provide termination and visual stability. The Corinthian capital, with its elaborate acanthus leaf decoration, is the standard capital for neoclassical residential architecture of this stature.

Restrained Decoration

Decorative elements are concentrated at key focal points: the entry door (ornamental wrought-iron with glass), window surrounds (Fypon moldings), the cornice, and the balustrade parapet. Wall surfaces between these elements are left smooth — consistent with the Neoclassical "preference for blank walls" as a foil to focal ornament.

Roof and Parapet

The second-floor addition is crowned by a hip roof concealed behind a solid parapet with a decorative balustrade facing. This combination — a low-pitched or flat roof invisible from the street, screened by a solid parapet with balustrade — is one of the most characteristic features of Neoclassical residential design. It is employed at Monticello, the White House, Vizcaya, and countless Palm Beach estate homes, allowing the building to present a clean horizontal roofline while providing functional drainage.

Window Design: The Classical Ordering of Arched and Rectangular Openings

The window treatment of the ASIR Residence has been noted by the Commission. This section addresses that observation directly and explains why the combination of arched windows on the ground floor and rectangular windows on the upper floor is not an inconsistency — it is, in fact, one of the most fundamental and historically grounded compositional principles in classical and Neoclassical architecture.

The Classical Hierarchy of Openings

In classical design, the piano nobile — the principal, most public floor of a building — receives the most elaborate and ceremonial treatment. The ground floor, as the level of public engagement and civic reception, is traditionally given arched openings: the arch being the pre-eminent structural expression of classical masonry, symbolizing mastery over gravity. Upper floors, which house private quarters, receive the simpler, more restrained

rectangular window that recedes visually and reduces the apparent bulk of the upper story. This deliberate differentiation by floor is a classical ordering principle, not an inconsistency:

- It gives the building visual stability — a heavier, more ornamented base anchors the composition.
- It emphasizes the hierarchy of public (ground) versus private (upper) space.
- It creates a natural reading of the building from base to crown, with complexity diminishing as the eye rises — consistent with classical principles of order.

The Palladian Window — The Canonical Form

The most celebrated example of this arched-and-rectangular combination is the Palladian window (also called the Venetian window): a central arched opening flanked by flat-topped openings of lesser width. Named for the Italian Renaissance architect Andrea Palladio (1508-1580), whose *Four Books of Architecture* codified these principles and transmitted them to English and American Neoclassical practice, the Palladian window appears in virtually every major Neoclassical building of the 17th through 19th centuries and remains the defining motif of the tradition.

Historic and Local Precedents

The White House, Washington, D.C. (James Hoban, 1792)

The south portico of the White House uses arched openings at the colonnaded ground level — identical to the ASIR Residence — and rectangular windows on the upper residence floor. This is the most recognizable Neoclassical residence in the world, and its window treatment is precisely the compositional logic employed here.

Monticello, Virginia (Thomas Jefferson, 1772–1809)

Jefferson's masterwork — widely considered the finest Neoclassical residence in America — employs Palladian arched windows at the central entry block and rectangular windows throughout the flanking wings. Jefferson himself documented the historical basis for this combination in his architectural notes.

Vizcaya Museum and Gardens, Miami (F. Burall Hoffman, 1916)

The quintessential South Florida Neoclassical villa uses arched arcade openings on the ground-floor loggia and rectangular windows on the upper floors. As the most prominent example of the style in the region, Vizcaya establishes a direct local precedent for the architectural vocabulary employed at 5920 N. Ocean Boulevard.

Mar-a-Lago, Palm Beach (Marion Sims Wyeth / Addison Mizner, 1924)

This landmark Palm Beach estate — a recognized example of the South Florida Classical tradition — employs arched openings at the ground level throughout its principal and service elevations, with rectangular fenestration in the upper zones. The Palm Beach / A1A corridor contains dozens of similar examples.

6301 N. Ocean Blvd., Ocean Ridge

As acknowledged in this narrative and by the Commission, this is the most prominent Neoclassical building in Ocean Ridge itself. Its ground-floor arched arcade openings and upper-floor rectangular windows provide a direct, immediately adjacent precedent for the design approach at the ASIR Residence — within the same community, on the same boulevard.

Consistency with Town Code Section 63-56(1)(c)(2)

Town Code Section 63-56(1)(c)(2) requires that "components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another." The arched-below / rectangular-above ordering of the ASIR Residence achieves precisely this balanced proportion: the greater visual weight of the arched ground-floor openings is counterbalanced by the simpler, lighter rectangular openings above, creating a composition in which each element is appropriately scaled to its position in the building hierarchy.

The design does not mix window styles randomly. It applies them in deliberate accordance with one of the most well-documented ordering principles in Western architectural history. To require uniformity of window type across all floors would be contrary to, not required by, the Neoclassical tradition that this building exemplifies.

Compliance with Town Code Section 63-56

1. Relationship of Building to Site

Transition with the Streetscape

The Neoclassical design of the building — with its bilateral symmetry, colonnaded east facade, balanced window placement, and triangular pediment — provides a stately and coherent presence on N. Ocean Boulevard. The symmetrical front elevation aligns visually with the streetscape, contributing to a cohesive and architecturally distinguished environment consistent with the estate character of this portion of A1A.

Height and Scale Compatibility

At an overall height of 26'8" to the top of the parapet, the proposed structure is below every immediate neighboring building: 5910 N. Ocean Blvd. (32'7"); 2 Whitney Way (approx. 25'); 5930 N. Ocean Blvd. (approx. 24'); and 5929 N. Ocean Blvd. (approx. 22'). The building's scale is appropriate for its oceanfront lot of 26,535 SF and is well within the dimensional envelope established by its neighbors.

2. Relationship of Building and Site to Adjoining Areas

Enhancement of Surrounding Neighborhood

The Neoclassical tradition consistently enhances the neighborhoods in which it is built. The architectural clarity, high-quality materials, and careful detailing of this design will contribute to the aesthetic and property value of the N. Ocean Boulevard corridor. The Palm Beach / A1A corridor is strongly associated with this style, and the residence is consistent with its distinguished context.

Harmony in Architectural Style, Materials, and Colors

The structure uses traditional materials: reinforced concrete columns, CMU walls, lath and stucco finish, Fypon decorative moldings, and Sherwin Williams Pure White (SW 7005) paint — a neutral, timeless palette consistent with the Neoclassical tradition and with the character of the neighborhood. The materials are durable, low-maintenance, and appropriate to the coastal environment.

Consistency with Neighborhood Character

The formal, refined character of the Neoclassical style aligns with the established estate character of N. Ocean Boulevard. The design is consistent with the architectural vocabulary of the most prominent buildings on this corridor, and it is specifically within the same tradition as 6301 N. Ocean Blvd. — the landmark building at the principal intersection of Ocean Ridge's oceanfront street.

3. Building Design

Quality of Design and Relationship to Surroundings

The Neoclassical style represents a high standard of architectural design: carefully proportioned, historically grounded, and detail-oriented. Every element of this design — from the Corinthian column capitals to the ornamental entry door to the decorative moldings — has been specified to achieve architectural authenticity and longevity.

Balanced Proportions of Components

The roofline, window openings, door surrounds, columns, parapet, and balustrade are proportioned in accordance with the classical system of orders — a system of proportional relationships developed over millennia and codified in works from Vitruvius to Palladio. The combination of arched ground-floor and rectangular upper-floor windows is an expression of this classical proportioning system, not a departure from it.

Harmonious Colors

The all-white stucco exterior is consistent with the highest expression of the Neoclassical tradition (the White House, Monticello) and with the majority of Neoclassical estate buildings along the Palm Beach / A1A corridor. The neutral palette is timeless and fitting within the character of the neighborhood.

Screening of Mechanical Equipment

All mechanical equipment — AC condensing units, pool equipment, and generator — has been shown on the site plan and landscape plan with appropriate landscaping screens as required by Town Code. AC units have been relocated to the west side of the property to comply with the 10-foot setback requirement of Section 64-50.

Size in Harmony with Permanent Neighboring Development

At 26', the building height is below or similar to all immediately adjacent structures. The FAR of 31.74% is within the 32% maximum for lots over 20,000 SF. The second floor at 71.89% of the first floor is within the 75% maximum. All dimensional parameters are compliant, and the structure is appropriately scaled to its site and its neighbors.

Conclusion

The ASIR Residence at 5920 N. Ocean Boulevard is a carefully designed, historically grounded example of Neoclassical residential architecture. Its defining elements — the Corinthian colonnade, triangular pediment, symmetrical facade, arched ground-floor openings, rectangular upper-floor

windows, decorative balustrade parapet, and all-white stucco finish — are each drawn from centuries of classical tradition and are each present in the most admired examples of this style from Washington, D.C. to Palm Beach.

The design meets every criterion of Town Code Section 63-56: it provides a desirable transition with the streetscape; it is compatible in height and scale with neighboring buildings; it enhances and harmonizes with the surrounding neighborhood; it is consistent with the established architectural character of N. Ocean Boulevard; and it is executed with high-quality materials and careful attention to detail.

The combination of arched and rectangular windows, raised as a point of discussion by the Commission, is among the most fundamental and historically documented principles of Neoclassical composition. It is present in the White House, Monticello, Vizcaya, Mar-a-Lago, and the most prominent Neoclassical building in Ocean Ridge itself. It is not an inconsistency — it is the design.

Agenda: Tuesday, July 21, 2026
Memo: Item #3.

Town of Ocean Ridge, Florida
Planning & Zoning Commission Agenda Memorandum
Christy Goddeau, Town Attorney

**Subject: Discussion on Revisions to Town's Regulations on Accessory Uses,
Buildings, and Structures**

At the July 8, 2026 Town Commission meeting, the Town Commission requested that the Planning and Zoning Commission review the Town's regulations with regards to accessory structures and consider potential revisions to allow for pergolas, gazebos, and/or similar structures to encroach into the existing setbacks. As part of that discussion, conditions on such accessory structures included screening by hedges (which do not have a height limitation in residential side yards), height limitation, and/or installation/maintenance requirements.

Section 64-41 of the Town's Land Development Code sets forth the Town's regulations on accessory structures. A copy of section 64-41 is attached. Currently, if a property owner desires to build an accessory structure (e.g., gazebo or pergola), the accessory structure must abide by the same setback requirements as the principal or primary structure.

For the Town's Residential Single-Family districts, the side setbacks are generally 15 feet and the rear setbacks are 15 feet or 25 feet if adjacent to a waterway. There are exceptions in the Code to the setback requirements, which include pools, decks, patios, steps, stoops or terraces (unenclosed and uncovered), fences, residential equipment, utility shed/storage building, private dune crossover, and grandfathered accessory structures.

If a property owner desires to build an accessory structure and encroach on the required setback(s), a variance from the Town's Board of Adjustment is currently required. Typically, a hardship (beyond an economic hardship) must be established to be granted a variance.

The following information is provided on other municipalities' regulations on similar accessory structures:

In residential districts, it appears the **Town of Palm Beach** allows one (1) open, one story pergola to extend five feet into a setback provided said structure does not exceed a height of nine feet.

In **Delray Beach**, the code allows for one (1) standalone, open-air pergola with a minimum setback of five feet from rear or side property line (maximum of 10 ft. by 10 ft. and no greater than 10 ft. in height at highest point).

In **North Palm Beach**, single family dwelling district, the following governs “open-air pavilions”:

Accessory structures. One (1) detached automobile garage and one (1) open-air pavilion may be constructed on any lot within the R-1 single-family dwelling district provided that all requirements of this chapter are met. Open air pavilions shall be subject to the following additional conditions and restrictions:

1. *Permitting.*

(a) All open-air pavilions must be permitted in accordance with all Florida Building Code and Village Code requirements.

(b) Open-air pavilions meeting the definition of a traditional chickee hut are exempt from the Florida Building Code but shall be subject to consistency review by the village. Consistency shall be demonstrated through the issuance of a zoning permit and shall require the submittal of the following information:

(1) A survey that includes scaled dimensions of the proposed structure, including setbacks;

(2) Proof that the builder of the chickee hut is a member of either the Miccosukee Tribe of Indians of Florida or the Seminole Tribe of Florida (such proof consisting of a copy of the tribal member's identification card); and

(3) Drawings of the proposed structure depicting, at a minimum, the overall design, dimensions, roof materials, and height.

2. *Dimensions.* Open-air pavilions shall not exceed two hundred (200) square feet in floor area. The floor area shall be measured from outside the support posts, provided that the roof overhang does not exceed three (3) feet from the support posts. If the roof overhang exceeds three (3) feet, the floor area shall consist of the entire roofed area. For structures supported by a single-pole, i.e., umbrella shape, the floor area shall be measured from the drip line of the roof material.

3. *Height.* Open-air pavilions shall not exceed twelve (12) feet in height or the height of the principal building located on the lot, whichever is more restrictive. For sloped roofs, the height shall be measured at the mean roof height.

4. *Location and Setbacks.*

- (a) No open-air pavilion may be erected within ten (10) feet of the side property line. This side setback shall be increased to twenty (20) feet for corner lots.
- (b) No open-air pavilion may be erected within seven and one-half (7½) feet of the rear property line.
- (c) No open-air pavilion or any portion thereof may be erected between the front line of the principal building and the front property lot line, within a utility or drainage easement, or within a required landscape buffer.

5. Use restrictions.

- (a) An open-air pavilion shall be used only for private recreational activities as an accessory use to the principal residential use and shall not be used for habitation, for a tool room, storage room or workshop, or for any commercial purpose whatsoever.
- (b) Open-air pavilions shall not be used for storage of items of personal property, including, but not limited to, the following:
 - (1) Operable or inoperable vehicles, boats, boat trailers, utility trailers or similar items of personal property;
 - (2) Building materials, lawn equipment, tools or similar items; and
 - (3) Ice boxes, refrigerators and other types of food storage facilities with the exception of under-counter units.
- (c) No gas, charcoal or propane grills, stoves or other types of cooking devices may be stored or utilized within a traditional chickee hut.

6. Maintenance. Open-air pavilions shall be maintained in good repair and in sound structural condition. Painted or stained surfaces shall be free of peeling paint, mold and mildew and void of any evidence of deterioration.

7. Design.

- (a) Open-air pavilions, with the exception of traditional chickee huts, pergolas and other structures with only partial or slatted roofs, shall incorporate the same types of building materials and be consistent with the architectural theme or style of the main or principal building.
- (b) At the request of a property owner, the planning and economic development director may approve the use of different building materials or alternate architectural themes or styles when such materials, themes or styles are complementary to the main or principal building.

(c) Should the planning and economic development director deny the request for different building materials or alternate architectural themes or styles, a property owner may appeal this decision to the planning, zoning and adjustment board by submitting a written request for a hearing to the planning and economic development director within thirty (30) calendar days of the date of the determination. The appeal shall be placed on the next available agenda and the decision of the planning, zoning and adjustment board shall be final, subject only to judicial review by writ of certiorari.

“Open-air pavilion” means a detached ancillary structure, open on all sides, with a partial to full roof covering of some type used for recreation, entertainment, contemplation or meditation purposes. This definition shall include all types of chickee or tiki huts, pergolas, gazebos, and other pavilion-type structures.

Also attached are regulations from Cape Coral and Punta Gorda.

Should you have any questions regarding the above, please do not hesitate to contact me.

Staff recommends...

Suggested Motion: I move to...

Respectfully,
Christy Goddeau, Town Attorney

Sec. 64-41. Accessory uses, buildings and structures generally.

- (a) *Scope.* This section includes those accessory uses, buildings and structures customarily incidental and subordinate to the main use or building and located on the same lot.
- (b) *Development regulations.*
 - (1) *Location.* All accessory uses, buildings and structures shall be located on the same lot as the principal or main use and not within any required yard setbacks, except as provided in this land development code. Where lots, located east of the 1997 coastal construction control line and divided by a street or right-of-way, a dune crossover may be located on that portion of the lot separated by the street or right-of-way from that portion of the lot on which the main use or building is located, as set forth in subsection (d). If a property with a single family dwelling unit and a parcel located adjacent to the ocean are owned by the same entity as of October 5, 2020, then a dune crossover may be located on the parcel adjacent to the ocean, provided a unity of title, as approved by the town, is provided as well as all other requirements as set forth in subsection (d) are met.
 - (2) *Height.* No accessory use, building or structure shall exceed the height permitted for a one story structure.
 - (3) *Use.* Such accessory building shall not be rented or otherwise used as a separate dwelling unit.
 - (4) In the event a dune crossover is allowed on a lot divided by a right-of-way, a unity of title shall be required, in a form acceptable to the town, prior to the issuance of any permits for the construction of the dune crossover.
- (c) *Utility shed/storage building.*
 - (1) Only one utility shed/storage building shall be allowed per lot.
 - (2) A permit shall be required for a utility shed/storage building unless the shed meets the requirements set forth in paragraph (3) below. No utility sheds/storage building shall be allowed in any setbacks, drainage detention areas, easement areas or front yard area, unless as set forth below.
 - (3) The following shall apply to prefabricated utility sheds/storage buildings that do not exceed 100 square feet in size or seven feet in height and which is only used for the storage of household items and supplies and domestic equipment (no vehicles) and does not have any plumbing or electrical service:
 - a. No shed shall be allowed in a front yard.
 - b. If the shed is predominately screened from view from adjoining properties and abutting rights-of-way and waterways by vegetation, fencing or other obstructions, as determined by the building official, then the minimum side interior setback shall be three feet and minimum rear setback shall be five feet, unless the rear or side yard abuts a waterway then the normal easement would apply. If a greater easement width exists, the width of the easement shall be the minimum setback.
 - c. The roof drainage shall be retained on the property and shall not adversely impact adjoining properties.
 - d. No building permit shall be required, however, an administrative review and/or inspections by the building official shall occur to document that the above requirements are met. However, the building must be anchored according to the manufacturer's specifications regarding anchoring. An administrative fee may be charged as set forth on the fee schedule as adopted by the town commission.

-
- e. An administrative special exception may be granted by the town building official for lots that are under 10,000 square feet in size that establish a hardship in their ability to meet the setback requirements set forth in subsection (c)(3)b above. Such administrative special exception may allow encroachment up to the property line provided that all other requirements of subsection (c) are satisfied.
 - (4) Utility sheds/storage buildings shall be maintained in good condition, free from evidence of deterioration, rust, holes, or breaks.
 - (d) *Dune crossover*. Dune crossover (private) shall be subject to the following:
 - (1) A private dune crossover is only allowed for the specific use of the primary residential dwelling unit, unless as otherwise set forth in this paragraph. Only one dune crossover shall be allowed per parcel and a unity of title shall be required.
 - (2) A dune crossover used and installed by a multi-family complex, greater than four dwelling units, located in the town may not be required to own property directly adjacent and across from the beach side parcel, separated by a public street, provided that the crossover may only be used by the residents of the multi-family complex.
 - (3) Other dwelling units, located in the town, may be allowed a dune crossover if there is an existing written instrument, in existence at the time of adoption of this ordinance, providing for the allowed use. Such use shall be allowed to continue in accordance with the terms of the written instrument.
 - (4) Decks, walkways, and steps shall not extend beyond the seaward toe of the dune.
 - (5) Dune crossovers shall be located, designed and constructed to minimize damage to the beach and dune system, including native vegetation systems, and shall extend seaward only as far as necessary to protect the dune and vegetation.
 - (6) Plans submitted for approval under this provision shall include proposed dune, beach or vegetation restoration.
 - (7) Dune crossovers, existing at the time of adoption of this ordinance, shall be allowed to remain and be repaired and replaced, however such crossovers shall not be expanded or modified in any manner to exceed the original footprint.
 - (8) A dune crossover shall be subject to the same setback requirements as set forth in the zoning district where the crossover is located. Notwithstanding the foregoing or section 67-18(b) requiring a variance for all development seaward of the 1979 coastal construction control line, a dune crossover (inclusive of the deck, walkway, and steps) may be constructed subject to approval of a building permit if all other requirements of this Code and local and state law for the dune crossover have been satisfied.
 - (9) The town building official shall have the authority to require the use of building materials and practices that are deemed more environmentally and dune friendly construction, as determined by the building official.

(Ord. No. 540, 3-13-2003; Ord. No. 2020-06, § 3, 10-5-2020; Ord. No. 2021-03, § 2, 7-6-2021)

CITY OF PUNTA GORDA

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF PUNTA GORDA, FLORIDA, AMENDING CHAPTER 26, PUNTA GORDA CODE, KNOWN AS “THE LAND DEVELOPMENT REGULATIONS”, AMENDING ARTICLE 3, “REGULATING DISTRICTS”, SECTION 3.13, “SRO, SPECIAL RESIDENTIAL OVERLAY DISTRICT”, SUBSECTION (d), “SETBACKS”, PROVIDING FOR DEFINITION; PROVIDING AN ALLOWANCE FOR PERGOLAS WITH ADJUSTABLE LOUVERS THAT CAN BE CLOSED TO FORM A LOUVERED ROOF; PROVIDING FOR DEFINITION OF THE TERM ‘ROOF-OVER’ TO CLARIFY THE DIFFERENCE BETWEEN A PERGOLA WITH A LOUVERED ROOF AND A ROOF-OVER; PROVIDING FOR CONFLICT AND SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the Land Development Regulations do not have a definition of a ‘pergola’, thereby creating confusion and challenge; and

WHEREAS, the technology for pergola construction has improved, now providing an option for a pergola with moveable louvers to create shade or protection from the weather; and

WHEREAS, in order to differentiate between a roof-over and a louvered pergola, a definition of the term ‘roof-over’ is needed; and

WHEREAS, in order to provide residents the option to take advantage of this new technology in the construction of pergolas, and to retain the intent of the ordinance, an amendment to Chapter 26, Section 3.13(d) is necessary; and

WHEREAS, pursuant to the provisions of Section 163.3194(2), Florida Statutes, the Planning Commission serving as the Local Planning Agency for the City of Punta Gorda, Florida, has reviewed the regulations proposed herein and has found said regulations to be consistent with the adopted Comprehensive Plan of the City of Punta Gorda;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PUNTA GORDA, FLORIDA, THAT:

I. Chapter 26, Article 3, Section 3.13, “SRO, Special Residential Overlay District”, Punta Gorda Code is hereby amended by adding the following: *[additions are underlined, deletions are ~~struck through~~]*

Section 3.13. SRO, Special Residential Overlay District

- (d) Setbacks. Provided the front setback of the principle structure is maintained at 25 feet, permits shall be issued for pools, patios, pool cages and patio cages in rear yards to within 20 feet of a waterway or golf course. Pool cages and patio cages as those terms are used herein are defined as a skeletal structure of aluminum or any engineered approved lightweight material designed to fasten screen. ~~Additionally, aluminum lattice, pre-finished vinyl or pergolas constructed of wood may be permitted within 20 feet of a waterway or golf course. The overhang of the lattice pergola cannot encroach more than one foot into the required 20' setback. Roof overs are prohibited.~~

- (1) Additionally, aluminum or pre-finished vinyl pergolas, or pergolas constructed of wood may be permitted within 20 feet of a waterway or golf course. The overhang of the pergola cannot encroach more than one foot into the required 20 foot setback.
- (2) The term pergola as used herein is a structure formed by two rows of vertical posts or columns to support an open framework of beams and cross rafters. Pergolas may have louvered beams and/or cross rafters which would allow the louvers to be partially or completely opened or closed to provide shade or protection from rain.
- (3) Roof overs are prohibited. Roof-overs as used herein means a solid roof surface that does not have louvers or any method of movement and which includes aluminum pan roofs, tile or metal roofs or built-up roofs, or any other solid roof.

II. It is the declared intent of the City Council that, if any section, subsection, sentence, clause, phrase or provision of this ordinance is held invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not be so construed as to render invalid or unconstitutional the remaining provisions of this ordinance.

III. Any ordinances or parts of ordinances in conflict herewith are repealed to the extent of such conflict.

IV. This ordinance shall become effective immediately upon adoption.

ADOPTED in regular session of the City Council of the City of Punta Gorda, Florida, this _____ day of _____, 2015.

CAROLYN FREELAND, Mayor

ATTEST:

KAREN SMITH, City Clerk

APPROVED AS TO FORM:

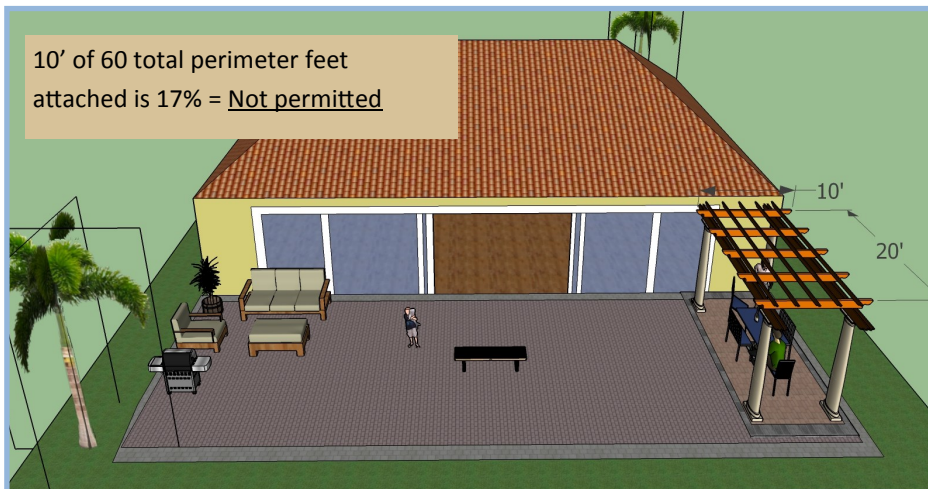
DAVID M. LEVIN, City Attorney

Pergola Summary Sheet

Pergola—A structure of colonnades supporting an open roof of crossing rafters or trellis’.

Pergolas require building permits; obtained from Permitting Division in Community Development Department

- ◆ Pergolas shall be attached or freestanding structures
- ◆ There is no limit on the number of attached pergolas per primary structure; there is no limit to the maximum size of the attached pergolas
- ◆ An attached pergola may be placed over the front entrance or walkway into a residence, and must not exceed the most forward part of the primary structure
- ◆ A pergola is considered attached if a minimum of 20% of the pergola’s perimeter is attached to the primary structure (see Examples below)
- ◆ A pergola that is attached to a previously-attached pergola is considered to be an extension of the original attached pergola; the enlarged pergola must still meet the minimum perimeter attachment percentage of 20%
- ◆ Freestanding pergolas are limited to 200 total square feet of coverage per single family residential property. There can be multiple pergolas, but the sum of coverage cannot exceed 200 square feet



- ◆ Freestanding pergolas are limited to 100 square feet per unit of a duplex property. There can be multiple pergolas, but the sum cannot exceed 100 square feet per unit, and cannot exceed 200 square feet per duplex
- ◆ The amount of freestanding square footage coverage for multi-family residential, non-residential, agricultural, and public worship developments (all commercial developments in permitting) may be determined by the Community Development Director or his designee
- ◆ Pergolas must conform to all setback requirements
- ◆ Pergolas are not permitted to be placed on docks
- ◆ Pergolas must conform to all zoning district requirements (maximum height)
- ◆ Pergolas, if placed in the backyards of waterfront properties, shall not unreasonably restrict or block the view of a canal or other waterway from an adjoining lot
- ◆ Pergolas shall be maintained in good condition; no specific material requirements for pergolas
- ◆ Pergolas shall be built in accordance with the Florida Building Code: must meet wind load, must have engineered signed and sealed plans, must obtain permit

Town of Ocean Ridge, Florida

Planning & Zoning Commission Agenda Memorandum

Christy Goddeau, Town Attorney

Subject: Discussion on Revisions to Town's Duration of Construction due to State Mandate on Permit Duration for Single-Family Dwellings

In House Bill 803 (2026), *effective July 1 2026*, the Florida Legislature revised subsection 553.79(1)(c), Florida Statutes, entitled "Permits; Applications; Issuance; Inspections," to mandate the following duration for all building permits issued for a single-family dwelling (underlined language added):

(c) A local government that issues building permits may send a written notice of expiration, by e-mail or United States Postal Service, to the owner of the property and the contractor listed on the permit, no less than 30 days before a building permit is set to expire. The written notice must identify the permit that is set to expire and the date the permit will expire. A building permit issued by a local government for a single-family dwelling expires 1 year after the issuance of the permit or on the effective date of the next edition of the Florida Building Code, whichever is later. However, this paragraph does not prevent a local government from extending a building permit beyond the expiration date.

The Florida Building Code is updated every **three (3) years**. The 9th Edition takes effect December 31, 2026.

The Town currently has a duration for construction in section 67-52 of the Land Development Code which provides:

Sec. 67-52. Commencement and duration of construction.

Construction shall commence within six months from the date of issuance of a building permit. If construction has not commenced within six months, the building permit shall expire. Following commencement of construction pursuant to a building permit, all construction shall be completed within two years unless extended for no more than one, six-month period by the administrative official, upon a showing of good cause. Subsequent to the granting of one administrative extension, any additional extensions may be granted by the town commission upon a showing of good cause. If construction is not completed within the two year timeframes

prescribed in this section and as further extended by the administrative official, a financial penalty equal to the cost of the original building permit fee shall be imposed. The two year timeframe prescribed in this section shall stand repealed on December 31, 2025, unless reviewed and saved from repeal through reenactment by the town commission. Upon repeal, the timeframe for completing construction pursuant to a building permit shall be two years following commencement of construction for single-family residential estates, or one year for all other buildings or structures, unless extended for no more than one, six-month period by the administrative official, upon a showing of good cause.

As you may recall, in 2023, the Town extended the duration of construction to two (2) years. After December 31, 2025, the two (2) year duration became applicable to only single-family residential estates and all other construction was limited to a one (1) year duration.

Based on the new state mandate, the Town will need to revise section 67-52 to change the expiration date for a permit for a single-family dwelling to at least one (1) year (and possible up to three (3) years) depending on the status of the latest edition of the Florida Building Code when the permit is issued.

There are several other decisions that the Town may want to consider with this change. For example:

1. Should all other construction remain limited to a six-month timeframe to commence construction and the one (1) year total construction duration or be expanded?
2. Should permits for non-single family dwellings (e.g., multi-family) and/ or private clubs be likewise expanded?
3. Should the option to obtain a six-month extension be deleted based on the state mandate for permits for single-family dwellings?

Since section 67-52 is in the Town's Land Development Code, revisions to section 67-52 will require Planning and Zoning Commission review with a recommendation to the Town Commission.

Suggested Motion:

Respectfully,
Christy Goddeau, Town Attorney