

**TOWN OF OCEAN RIDGE
PLANNING & ZONING REGULAR MEETING
AGENDA**



**November 18, 2025 at 9:00 AM
Town Hall - Meeting Chambers**

COMMISSIONERS

Chair P. Shields Ferber
Vice Chair Kenneth Kaleel
Member Neal Sigety
Member Marc de Baptiste
Member Fady Khairallah
Alt. Member Lanette Bosch Gustafson
Alt. Member Jason Sutherland

ADMINISTRATION

Town Manager Michelle Heiser
Town Attorney Christy Goddeau
Town Clerk Kelly Avery
Building Official Mike Crisafulle
Town Planner Corey O'Gorman
Town Engineer Tara Bamber
Town Zoning Official Manual Palacios

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

ADDITIONS, DELETIONS, MODIFICATIONS, AND APPROVAL OF AGENDA

PUBLIC COMMENT – (3-minute individual limit for items not on the agenda)

APPROVAL OF MINUTES

1. Adopt Minutes of the October 21, 2025, Meeting.

DISCUSSION / ACTION ITEMS

2. Approval of 2026 Meeting Dates
3. Quasi-judicial Hearing: Development Plan Review -103 Bonito Dr. (Continuation)
4. Quasi-judicial Hearing: Development Plan Review -16 Tropical Dr.
5. FAR Easement Incentive Single Family Residential District

COMMISSIONER COMMENTS

This item is reserved for any Commissioner Comments that are not related to any item printed on the agenda.

ADJOURNMENT

**THE NEXT MEETING OF THE PLANNING & ZONING BOARD WILL BE HELD
ON TUESDAY, DECEMBER 16, 2025, AT 9:00 AM AT TOWN HALL.**

The Town of Ocean Ridge is holding all meetings in-person, with an additional option of listening to the

audio live. Any person wishing to view the meeting online, go to:
<https://www.youtube.com/@oceanridge9274>

If a person decides to appeal any decision made by the Planning & Zoning Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons who need an accomodation in order to attend or participate in this meeting should contact the Town Clerk at 561-732-2635 at least 5 days prior to the meeting in order to request such assistance. Please take notice that one or more Town Commissioners may be present at any board or commission meeting of the Town of Ocean Ridge.

Notice: The public may view the hard copy of the meeting materials at Town Hall before the meeting.

PLANNING & ZONING COMMISSION MEETING MINUTES
OCTOBER 21, 2025

Meeting Minutes of the Planning and Zoning Commission of the Town of Ocean Ridge held on Tuesday, October 21, 2025, in the Town Hall Meeting Chambers.

CALL TO ORDER

The meeting was called to order at 9:00 a.m. by Chair Ferber.

ROLL CALL

Town Clerk Avery led the roll call, which was answered by the following:

Chair Shields Ferber	Present
Vice Chair Kenneth Kaleel	Present
Member de Baptiste	Absent
Member Fady Khairallah	Present
Member Lanette Bosch Gustafson	Present
Member Neal Sigety	Absent
Member Jason Sutherland	Present

Members de Baptiste and Sigety were absent with notice.

PLEDGE OF ALLEGIANCE

Chair Ferber led the Pledge of Allegiance.

PUBLIC COMMENT

Chair Ferber opened the floor for public comment. Hearing none, he closed the floor for public comment.

APPROVAL OF MINUTES

1. **Adopt Minutes of September 16, 2025, Regular Meeting.**

Vice Chair Kaleel moved to adopt the minutes of September 16, 2025; seconded by Member Khairallah. Motion carried 5-0.

DISCUSSION/ACTION ITEMS

2. **Quasi-Judicial Hearing: 6470 N Ocean (continuation)**

Chair Ferber stated that the item was a continuation of the September meeting and asked if any of the board members had any ex-parte communications. All Commissioners informed that they had none. Town Clerk Avery swore in those wishing to speak on the item.

Kayla Ellet of Collin Builders LLC presented project updates for the proposed two-story duplex on a vacant multifamily lot. She noted the architect is Kelly Yates, the landscaper Tony Grimaldi, and the civil engineer is Andre Webster. She also mentioned that the revisions included an aerial view of the property, new façade materials, Caribbean New Tech wood, and simulated Keystone triple Montgomery palms on each side, and the addition of blue-sky vine along the building, which blooms seasonally and requires weekly maintenance.

PLANNING & ZONING COMMISSION MEETING MINUTES
OCTOBER 21, 2025

Vice Chair Kaleel commended the applicant for addressing prior board requests and confirmed that the previously discussed privacy wall was now included in the plans.

Chair Ferber referenced a decorative feature near a window; architect Yates clarified that it is a recess designed to mimic a vent, consistent with the building's front detailing.

Vice Chair Kaleel moved to approve the Development Plan Review for 6470 N Ocean; seconded by Member Khairallah. Motion carried 5-0.

3. Quasi-Judicial Hearing: 92 Island Dr. S

Chair Ferber asked if any of the board members had any ex-parte communications. All Commissioners informed that they had none. Town Clerk Avery swore in those wishing to speak on the item.

Town Planner Corey O'Gorman presented the development plan review for a new two-story, 4,896-square-foot single-family home at 92 Island Drive South. He explained that the proposed residence includes three bedrooms, an office (qualifying as a fourth bedroom for parking), four full baths, a two-car garage, a pool, spa, and outdoor living area. He stated that the staff determined the application met town code requirements and recommended approval, subject to conditions to be addressed during the permitting process.

Town Engineer Bamber confirmed compliance with code, noting a catch basin north of the driveway that must be incorporated to capture runoff.

Zoning Official Palacios verified all dimensional standards were met, with the floor ratio of 74.959% rounding to the 75% code limit.

Andrea Keiser, Esq., representative for the applicant, stated the property had been replatted with the neighboring lot at 93 Island Drive South, previously approved in July. The demolished structure was replaced with a design consistent in quality and style with ninety-three, featuring varied materials, warm tones, and enhanced landscaping. She stated that the site plan met or exceeded all setbacks and provided parking for up to four vehicles.

Property owners Roger and Gentry Hoit shared that 93 Island Drive would serve as their primary residence, with construction expected to begin in November, and 92 Island Drive is intended for future sale. They also confirmed they would be installing the seawall at one time for both properties.

Vice Chair Kaleel welcomed the Hoits. He said that they did an excellent job on both projects. He questioned whether both homes were being constructed simultaneously and would be completed in separate phases. Mr. Hoit responded that they are hoping to break ground as early as mid-November, and the plan for the other home is to develop and sell it.

Chair Ferber welcomed the Hoits to the community and commended the quality and completeness of the plans. He opened the floor for public comment. Hearing none, he closed the floor for public comment.

PLANNING & ZONING COMMISSION MEETING MINUTES
OCTOBER 21, 2025

Vice Chair Kaleel moved to approve the Development Plan Review Application for 92 Island Drive, subject to all conditions outlined by staff; seconded by Member Gustafson. Motion carried 5-0.

4. Quasi-Judicial Hearing: 103 Bonito Dr.

Chair Ferber asked if any of the board members had any ex-parte communications. He stated that he frequently walks by the property, and all other Commissioners informed that they had none. Town Clerk Avery swore in those wishing to speak on the item.

Town Planner O'Gorman presented the development plan review for a new 3,452-square-foot home at 103 Benito Drive, featuring 4 bedrooms, 3.5 baths, a 2-car garage, pool, and outdoor living area. He stated the application met town regulations, with minor conditions to be addressed during building permit review. He stated that staff recommended approval subject to those conditions and the board's review.

Town Engineer Bamber stated the site met drainage code but noted an easement issue. An existing stormwater outfall pipe extends 8.5 feet into 102 Bonito without a formal easement, though included in the town's MS4 permit. She outlined three options: approve 103 Bonito as is, address the issue when 102 is developed, or record easements on both properties. She also mentioned that both properties are owned by related entities under the same management.

Zoning Official Palacios confirmed the project met all zoning requirements, with calculations falling within the code specifications.

George Nagy, the architect, presented the plans. He explained that due to the corner location and 45-degree rotation, the house has two front elevations visible from the streets. He noted they had redesigned the house to accommodate the raised water elevation requirement of 10 feet. He also outlined the design features of the proposed home.

Vice Chair Kaleel expressed concern about blank walls on one side of the house. Mr. Nagy explained that the architectural reglets, the sawtooth design, and large windows help reduce the appearance of blank walls. He added that the proposed landscaping, including three large palms, a specimen shade tree, and a raised pool deck with a wood fence, will further screen the area from view.

Chair Ferber opened the floor for public comment.

Phillip Cioffi, owner of 104 Bonito Drive, expressed concerns regarding the protection of the large hedges along the property line during construction and potential impacts to his maintained seawall from work occurring at 102 and 103 Bonito Drive.

Chair Ferber closed the floor for public comments.

The Board and the applicant discussed the hedge issue, and it was determined that the hedges were likely located along the property line with a fence running through them. Mr. Nagy stated that the proposed site wall would be set two feet off the property line and acknowledged potential impacts on

PLANNING & ZONING COMMISSION MEETING MINUTES
OCTOBER 21, 2025

the hedges. Mr. Reisner agreed that maintaining privacy through the hedges was important to both properties.

Further discussion occurred regarding the outfall pipe issue. Mr. Reisner expressed concern about the timing and complexity of relocating the pipe but stated he was willing to work with the Town. Vice Chair Kaleel suggested that, since the applicant would be returning with revisions, they should use the opportunity to coordinate with Town Engineer Bamber on a solution for the outfall pipe, potentially including an easement agreement. The Board clarified that the pipe relocation could not be made a condition of approval but encouraged the applicant to address the matter.

Chair Ferber suggested the applicant consider additional parking options, noting that four-bedroom homes often require more than the minimum spaces. He recommended exploring options such as widening the driveway or adding a paver area for overflow parking.

The Board requested the applicant return with a revised site plan addressing the hedge issue, added architectural detailing, a proposed solution for the outfall pipe (including potential easements), overflow parking considerations, rendered landscaping plans, and seawall improvement plans.

Vice Chair Kaleel moved to continue the hearing to allow the applicant to address the board's comments; seconded by Member Khairallah. Motion carried 5-0.

COMMISSIONER COMMENTS

Vice Chair Kaleel suggested adding an "Old Business" section to future agendas to track items that the board has previously discussed but that require follow-up or future action. He expressed concern that without such a section, important items might be forgotten or delayed.

Town Attorney Goddeau noted that they try to balance agendas to avoid overly long meetings and asked for clarification on whether this would be just a reminder list or active agenda items requiring discussion. Vice Chair Kaleel suggested it should be a bit of both, acting as a "punch list" to ensure issues are not left unresolved.

ADJOURNMENT

Meeting adjourned at 10:16 a.m.

Minutes prepared by Deputy Town Clerk Pinder and adopted by the Planning & Zoning Commission on November 18, 2025.

Shields Ferber, Chair

Attest:

Kelly Avery, Town Clerk

Agenda: Tuesday, November 18, 2025
Memo: Item #2.

Town of Ocean Ridge, Florida
Planning & Zoning Commission Agenda Memorandum
Kelly Avery, Town Clerk

Subject: Approval of 2026 Meeting Dates

The Planning and Zoning Board meets on the 3rd Tuesday of every month on an as-needed basis, except for August where there is no meeting. The Board meets at 9 a.m. in the Chambers and the dates are listed below:

Meeting schedule for 2026

January 20, 2026	July 21, 2026
February 17, 2026	August – No Meeting
March 17, 2026	September 15, 2026
April 21, 2026	October 20, 2026
May 19, 2026	November 17, 2026
June 16, 2026	December 15, 2026

Staff recommends approval of the proposed meeting dates for 2026.

Suggested Motion: I move to approve the proposed meeting dates for 2026.

Respectfully,
Kelly Avery, Town Clerk

Agenda: Tuesday, November 18, 2025
Memo: Item #3.

Town of Ocean Ridge, Florida
Planning & Zoning Commission Agenda Memorandum
Kelly Avery, Town Clerk

Subject: Quasi-judicial Hearing: Development Plan Review -103 Bonito Dr.
(Continuation)

The Applicants did not provide any updated documents for this meeting.

Staff recommends that the Commission continue the hearing to the December 16, 2025, meeting.

Suggested Motion: I move to continue the hearing to the December 16, 2025, meeting.

Respectfully,
Kelly Avery, Town Clerk

Town of Ocean Ridge, Florida
Planning & Zoning Board Agenda Memorandum

To: Planning & Zoning Board Members
From: Corey O’Gorman, Town Planner
Meeting Date: November 18, 2025
Subject: 16 Tropical Drive – Development Plan Review

1. PETITION DESCRIPTION

APPLICANT: Kanthan Design Corporation, Abhi Kanthan
OWNER: Gary & Sonia Ritkes
ADDRESS: 16 Tropical Drive, Ocean Ridge, Florida 33435

ZONING DISTRICT: RMM

REQUEST: The applicant is requesting Development Plan Review approval in accordance with Town Code Land Development Code including Chapter 63 General and Administrative Provisions, Section 63-56 for Development Plan Review and Chapter 64 Zoning, including Section 64-1, RMM, Medium Density Multi-family and Section 64-1, RSF, Single-Family Residential.

2. BACKGROUND

As described in the Land Development Action Application, the applicant is requesting Development Plan Review (DPR) approval for construction of a new 3,266 square foot two-story single-family home with four (4) bedrooms, three (3) full baths, a one (1) car garage, swimming pool, and deck area. The application was submitted on August 5th for DPR, Town staff generated comments which were addressed by the applicant, and the Town Staff is recommending approval with revisions noted in the Town Engineer’s report prior to the Planning and Zoning Board meeting or as a condition of approval and subject to review by the Planning and Zoning Board for compliance with Section 63-56.

3. BOARD ACTION.

Development Plan Review is subject to the requirements of Town Code Section 63-56 which includes the following:

- (1) *The planning and zoning commission shall use the review criteria as set forth herein when reviewing site plans.*
 - a. *Relationship of building to site:*

1. The site should be planned to accomplish a desirable transition with the streetscape. The overall balance and proportion of the proposed building will be considered.
 2. The height and scale of each building should be compatible with its site and other buildings onsite
- b. *Relationship of building and site to adjoining area(s):*
1. Buildings should be designed to enhance the surrounding neighborhood.
 2. Harmony in architectural style, form, texture, mass and lines, as well as materials, colors, and use of architectural elements should be provided in the design of all buildings.
 3. Buildings should be consistent with the established neighborhood character or within acknowledged architectural styles.
 4. The height and scale of the proposed structure(s) should be compatible with the surrounding neighborhood
- c. *Building design:*
1. Evaluation of a project should be based on quality of its design and relationship to surroundings.
 2. Components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another.
 3. Colors should be harmonious and representative of the architectural style of the building and generally within the character of the neighborhood.
 4. Design attention should be given to mechanical equipment or other utility hardware on roofs, buildings and at grade so as to screen them from off-site view.
 5. Buildings should be of a size as to be in harmony with permanent neighboring development or within acknowledged architectural styles.
 6. Use of any/all of the above preferred design elements in conjunction with the renovation or addition to existing homes is encouraged, along with the removal of any existing elements that are not preferred.
 7. The architectural style and elements of proposed additions and renovations shall be consistent with the other portions of the building.
 8. All proposed structures shall be consistent with the town's land development regulations and the goals, objectives and policies of the comprehensive plan

In addition to the above, pursuant to 63-56(3), the planning and zoning commission shall approve, deny, approve with conditions, or request additional information in order to make a determination that the proposal is compliant with the above criteria.

4. STAFF RECOMMENDATION

Town Staff recommends approval with revisions noted in the Town Engineer's report prior to the Planning and Zoning Board meeting or as a condition of approval and subject to review by the Planning and Zoning Board for compliance with Section 63-56.

PLAN REVIEW REPORT

16 Tropical Drive

August 15, 2025 / October 17, 2025 and October 29, 2025 Revisions

This Development Plan Review Report is for the construction of a new two-story home. The proposal is to demolish the existing structure and construct a new home with four (4) bedrooms, three full baths, one half bath, one car garage, and a pool with a pool deck. This review references site and architectural plans prepared by Kanthan Design Corporation dated 07/28/25, and survey prepared by All County Surveyors, Inc., dated 02/27/25 Landscape prepared by George Keen Landscape Architect, Inc., dated 07/28/25 and Civil plans prepared by Jupiter Civil Engineering Company, LLC dated 08/01/25. **The following plan review report is based on revisions received on October 17, 2025, and October 29, 2025.**

PCN: 46-43-45-34-05-001-0300
FLU: Multiple-Family Residential
Zoning: RMM

This review is based the checklist for development plan review, requirements of the Town of Ocean Ridge RMM Zoning District and the RSF Zoning District in Chapter 64, Article I, Sections 64-1 and 64-2 and related sections of Article III Supplemental Regulations of the Code of Ordinances in relationship to the subject plans.

- ~~Please update the survey to be abstracted to title to show all easements and encumbrances of record.~~ **Comment Addressed**

Section 64-1(e) ~~**Background:** This code section requires “all elevations of a single family residential dwelling and of an accessory building including without limitation, front, side, and rear elevations, shall devote a minimum of 15 percent of their wall coverage to window and door coverage and substantial articulation requirements to all facades of the home.” Although the articulation requirement is met, there are no calculations for windows and doors.~~

~~**Comment:** Please revise sheets 201 and 202 to provide the information required for the window and door percentages. **Percentages are provided, however the north and south elevations do not meet the minimum required 15%. The written response to comments states that the minimum cannot be met, and if so, a variance would be required prior to proceeding with the Development Plan Review. Comment addressed.**~~

Section 64-44 ~~**Background:** This code section requires “The height of walls and fences located in the front yard setback shall not exceed four feet in height. The~~

~~height of a wall, fence or hedge located in a side or rear yard setback shall be measured on either side of the wall, fence or hedge from the top of the wall, fence or hedge. Walls and fences located in a side or rear yard setback shall not exceed six feet in height from the lowest grade opposite such point of measurement. Where the grade elevation is different on either side of the wall or fence, and the wall or fence is within five feet of the property line, the wall or fence height may be increased, as measured from the lowest grade, by one half of the difference in elevations, provided that such increase is constructed of lattice, open bars, or other type of nonsolid material which will permit no less than 50 percent light and 50 percent air circulation.” There appears to be some fencing on the site but it is not entirely clear.~~

~~**Condition of Approval:** All fences and walls will comply with this code section at the time of building permitting. **Comment Addressed**~~

Section 64-46

~~**Background:** This code section requires “For single/two-family dwellings on existing lots less than 10,000 square feet in area, that are located in zoning districts other than RSF and RSE, only one off-street parking space shall be required.”~~

~~**Comment:** Please revise site plan sheet SP101 to fully dimension the garage parking space and all parking spaces in the “New Driveway Area”. Please specify what space is intended to meet the minimum code requirement. Please also show the total number of spaces provided on site which exceed the parking requirement. **Comment Addressed**~~

Section 64-50(a)

~~**Background:** This code section requires “No part of an air conditioning unit, swimming pool maintenance unit and the like, or any equipment or apparatus related thereto, may be placed within ten feet of the side or rear lot line of any lot.”~~

~~**Comment:** Although it appears that the mechanical equipment complies with this setback requirement, please dimension the setbacks. **Comment Addressed**~~

Section 64-50(b)

~~**Background:** This code section requires “Permanent generators shall meet or exceed the setbacks required for accessory structures as set forth in the town's Land Development Code. In cases where the accessory setback cannot be reasonably achieved, one permanent generator shall be allowed in a required side or rear yard provided it is set back a minimum of five feet from the property line.” Accessory structures must meet the same setback as the principal building which in this case is 15’.~~

~~**Comment:** Please provide information on why the 15' setback cannot be reasonably achieved or relocate the generator to comply with the setback.~~ **Comment Addressed**

November 3, 2025

To: Kelly Avery, Town Clerk

From: Tara Bamber, PE



**Re: 16 Tropical Ln
Developmental Plan Review (DPR)
Engenuity Group Project No. 00020.10**

We reviewed the following which were received on 10-17-25:

1. Civil Plans, 4 sheets, revised 10-29-15, by Jupiter Civil Engineering Company, LLC.
2. Site Plan, 1 sheet, revised 10-28-25, by Kanthan Design Corporation.
3. Landscape Plans, 4 sheets, signed & sealed 10-30-25, by Cala Design Studio.
4. Comment Response Letter, 2 sheets, dated 10-30-25, by KDCorp.

We recommend addressing the following comments prior to DPR approval. The Planning and Zoning Board can approve the DPR with the following conditions if they see fit.

1. The Landscape Plan and Civil Plans do not match. The 10-30-25 response from the architect did not address the conflicts on the plan.

The Civil Engineering layers do not appear to be the same on this plan as shown on the Sheet C-1. The exfiltration trench on Sheet C-1 is offset by 1.5' from the property line. We are concerned with any tree plantings in a 1.5' space.

The Town includes comments on tree plantings on or near stormwater pipe and exfiltration for the benefit of the applicant and to confirm landscape will not impact the proposed requirement to hold the 1" over the site. It appears there is tree plantings within a distance to impact the drainage system and do not include any root barriers.

There appears to be 9 landscape planting over the existing drainage pipe along the east property line. The plan indicates 8 of the 9 plantings are to remain. The Florida Thatch Palm at the northeast corner of the property is proposed to be removed. The removal shall be supervised by Town personal to prevent impact to the existing pipe.

2. Provide area calculations on the Site Plan showing a minimum of 35% pervious area that matches the Drainage Calculations. Adding the Civil Drainage summary does not make the plans match. The civil building area is 2613 sf while the site plan is 2573.34. The pool deck is not specified in the Drainage Calculations. It is unclear what "flatwork" means in the Drainage Calculations. The site plan shall show a pervious vs. impervious calculations in the Site Plan Data table, shown as Building Information on Sheet SP101.
3. LP-2.0,
 - a. Landscape shall not be in the 15' Road Easement.

The following comments will need to be addressed during Building Permit phase:

1. Sheet C-1:

- a. Proposed retaining walls shall be within the 15' Road Easement and the footer shall be within the property lines.
- b. The driveway approach on Sheet C-1 shall match the Town's Driveway and Swale Details, Sheet 1 on Sheet C-4. Details on Sheet 2 & 3 do not apply to this project due to the limited Right-of-Way.
- a. Confirm with PBC Health Department the setback between the retaining wall and the septic drainfield. Confirm if pervious area shall be cut off by a retaining wall. Runoff is graded to the retaining wall and then has nowhere to go. Creating a flat septic area against a retaining wall prohibit the runoff from leaving the septic drainfield, which is against PBC HD standards. Runoff shall flow off the septic drainfield. Please follow the requirements below:

The following do not meet the required set-backs per the submitted site plan:

- "Yard drains" not meeting 15' set-back to system. Note, the system includes drainfield, tank, and unobstructed area.
- Storm water pipe not meeting minimum 5' set-back to system.
- Swale not meeting 15' set-back to system.

- b. Review grading at the southeast corner of the property. The proposed grade at the corner is 6.5' NAVD per Sheet C-1, but the existing grade is 3.97' per the survey. Please show how the grading transition will be accommodated.
- c. Yard Drain YD3 and the proposed retaining wall appear to conflict with the existing drainage pipe which runs along the east property line. The pipe location needs to be verified on the survey.

2. Sheet C-4:

- a. Confirm the design of including 0.5' unperforated pipe after the drainage basins to the perforated pipe section. This comment not addressed by the EOR. The 10-30-25 response from the indicated the details were revised but they remain the same.
- b. Confirm the pool deck and flagstone area are included in the proposed impervious area calculations. It is unclear what "flatwork" means in the Drainage Calculations.

3. The Town shall request an easement over the existing drainage pipe and set limitation of infrastructure in the easement. Please contact Town Hall to set up a meeting.

Cc: Lisa Tropepe, PE



TOWN OF OCEAN RIDGE

6450 North Ocean Boulevard, Ocean Ridge, Florida 33435
 (561) 732-2635 Main ♦ (561) 737-8359 Fax
 oceanridgeflorida.com ♦ permit@oceanridgeflorida.com

DATA CALCULATIONS FOR NEW STRUCTURES (NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

APPLICANT FILL OUT: PROPERTY ADDRESS: 16 TROPICAL DR		ZONING DISTRICT: RSF	
		ZONING OFFICIAL USE ONLY	
*TOTAL SITE AREA	Sq. Ft.	9,991 Sq. Ft.	
BASE FLOOD ELEVATION (NAVD) <small>(SOURCE THE FLOOD INSURANCE STUDY)</small>		8 NAVD	
FINISHED FLOOR ELEVATION (NAVD)		9 NAVD	
		ZONING REVIEW	
		PROPOSED	
	Sq. Ft.	Sq. Ft.	%
FLOOR AREA RATIO (MAXIMUM 30%)		3,565	35.7
LOT COVERAGE (MAXIMUM 35%)		2,522	25.2
		ZONING REVIEW	
		PROPOSED	
	Sq. Ft.	Sq. Ft.	%
*PERCENTAGE FROM TOTAL SITE AREA			
FIRST FLOOR UNDER A/C ()		1642	16.4
SECOND FLOOR UNDER A/C ()		1576	15.8
TOTAL UNDER A/C ()		3,218	32.2
TOTAL FLOOR AREA ()		3,719	37.2
TOTAL UNDER ROOF ()		4,655	46.6
FLAT ROOF ()			
TOTAL ROOF ()		2,612	26.1
GARAGE ()		347	03.5
COVERED PATIO ()		348	03.5
COVERED ENTRY ()		181	01.8
COVERED BALCONY (REAR) ()		181	01.8
COVERED BALCONY (FRONT) ()		222	02.2
OPEN BALCONY ()			
BUILDING FOOTPRINT ()		2522	25.2
SEPTIC TANK & DRAINFIELD ()		789	07.9
PAVED AREA (+ Pool)		3,501	35.0
SYNTHETIC TURF ()			
TOTAL IMPERVIOUS () <small>(INCLUDES SYNTHETIC TURF)</small>		6,023	60.3
TOTAL PERVIOUS ()		3,968	39.7
		ZONING REVIEW	
		FEET	
BUILDING HEIGHT ()		34	
BUILDING SETBACKS:			
FRONT ()		25'2	
REAR ()		15	
SIDE INTERIOR ()		15'2	
SIDE CORNER ()		—	
WATERWAY ()		—	
DRIVEWAY ()		10	

3,597
3,497

Prepared By: **MANNY - ZONING**
 1st FL - 2,522
 2nd FL - 1,730 = 68.6% of 1st FL

Date: **11-5-23**



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT
 6450 N. Ocean Blvd., Ocean Ridge, FL 33435 ♦ 561.732.2635 Main ♦ permit@oceanridge.gov ♦
www.oceanridge.gov

Land Development Action Application

All information must be printed legibly or typed. Please contact the Town Hall at 561-732-2635 or via email at info@oceanridge.gov

This application is being submitted for the property located at:
16 Tropical Dr, Boynton Beach, FL 33435

Check Applicable Approval Being Requested

- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> PRD Amendment |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Plat or Re-Plat |
| <input type="checkbox"/> Construction East of the CCCL | <input type="checkbox"/> Re-Zoning |
| <input checked="" type="checkbox"/> Development Plan Review | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Planned Residential Development (PRD) | <input type="checkbox"/> Special Exception |

Property Owner(s)	Applicant (if different than Owner)
Name(s): Gary & Sonia Ritkes	Name: Kanthan Design Corporation C/O Abhi Kanthan
Address: 464 NE 2ND AVE FORT LAUDERDALE FL 33301 3269 USA	Address: 631 Potter Road, Boynton Beach, FL 33435 USA
Phone: 954-298-8788	Phone: 561-900-4815
Email: garyritkes@gmail.com	Email: abhi@kanthandesign.com

The applicant(s) or authorized agent must be present for the public hearing in order for the Commission/Board to act upon their request. The applicant is encouraged to invite to the meeting those associated with this proposed development.



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

6450 N. Ocean Blvd., Ocean Ridge, FL 33435 ♦ 561.732.2635 Main ♦ permit@oceanridge.gov ♦ www.oceanridge.gov

General Data

Project Name: Ritkes Residence

Project Location Address: 16 Tropical Dr, Boynton Beach, FL 33435

Exact Legal Description of Property: PALM BEACH SHORE ACRES BLKS A, B & Z E 100 FT OF W 472 FT OF LT 17 BLK A

Property Control No: 46-43-45-34-05-001-0300

Existing Zoning: RMM—MEDIUM DENSITY MULTI-FAMILY

Proposed Zoning (if applicable to application): N/A

Existing Land Use: 0800—MULTIFAMILY < 5 UNITS

Proposed Land Use: N/A

First Floor Living Elevation (For CCCL Application): +9.0' NAVD

Total Site Area: 9991 sf Sq. Ft.: 9991 Acres: 0.23

Flood Zone Category: AE

Existing Comprehensive Plan Designation (if applicable to application):

Proposed Comprehensive Plan Designation (if applicable to application):

Is the site currently served by public water? Yes No

Is the site currently served by public sewer? Yes No

Existing Bedrooms: 3 Proposed Bedrooms: 4

Existing Bathrooms: 3 Proposed Bathrooms: 3

Residential: Total Number of Dwelling Units: 1 Density (Units per acre): <5

Commercial: Total Square Footage: N/A Number of Buildings: N/A



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

6450 N. Ocean Blvd., Ocean Ridge, FL 33435 ♦ 561.732.2635 Main ♦ permit@oceanridge.gov ♦ www.oceanridge.gov

Describe the nature of your application in detail and be descriptive.

(Example: Requesting a Land Development Permit from the provisions of the Land Development Code, Article 2; COASTAL CONSTRUCTION, Section 67-17; Coastal Construction and Excavation Setback Line; Sub-Paragraph (a); Setback Line Established; and Sub-Paragraph (h); Existing Structures, to permit the construction of a two story addition of a 1-car garage (13' 8" x 20' 0") on the bottom floor and a living room (17' 8" x 19'), and a bedroom (13' 8" x 13' 2") on the second floor. The garage floor to be at 19.0 NAVD with the living room floor at 22.0 NAVD to match the rest of the existing 2-story house. The addition is to be at a maximum of 168' 4" east of the Coastal Construction Control Line (CCCL) of 1997, and the addition of a swimming pool (15' 8" x 36') that is to be at a maximum of 181' 7 5/8" east of the CCCL of 1997.)

Requesting a new Land Development Permit to construct a new 4525.88 SF (3266.41 SF under air) residence.

State the reasons or basis for the application and explain why this request is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Plan and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (Attach a separate Justification Statement if insufficient space.) Please be descriptive.

This request is in compliance with Development and Use regulations. A SFR is allowed in the RMM zoning District and area calculations, parking and site design is compliant with Development regulations.

Has a previous application been filed within the last year in connection with the subject property? Yes No
If Yes, briefly describe the nature of the Application.

Has a Site Plan been previously approved by the Town Commission for this property?
 Yes No If Yes, please note date of previous approval: _____



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

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Please provide the name and contact information of the following persons or firms involved in this proposed development, where applicable:

Authorized Agent (if different from Owner):	
Name:	Abhi Kanthan (Supradheep)
Company Name:	Kanthan Design Corporation
Address:	631 Potter Road, Boynton Beach, FL 33435
Phone:	561-900-4815
Email:	abhi@kanthandesign.com
Developer:	
Name:	
Company Name:	
Address:	
Phone:	
Email:	
Planner:	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	
Email:	
Architect:	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	
Email:	
Landscape Architect	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	
Email:	
Engineer	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	
Email:	



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

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I understand that any development permit issued by the Town of Ocean Ridge is contingent on the applicant meeting all requirements from the State of Florida, Palm Beach County, and the Town of Ocean Ridge and upon an actual building permit submittal and review by the Building, Zoning, and Engineering Officials of the Town of Ocean Ridge.

I certify that all of the foregoing information is accurate, and that if approved, all work will be done in compliance with all applicable laws regulating construction and zoning.

Applicant Signature

Supradheep L Kanthan

Printed Name of Applicant

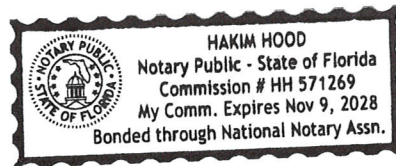
Applicant is: Owner Lessee Agent

The foregoing instrument was acknowledged before me by means of physical presence or online notarization on this 28 day of July, 2025 who is personally known to me or has produced _____ as identification and who did (or did not) take an oath.

Notary Signature (for Applicant)

Seal/Stamp

11/09/2028
Commission Expiration





TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

6450 N. Ocean Blvd., Ocean Ridge, FL 33435 ♦ 561.732.2635 Main ♦ permit@oceanridge.gov ♦
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OFFICIAL USE ONLY – DO NOT WRITE BELOW THIS LINE

Accepted For Review

Town Official: _____ Date: _____ Fee Paid: _____

Traffic concurrency letter included? Yes No

Is this a Development Plan Review resubmittal? Yes No

Approval, Conditional Approval, or Denial

Zoning Review Date: _____

Engineering Review Date: _____

Building Review Date: _____

Town Commission, Date: _____

Planning & Zoning Commission, Date: _____

Board of Adjustment, Date: _____

Conditions of Approval:



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

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DATA CALCULATIONS FOR AN ADDITION
 (EXPANDING EXISTING FOOTPRINT OF A STRUCTURE)

APPLICANT FILL OUT: PROPERTY ADDRESS:				ZONING DISTRICT:			
		APPLICANT USE		ZONING OFFICIAL USE ONLY			
*TOTAL SITE AREA	Sq. Ft.		Ft.		Sq.		
BASE FLOOD ELEVATION (NAVD) (SOURCE THE FLOOD INSURANCE STUDY)							
FINISHED FLOOR ELEVATION (NAVD)							
ZONING OFFICIAL USE ONLY	APPLICANT USE				ZONING REVIEW		
	EXISTING		PROPOSED				
	Sq. Ft.	%	Sq. Ft.	%			
FLOOR AREA RATIO (MAXIMUM _____%)							
LOT COVERAGE (MAXIMUM _____%)							
ZONING OFFICIAL USE ONLY	APPLICANT USE				ZONING REVIEW		
	EXISTING		PROPOSED		EXISTING		PROPOSED
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.	%	Sq. Ft.
FIRST FLOOR UNDER A/C (_____)							
SECOND FLOOR UNDER A/C (_____)							
TOTAL UNDER A/C (_____)							
TOTAL FLOOR AREA (_____)							
TOTAL UNDER ROOF (_____)							
FLAT ROOF (_____)							
TOTAL ROOF (_____)							
GARAGE (_____)							
COVERED PATIO (_____)							
COVERED ENTRY (_____)							
COVERED BALCONY (REAR) (_____)							
COVERED BALCONY (FRONT) (_____)							
OPEN BALCONY (_____)							
BUILDING FOOTPRINT (_____)							
SEPTIC TANK & DRAINFIELD (_____)							
PAVED AREA (_____)							
SYNTHETIC TURF (_____)							
TOTAL IMPERVIOUS (_____) (INCLUDES SYNTHETIC TURF)							
TOTAL PERVIOUS (_____)							
ZONING OFFICIAL USE ONLY	APPLICANT USE				ZONING REVIEW		
	EXISTING		PROPOSED		EXISTING		PROPOSED

N/A



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

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	FEET	FEET	FEET	FEET
BUILDING HEIGHT (_____)				
BUILDING SETBACKS:				
FRONT (_____)				
REAR (_____)				
SIDE INTERIOR (_____)				
SIDE CORNER (_____)		N/A		
WATERWAY (_____)				
DRIVEWAY (_____)				

Prepared By: _____ Date: _____

DATA CALCULATIONS FOR NEW STRUCTURES
 (NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

APPLICANT FILL OUT: PROPERTY ADDRESS:		ZONING DISTRICT: <u>RMM</u> MEDIUM-DENSITY MULTI FAMILY	
	APPLICANT USE		ZONING OFFICIAL USE ONLY
*TOTAL SITE AREA 9991 SF	9991	Sq. Ft.	Sq. Ft.
BASE FLOOD ELEVATION (NAVD) (SOURCE THE FLOOD INSURANCE STUDY)	8.0'		
FINISHED FLOOR ELEVATION (NAVD)	9.0'		
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
	PROPOSED		PROPOSED
	Sq. Ft.	%	Sq. Ft. %
FLOOR AREA RATIO (MAXIMUM 36 %)	3573.07	35.76%	
LOT COVERAGE (MAXIMUM 35 %)	2573.34	25.76%	
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft.	%	Sq. Ft. %
FIRST FLOOR UNDER A/C (1738.68)	1738.68	17.40	
SECOND FLOOR UNDER A/C (1527.73)	1527.73	15.29	
TOTAL UNDER A/C (3266.41)	3266.41	32.69	
TOTAL FLOOR AREA (3596.76)	3596.76	36.00	
TOTAL UNDER ROOF (2612.84)	2612.84	26.15	
FLAT ROOF (N/A)	N/A	N/A	
TOTAL ROOF (3197.34)	3197.34	32.00	
GARAGE (306.66)	306.66	3.07	
COVERED PATIO (343.56)	343.56	3.44	
COVERED ENTRY (184.44)	184.44	1.85	
COVERED BALCONY (REAR) (181.81)	181.81	1.82	
COVERED BALCONY (FRONT) (220.00)	220.00	2.20	
OPEN BALCONY (N/A)	N/A	N/A	
BUILDING FOOTPRINT (2573.34)	2573.34	25.76%	
SEPTIC TANK & DRAINFIELD (231.77)	231.77	2.32	



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT

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PAVED AREA (<u>3502.21</u>)	3502.21	35.05		
SYNTHETIC TURF (<u>N/A</u>)	N/A	N/A		
TOTAL IMPERVIOUS (<u>6075.55</u>) (INCLUDES SYNTHETIC TURF)	6075.55	60.81		
TOTAL PERVIOUS (<u>2372</u>)	2372	23%		
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW	
	FEET		FEET	
BUILDING HEIGHT (<u>34</u>)	34			
BUILDING SETBACKS:				
FRONT (<u>25 FT</u>)	25			
REAR (<u>15</u>)	15			
SIDE INTERIOR (<u>15</u>)	15			
SIDE CORNER (<u>15</u>)	15			
WATERWAY (_____)				
DRIVEWAY (_____)				

Prepared By: Supradheep Kanthan, Architect of Record Date: _____

The following pages are checklists for the applicant and/or the Town.

DO NOT submit the checklists as part of the application packet.

Read the instructions carefully!!



TOWN OF OCEAN RIDGE BUILDING DEPARTMENT
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Affidavit to Appoint Agent

Please check one of the following:

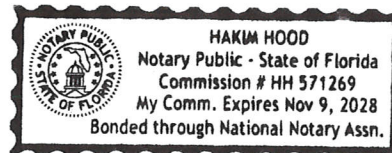
- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Plat or Re-Plat |
| <input type="checkbox"/> Building Permit (Revisions, etc.) | <input type="checkbox"/> Re-Zoning |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan Review |
| <input checked="" type="checkbox"/> <i>Development</i>
Concept Plan Review | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Construction East of the CCCL | <input type="checkbox"/> Variance |
| <input type="checkbox"/> PRD Amendment | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Planned Residential Development (PRD) | |

- He/She is fee simple owner of the following described property, to wit: (Provide Property Address and Legal Description)
 16 Tropical Dr, Ocean Ridge, FL 33435
 PALM BEACH SHORE ACRES BLKS A, B & Z E 100 FT OF W 472 FT OF LT 17 BLK A
- He/She desires to submit a Development Plan Review application to the Town of Ocean Ridge, Florida.
- He/She has appointed Supradheep (Abhi) Kanthan to act as agent in his/her behalf to accomplish the above.
- He/She affirms and certifies that he/she understands and agrees to comply with the Town of Ocean Ridge Land Development Code. He/She further certifies that the statements, plans and all information submitted as a part of this application are true and correct to the best of his/her knowledge. Further, he/she understand that this application and attachments become part of the Official Records of the Town of Ocean Ridge, Florida and are not returnable.

State of Florida, County of Palm Beach Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization on this day 28 of July, 2025.

Gary Ritkes
 Signature of Property Owner Property Owner Printed Name
Hakim Hood
 Notary Public Signature Notary Printed Name

My Commission Expires 11/09/2028 (SEAL)



Personally Known: _____ or ID: DL (FL) (Type of Identification Provided)

Prepared by and return to:
Joanne Davis
Ocean View Title & Escrow
2000 PGA Blvd, Bldg. A
Suite 3220
Palm Beach Gardens, FL 33408

File No 2025-946

Parcel Identification No 46-43-45-34-05-001-0300

(Space Above This Line For Recording Data)

WARRANTY DEED
(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 14th day of April, 2025 between **Patricia E. Kropp, an unmarried widow, individually and as Trustee of Patricia E. Kropp Revocable Trust Dated October 14, 2008**, whose post office address is c/o 11450 Hagen Ranch Road, Room 231, Boynton Beach, FL 33437, of the County of Palm Beach, Florida, Grantor, to **Gary Ritkes and Sonia Ritkes, husband and wife**, whose post office address is 464 NE 2nd Ave., Fort Lauderdale, FL 33301, of the County of Broward, Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Palm Beach, Florida, to-wit:

BEGINNING AT THE NORTHWEST CORNER OF LOT 17, BLOCK "A", PALM BEACH SHORE ACRES OCEAN BOULEVARD ESTATES, BLOCKS A, B AND Z, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 7, PAGE 15; THENCE RUN EAST ALONG THE NORTH BOUNDARY OF SAID LOT 17, A DISTANCE OF 372 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE EAST ON THE SAME LINE 100 FEET TO A POINT; THENCE SOUTH AT AN ANGLE OF 90 DEGREES WITH THE PREVIOUS COURSE TO THE SOUTH BOUNDARY OF SAID LOT 17; THENCE WEST ON THE SOUTH LINE OF SAID LOT 17, 100 FEET TO A POINT; THENCE NORTH AT AN ANGLE OF 90 DEGREES WITH THE PREVIOUS COURSE TO THE POINT OF BEGINNING.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2025 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor has hereunto set (
Signed, sealed and delivered in our presence:

Gregory VanVliet
WITNESS
PRINT NAME: Gregory VanVliet

Jose M. Alvarez
WITNESS
PRINT NAME: Jose M. Alvarez

STATE OF FLORIDA
COUNTY OF PALM BEACH

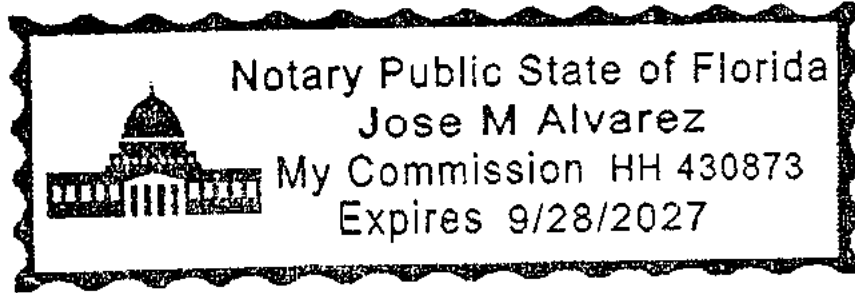
The foregoing instrument was acknowledged before me
of April, 2025, by Patricia E. Kropp, an unremarried wic
October 14, 2008, () who is/are personally known to r
identification.

[Signature]

Signature of Notary Public

Jose M. Alvarez

Print, Type/Stamp Name of Notary



File No.: 2025-946

NOT A CERTIFIED COPY

Property Detail

Location Address : 16 TROPICAL DR 1
Municipality : OCEAN RIDGE
Parcel Control Number : 46-43-45-34-05-001-0300
Subdivision : PALM BEACH SHORE ACRES BLKS A,B & Z
Official Records Book/Page : 35698 / 1645
Sale Date : 04/14/2025
Legal Description : PALM BEACH SHORE ACRES BLKS A, B & Z E 100 FT OF W 472 FT OF LT 17 BLK A

Owner Information

Owner(s)	Mailing Address
RITKES GARY & RITKES SONIA	464 NE 2ND AVE FORT LAUDERDALE FL 33301 3269

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
04/14/2025	\$1,395,000	35698 / 01645	WARRANTY DEED	RITKES GARY &
10/14/2008	\$10	22908 / 00804	LIFE ESTATE	KROPP PATRICIA E
10/30/1997	\$100	10771 / 00458	DEED OF TRUST	KROPP PATRICIA
09/01/1986	\$100	05138 / 01606	QUIT CLAIM	

Exemption Information

Applicant/Owner(s)	Year	Detail
KROPP PATRICIA E	2025	HOMESTEAD
KROPP PATRICIA E	2025	ADDITIONAL HOMESTEAD
KROPP PATRICIA E	2025	QUALIFIED EXEMPTION

Property Information

Number of Units : 2
***Total Square Feet :** 1914
Acres : .23
Property Use Code : 0800—MULTIFAMILY < 5 UNITS
Zoning : RMM—MEDIUM DENSITY MULTI-FAMILY (46-OCEAN RIDGE)

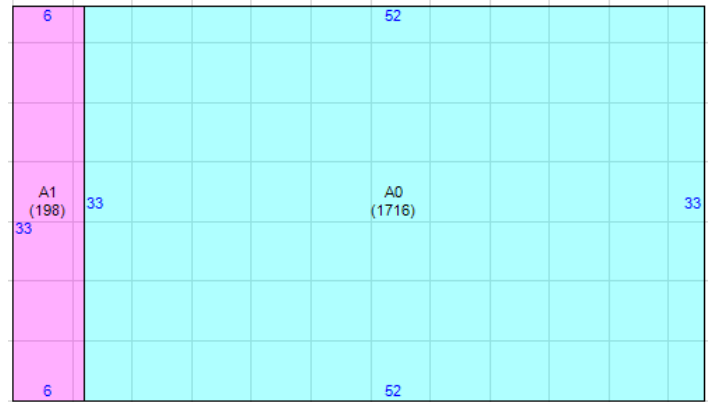
Building Details**Structural Details**

Structural Element for Building 1		Sketch for Building 1
Exterior Wall 1	MSY: CB STUCCO	
Year Built	1970	
Air Condition Desc.	NO HTG/AC	
Heat Type	NONE	
Heat Fuel	NONE	
Bed Rooms	3	
Full Baths	3	
Half Baths	0	
Exterior Wall 2	NONE	
Roof Structure	GABLE/HIP	
Roof Cover	CONCRETE TILE	
Interior Wall 1	DRYWALL	
Interior Wall 2	N/A	
Floor Type 1	CARPETING	
Floor Type 2	N/A	

Stories 1

Subarea and Square Footage for Building 1

Code Description	square Footage
FSP Finished Screened Porch	198
BAS Base Area	1716
Total Square Footage	1914
Area Under Air	1716



Property Extra Feature

Description	Year Built	Units
Wall	1970	525

Property Land Details

Land Line #	Description	Zoning	Acres
1	MULTI-FAMILY	RMM	0.2296

Appraisals

Tax Year	2024	2023	2022	2021	2020
Improvement Value	\$112,761	\$162,720	\$101,821	\$121,716	\$125,493
Land Value	\$988,000	\$1,004,300	\$830,000	\$800,000	\$648,000
Total Market Value	\$1,100,761	\$1,167,020	\$931,821	\$921,716	\$773,493

Assessed and Taxable Values

Tax Year	2024	2023	2022	2021	2020
Assessed Value	\$239,898	\$232,911	\$226,127	\$219,541	\$575,417
Exemption Amount	\$55,000	\$55,000	\$50,500	\$50,500	\$50,500
Taxable Value	\$184,898	\$177,911	\$175,627	\$169,041	\$524,917

Taxes

Tax Year	2024	2023	2022	2021	2020
AD VALOREM	\$3,526	\$3,428	\$3,479	\$3,453	\$10,570
NON AD VALOREM	\$214	\$206	\$200	\$192	\$190
TOTAL TAX	\$3,740	\$3,634	\$3,679	\$3,645	\$10,760



PROJECT DESIGN NARRATIVE **16 TROPICAL DRIVE, BOYNTON BEACH, FL** **New Construction of a Single-Family Residence**

Request(s): Land Development Action Application | Development Plan Review
Date: November 3, 2025
Applicant: Supradheep (Abhi) Kanthan of Kanthan Design Corporation
Owner: Gary & Sonia Ritkes
Zoning District: RMM: Medium Density Multi-Family
Municipality: Town of Ocean Ridge

APPLICATION REQUESTS & PROPERTY INTRODUCTION

On behalf of the Property Owner and Applicant, Gary & Sonia Ritkes (“Owner”), Kanthan Design Corporation (“Applicant”) has prepared and respectfully submits this application requesting approval by the Town of Ocean Ridge Building Department (“BLD”) for an Land Development Action Application | Development Plan Review to construct a single-family residence on the subject property. Approval of this application will allow for the demolition of an existing 1,914 sf structure and the construction of a new 4,505 sf two-story single-family house.

The Subject Property is located on the south side of Tropical Drive, directly east of N Ocean Blvd, and directly west of Old Ocean Blvd, within the RMM Zoning District, in the Town of Ocean Ridge. The property consists of one parcel as identified by the Palm Beach County Property Appraiser by the Parcel Control Number 46-43-45-34-05-001-0300 and according to the Survey provided. The overall site dimensions are 100.00 feet by 99.91 feet for an area of 9,991 square feet of land.

PROJECT DESIGN STATEMENT

The following provides further description and identifies the architectural style of the proposed structure, and how each of the elements under Town Code Section 63-56 have been met.

The Architectural style of the proposed structure is **Coastal**.

Below are some Design Elements that define this style that we are implementing into the Design Intent:

1. Color Palette

- **Soft, breezy tones** – whites, creams, sandy beiges, pale blues, seafoam greens.
- **High-contrast accents** – navy shutters, turquoise doors, coral-colored trim.
- Designed to reflect sunlight and keep interiors cooler.

2. Roof Styles

- **Metal roofs** (often standing-seam) for hurricane resistance and heat reflection.
- **Gable or hip roofs** with wide overhangs to shield from rain and sun.
- In Key West–style homes, *decorative rooflines* sometimes feature small cupolas

or vented gables for airflow.

3. Exterior Materials

- **Stucco, clapboard, or shiplap siding** – materials that hold up to salt air.
- **Moisture-resistant finishes** to prevent mold and rot.
- Occasionally *coquina stone* or coral stone accents for texture.

4. Windows & Doors

- **Large, hurricane-impact windows** to maximize natural light and ocean views.
- **French doors or sliding glass walls** for seamless indoor–outdoor living.
- **Bahama shutters** or louvered shutters – functional for storms but also decorative.

5. Outdoor Living Spaces

- Expansive **wraparound porches**, lanais, and balconies.
- **Screened patios** to keep out insects while enjoying breezes.
- Often elevated decks or pilings in flood-prone coastal areas.

6. Architectural Details

- **Exposed rafters** or decorative brackets under eaves.
- White railings, pergolas, and trellises.
- Vertical proportions that make homes look airy and open.

7. Landscaping Integration

- Native palms, sea grapes, and drought-tolerant coastal plants.
- Gravel or shell driveways instead of asphalt to prevent heat absorption.
- Pathways that feel like a resort setting.

Below is Town Code Section 63-56 and the description of how each of the elements under Town Code Section 63-56 have been met:

Town of Ocean Ridge Criteria for Development Plan Review

Sec. 63-56. - Development plan review.

According to Article IV, Section 63-56. – *Development plan review:*

All development related to a single- or two-family structure that is for new development or construction that increases the size of the current structure by more than 50 percent or where such renovation construction, as classified as substantial improvements per the Florida Building Code, costs more than 50 percent of the existing structure (value of existing structure may be as determined by the Palm Beach County Property Appraiser or as determined by an appraisal submitted by the property owner from a licensed/certified property appraiser) shall be required to submit the development/construction/site plans to the planning and zoning commission for review and approval.

(1) The planning and zoning commission shall use the review criteria as set forth herein when reviewing site plans.

a. Relationship of building to site:

1. The site should be planned to accomplish a desirable transition with the

streetscape. The overall balance and proportion of the proposed building will be considered.

Response: The proposed two-story Coastal-style residence has been designed to create a smooth and visually appealing transition with the existing streetscape. The building's scale, front setback, and articulated façade establish a balanced street presence that complements surrounding homes. A combination of architectural detailing, landscaping, and porch elements provides human scale and reinforces a cohesive neighborhood rhythm.

2. The height and scale of each building should be compatible with its site and other buildings onsite.

Response: The home's height and massing are consistent with both the lot size and adjacent structures. The rooflines, second-story setbacks, and proportional window placement are designed to reduce perceived bulk and maintain compatibility with surrounding properties.

b. Relationship of building and site to adjoining area(s):

1. Buildings and site should be designed to enhance the surrounding neighborhood.

Response: The project enhances the neighborhood by introducing a thoughtfully detailed Coastal-style home that emphasizes high-quality materials and craftsmanship. The open porch, balanced massing, and refined coastal palette contribute to the aesthetic quality of the streetscape.

2. Harmony in architectural style, form, texture, mass and lines, as well as materials, colors, and use of architectural elements should be provided in the design of all buildings.

Response: The proposed design demonstrates harmony through consistent roof pitches, horizontal siding textures, and vertically proportioned fenestration. Materials such as fiber-cement siding/stucco, metal roofing, and painted wood trim provide visual continuity and reinforce the Coastal vernacular.

3. Buildings and site should be consistent with the established neighborhood character or within acknowledged architectural styles.

Response: The home reflects a traditional Coastal architectural style characterized by gabled roofs, wide overhangs, and a light, airy façade. This approach aligns with existing neighborhood patterns and enhances architectural cohesion.

4. The height and scale of the proposed structure(s) should be compatible with the surrounding neighborhood.

Response: The proposed two-story structure is consistent in height and proportion with neighboring residences. Building articulation and roof form reduce

vertical massing, ensuring compatibility with adjacent single-family homes.

5. The landscaping should enhance and be compatible with the surrounding neighborhood while providing harmony to the architectural style.

Response: A landscape plan incorporating native and salt-tolerant plant species complements the Coastal design. Layered plantings, foundation shrubs, and ornamental trees soften the building's edges and create a harmonious transition between architecture and site.

c. Building design:

1. Evaluation of a project should be based on quality of its design and relationship to surroundings.

Response: The design emphasizes high-quality architectural detailing, balanced massing, and material integrity. The building form and orientation are responsive to site conditions and reinforce visual continuity within the surrounding neighborhood.

2. Components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another.

Response: Architectural components are proportionally integrated, with well-scaled eaves, vertically oriented windows, and recessed entry features. The balanced composition contributes to an overall sense of order and refinement.

3. Colors should be harmonious and representative of the architectural style of the building and generally within the character of the neighborhood.

Response: A soft, neutral Coastal palette—featuring whites, light grays, and soft blues—is proposed to complement the natural surroundings and existing neighborhood colors. Accent tones and trim are carefully selected to maintain visual harmony.

4. Design attention should be given to mechanical equipment or other utility hardware on roofs, buildings and at grade so as to screen them from off-site view.

Response: All mechanical and utility equipment will be screened from public and neighboring views through the use of architectural enclosures and strategic landscaping. Rooftop or visible hardware will be minimized and concealed as required.

5. Buildings should be of a size as to be in harmony with permanent neighboring development or within acknowledged architectural styles.

Response: The proposed residence is consistent in size, height, and bulk with established homes in the area. The overall form and proportions align with the Coastal architectural style and contribute positively to the built environment.

6. Use of any/all of the above preferred design elements in conjunction with the renovation or addition to existing homes is encouraged, along with the removal of any existing elements that are not preferred.

Response: Preferred design elements, including covered porches, gabled rooflines, and articulated façades, have been integrated into the design. Non-cohesive or nontraditional features have been omitted to maintain architectural integrity and consistency.

7. The architectural style and elements of proposed additions and renovations shall be consistent with the other portions of the building.

Response: All elements—including materials, roof pitches, and window patterns—are fully integrated into the overall Coastal design concept to ensure uniformity and architectural coherence throughout the structure.

8. All proposed structures shall be consistent with the town's land development regulations and the goals, objectives and policies of the comprehensive plan.

Response: The proposed application does not request a rezoning of the Subject Property or a change to another Land Use. Other surrounding properties also have the same future land use and zoning district. This request is consistent with the purpose, goals and policies of the zoning ordinance

CONCLUSION

Approval of this application will allow for the demolition of an existing 1,914 sf structure and the construction of a new 4,505 sf two-story single-family house within the RMM Zoning District, in the Town of Ocean Ridge. This approval will further the redevelopment goals and objectives of the Town of Ocean Ridge Planning and Zoning Department and provide additional diverse Development for this community.

Should you have any questions regarding this application, please contact Supradheep (Abhi) Kanthan from Kanthan Design Corporation at abhi@kanthandesign.com or office@kanthandesign.com.



JUSTIFICATION STATEMENT

16 TROPICAL DRIVE, BOYNTON BEACH, FL

New Construction of a Single-Family Residence

Request(s): Land Development Action Application | Development Plan Review
Date: July 28, 2025
Applicant: Supradheep (Abhi) Kanthan of Kanthan Design Corporation
Owner: Gary & Sonia Ritkes
Zoning District: RMM: Medium Density Multi-Family
Municipality: Town of Ocean Ridge

APPLICATION REQUESTS & PROPERTY INTRODUCTION

On behalf of the Property Owner and Applicant, Gary & Sonia Ritkes (“Owner”), Kanthan Design Corporation (“Applicant”) has prepared and respectfully submits this application requesting approval by the Town of Ocean Ridge Building Department (“BLD”) for an Land Development Action Application | Development Plan Review to construct a single-family residence on the subject property. Approval of this application will allow for the demolition of an existing 1,914 sf structure and the construction of a new 4,505 sf two-story single-family house.

The Subject Property is located on the south side of Tropical Drive, directly east of N Ocean Blvd, and directly west of Old Ocean Blvd, within the RMM Zoning District, in the Town of Ocean Ridge. The property consists of one parcel as identified by the Palm Beach County Property Appraiser by the Parcel Control Number 46-43-45-34-05-001-0300 and according to the Survey provided. The overall site dimensions are 100.00 feet by 99.91 feet for an area of 9,991 square feet of land.












CONCLUSION

Approval of this application will allow for the demolition of an existing 1,914 sf structure and the construction of a new 4,505 sf two-story single-family house within the RMM Zoning District, in the Town of Ocean Ridge. This approval will further the redevelopment goals and objectives of the Town of Ocean Ridge Planning and Zoning Department and provide additional diverse Development for this community.

Should you have any questions regarding this application, please contact Supradheep (Abhi) Kanthan from Kanthan Design Corporation at abhi@kanthandesign.com or office@kanthandesign.com.

BUILDING MATERIALS AND COLOR SAMPLE FORM

NOTE THE TYPE OF MATERIAL AND COLOR SPECIFICATION PROPOSED INCLUDING TYPES OF FINISHES. CAN ATTACH IMAGES OR PHOTOS OF MATERIALS.
ATTACH ACTUAL PAINT COLOR SAMPLES WITH DETAILS OF MANUFACTURER

ROOF		WALLS (STUCCO)	
 <p>BONE WHITE Reference Number: 26 SRI: 90 TSR: 0.74</p>		 <p>SW 7004 Snowbound</p> <p>Designer Color Collection</p>	
FASCIA		TRIM/OTHER	
 <p>SW 7006 Extra White</p>		 <p>SW 7006 Extra White</p>	
WINDOWS		SHUTTERS/AWNINGS	
 <p>SW 7006 Extra White</p>		 <p>SW 6508 Secure Blue</p>	
RAILINGS		FRONT DOOR	
 <p>SW 7006 Extra White</p>		 <p>SW 6508 Secure Blue</p>	
COLUMNS		T&G CEILINGS	
 <p>SW 7006 Extra White</p>			



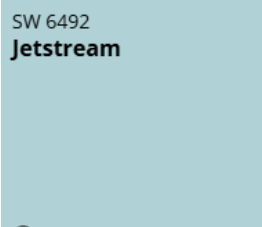


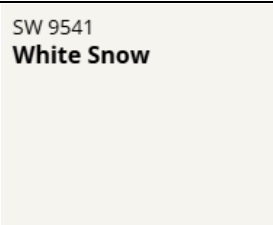
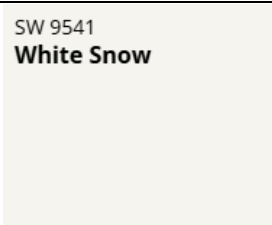









BUILDING MATERIALS AND COLOR SAMPLE FORM

NOTE THE TYPE OF MATERIAL AND COLOR SPECIFICATION PROPOSED INCLUDING TYPES OF FINISHES. CAN ATTACH IMAGES OR PHOTOS OF MATERIALS.
ATTACH ACTUAL PAINT COLOR SAMPLES WITH DETAILS OF MANUFACTURER

ROOF		WALLS	
 <p>SW 9561 Guild Grey</p> <p>Designer Color Collection</p>		 <p>SW 9541 White Snow</p>	 <p>SW 6492 Jetstream</p>
FASCIA		TRIM/OTHER	
 <p>SW 9541 White Snow</p>		 <p>SW 9541 White Snow</p>	
WINDOWS		SHUTTERS/AWNINGS	
 <p>SW 9541 White Snow</p>		 <p>SW 9541 White Snow</p>	
RAILINGS		FENCE	
 <p>SW 9541 White Snow</p>		 <p>SW 9541 White Snow</p>	
COLUMNS		OTHER	
 <p>SW 9541 White Snow</p>			







National Flood Insurance Program

Elevation Certificate and Instructions

2023 EDITION



FEMA

ELEVATION CERTIFICATE AND INSTRUCTIONS

PAPERWORK REDUCTION ACT NOTICE

Public reporting burden for this data collection is estimated to average 3.75 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and submitting this form. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing the burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 500 C Street SW, Washington, DC 20742, Paperwork Reduction Project (1660-0008). **NOTE: Do not send your completed form to this address.**

PRIVACY ACT STATEMENT

Authority: Title 44 CFR § 61.7 and 61.8.

Principal Purpose(s): This information is being collected for the primary purpose of documenting compliance with National Flood Insurance Program (NFIP) floodplain management ordinances for new or substantially improved structures in designated Special Flood Hazard Areas. This form may also be used as an optional tool for a Letter of Map Amendment (LOMA), Conditional LOMA (CLOMA), Letter of Map Revision Based on Fill (LOMR-F), or Conditional LOMR-F (CLOMR-F), or for flood insurance rating purposes in any flood zone.

Routine Use(s): The information on this form may be disclosed as generally permitted under 5 U.S.C. § 552a(b) of the Privacy Act of 1974, as amended. This includes using this information as necessary and authorized by the routine uses published in DHS/ FEMA-003 – *National Flood Insurance Program Files System of Records Notice 79* Fed. Reg. 28747 (May 19, 2014) and upon written request, written consent, by agreement, or as required by law.

Disclosure: The disclosure of information on this form is voluntary; however, failure to provide the information requested may impact the flood insurance premium through the NFIP. Information will only be released as permitted by law.

PURPOSE OF THE ELEVATION CERTIFICATE

The Elevation Certificate is an important administrative tool of the NFIP. It can be used to provide elevation information necessary to ensure compliance with community floodplain management ordinances, to inform the proper insurance premium, and to support a request for a LOMA, CLOMA, LOMR-F, or CLOMR-F.

The Elevation Certificate is used to document floodplain management compliance for Post-Flood Insurance Rate Map (FIRM) buildings, which are buildings constructed after publication of the FIRM, located in flood Zones A1–A30, AE, AH, AO, A (with Base Flood Elevation (BFE)), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, and A99. It may also be used to provide elevation information for Pre-FIRM buildings or buildings in any flood zone.

As part of the agreement for making flood insurance available in a community, the NFIP requires the community to adopt floodplain management regulations that specify minimum requirements for reducing flood losses. One such requirement is for the community to obtain the elevation of the lowest floor (including basement) of all new and substantially improved buildings, and maintain a record of such information. The Elevation Certificate provides a way for a community to document compliance with the community's floodplain management ordinance.

Use of this certificate does not provide a waiver of the flood insurance purchase requirement. Only a LOMA or LOMR-F from the Federal Emergency Management Agency (FEMA) can amend the FIRM and remove the federal mandate for a lending institution to require the purchase of flood insurance. However, the lending institution has the option of requiring flood insurance even if a LOMA/LOMR-F has been issued by FEMA. The Elevation Certificate may be used to support a LOMA, CLOMA, LOMR-F, or CLOMR-F request. Lowest Adjacent Grade (LAG) elevations certified by a land surveyor, engineer, or architect, as authorized by state law, will be required if the certificate is used to support a LOMA, CLOMA, LOMR-F, or CLOMR-F request. A LOMA, CLOMA, LOMR-F, or CLOMR-F request must be submitted with either a completed FEMA MT-EZ or MT-1 application package, whichever is appropriate. If the certificate will only be completed to support a LOMA, CLOMA, LOMR-F, or CLOMR-F request, there is an option to document the certified LAG elevation on the Elevation Form included in the MT-EZ and MT-1 application.

This certificate is used only to certify building elevations. A separate certificate is required for floodproofing. Under the NFIP, non-residential buildings can be floodproofed up to or above the BFE. A floodproofed building is a building that has been designed and constructed to be watertight (substantially impermeable to floodwaters) below the BFE. Floodproofing of residential buildings is not permitted under the NFIP unless FEMA has granted the community an exception for residential floodproofed basements. The community must adopt standards for design and construction of floodproofed basements before FEMA will grant a basement exception. For both floodproofed non-residential buildings and residential floodproofed basements in communities that have been granted an exception by FEMA, a floodproofing certificate is required.

The expiration date on the form herein does not apply to certified and completed Elevation Certificates, as a completed Elevation Certificate does not expire, unless there is a physical change to the building that invalidates information in Section A Items A8 or A9, Section C, Section E, or Section H. In addition, this form is intended for the specific building referenced in Section A and is not invalidated by the transfer of building ownership.

Additional guidance can be found in FEMA Publication 467-1, *Floodplain Management Bulletin: Elevation Certificate*.

ELEVATION CERTIFICATE**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11**

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>GARY RITKES</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>16 TROPICAL DRIVE</u>	Company NAIC Number: _____
City: <u>BOYNTON BEACH</u> State: <u>FL</u> ZIP Code: <u>33435</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>PALM BEACH SHORE ACRES BLKS A, B & Z E 100 FT OF W 472 FT OF LT 17 BLK A ID # 46-43-45-34-05-001-0300</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>RESIDENTIAL</u>	
A5. Latitude/Longitude: Lat. <u>26°30'36.34"N</u> Long. <u>80°03'07.77"W</u> Horiz. Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983 <input checked="" type="checkbox"/> WGS 84	
A6. Attach at least two and when possible four clear color photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: <u>1B</u>	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s): <u>N/A</u> sq. ft.	
b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u>	
d) Total net open area of non-engineered flood openings in A8.c: <u>N/A</u> sq. in.	
e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>N/A</u> sq. ft.	
f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>N/A</u> sq. ft.	
A9. For a building with an attached garage:	
a) Square footage of attached garage: <u>N/A</u> sq. ft.	
b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>N/A</u> Engineered flood openings: <u>N/A</u>	
d) Total net open area of non-engineered flood openings in A9.c: <u>N/A</u> sq. in.	
e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): <u>N/A</u> sq. ft.	
f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): <u>N/A</u> sq. ft.	
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION	
B1.a. NFIP Community Name: <u>TOWN OF OCEAN RIDGE</u> B1.b. NFIP Community Identification Number: <u>125134</u>	
B2. County Name: <u>PALM BEACH</u> B3. State: <u>FL</u> B4. Map/Panel No.: <u>12099C0793</u> B5. Suffix: <u>G</u>	
B6. FIRM Index Date: <u>10/05/2017</u> B7. FIRM Panel Effective/Revised Date: <u>10/05/2017</u>	
B8. Flood Zone(s): <u>AE</u> B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>8</u>	
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____	
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____	
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: <u>N/A</u> <input type="checkbox"/> CBRS <input type="checkbox"/> OPA	
B13. Is the building located seaward of the Limit of Moderate Wave Action (LiMWA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

16 TROPICAL DRIVE

City: BOYNTON BEACH State: FL ZIP Code: 33435

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: (SEE COMMENTS) Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other: _____

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used? Yes No

If Yes, describe the source of the conversion factor in the Section D Comments area.

Check the measurement used:

- a) Top of bottom floor (including basement, crawlspace, or enclosure floor): 6.00 feet meters
- b) Top of the next higher floor (see Instructions): N/A feet meters
- c) Bottom of the lowest horizontal structural member (see Instructions): N/A feet meters
- d) Attached garage (top of slab): N/A feet meters
- e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): 5.67 feet meters
- f) Lowest Adjacent Grade (LAG) next to building: Natural Finished 4.49 feet meters
- g) Highest Adjacent Grade (HAG) next to building: Natural Finished 5.12 feet meters
- h) Finished LAG at lowest elevation of attached deck or stairs, including structural support: N/A feet meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. *I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Check here if attachments and describe in the Comments area.

Certifier's Name: FRANCISCO L. NUNEZ License Number: LS# 6382

Title: PROFESSIONAL SURVEYOR & MAPPER

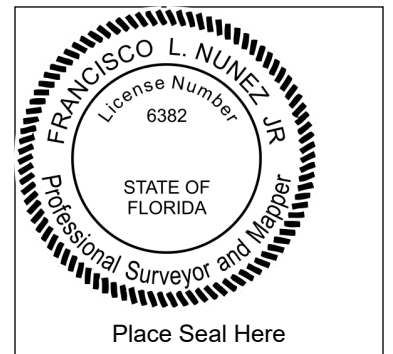
Company Name: ALL COUNTY SURVEYORS

Address: 5400 S. UNIVERDITY DRIVE #216

City: DAVIE State: FL ZIP Code: 33328

Telephone: (954) 777-4747 Ext.: _____ Email: _____

Signature: _____ Date: 02/27/2025



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):

JOB # 25-62583 LONG & LATT OBTAINED IN FIELD (MAGELLAN 500 HANDHELD)

C2e= AIR CONDITIONER

PALM BEACH COUNTY BENCHMARK BM#AD2708, ELE=13.94' (NAVD 1988)

ALL ELEVATION CONVERSIONS WERE PERFORMED USING VERTCON

CROWN= 2.77'

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

16 TROPICAL DRIVE

City: BOYNTON BEACH State: FL ZIP Code: 33435

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

**SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)**

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: _____ feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is: _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments: _____

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

16 TROPICAL DRIVE

City: BOYNTON BEACH State: FL ZIP Code: 33435

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a. A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.
- G2.b. A local official completed Section H for insurance purposes.
- G3. In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4. The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: _____ G6. Date Permit Issued: _____
- G7. Date Certificate of Compliance/Occupancy Issued: _____
- G8. This permit has been issued for: New Construction Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum: _____
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: _____ feet meters Datum: _____
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: _____ feet meters Datum: _____
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: _____ feet meters Datum: _____
- G11. Variance issued? Yes No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: _____ Title: _____

NFIP Community Name: _____

Telephone: _____ Ext.: _____ Email: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Signature: _____ Date: _____

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

16 TROPICAL DRIVE

City: BOYNTON BEACH State: FL ZIP Code: 33435

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

**SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES
(SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)**

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). **Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.**

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) **For Building Diagrams 1A, 1B, 3, and 5–8.** Top of bottom _____ feet meters above the LAG floor (include above-grade floors only for buildings with crawlspaces or enclosure floors) is:

b) **For Building Diagrams 2A, 2B, 4, and 6–9.** Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: _____ feet meters above the LAG

H2. Is **all** Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?

Yes No

SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge.* **Note:** If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: _____

Address: _____

City: _____ State: _____ ZIP Code: _____

Telephone: _____ Ext.: _____ Email: _____

Signature: _____ Date: _____

Comments:

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

16 TROPICAL DRIVE

City: BOYNTON BEACH State: FL ZIP Code: 33435

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo One

Photo One Caption: FRONT VIEW 02/27/205

Clear Photo One



Photo Two

Photo Two Caption: REAR VIEW 02/27/2025

Clear Photo Two

ELEVATION CERTIFICATE
IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON INSTRUCTION PAGES 1-11
BUILDING PHOTOGRAPHS

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.:

16 TROPICAL DRIVE

City: BOYNTON BEACH

State: FL

ZIP Code: 33435

FOR INSURANCE COMPANY USE

Policy Number: _____

Company NAIC Number: _____

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo Three

Photo Three Caption: RIGHT SIDE VIEW 02/27/2025

Clear Photo Three



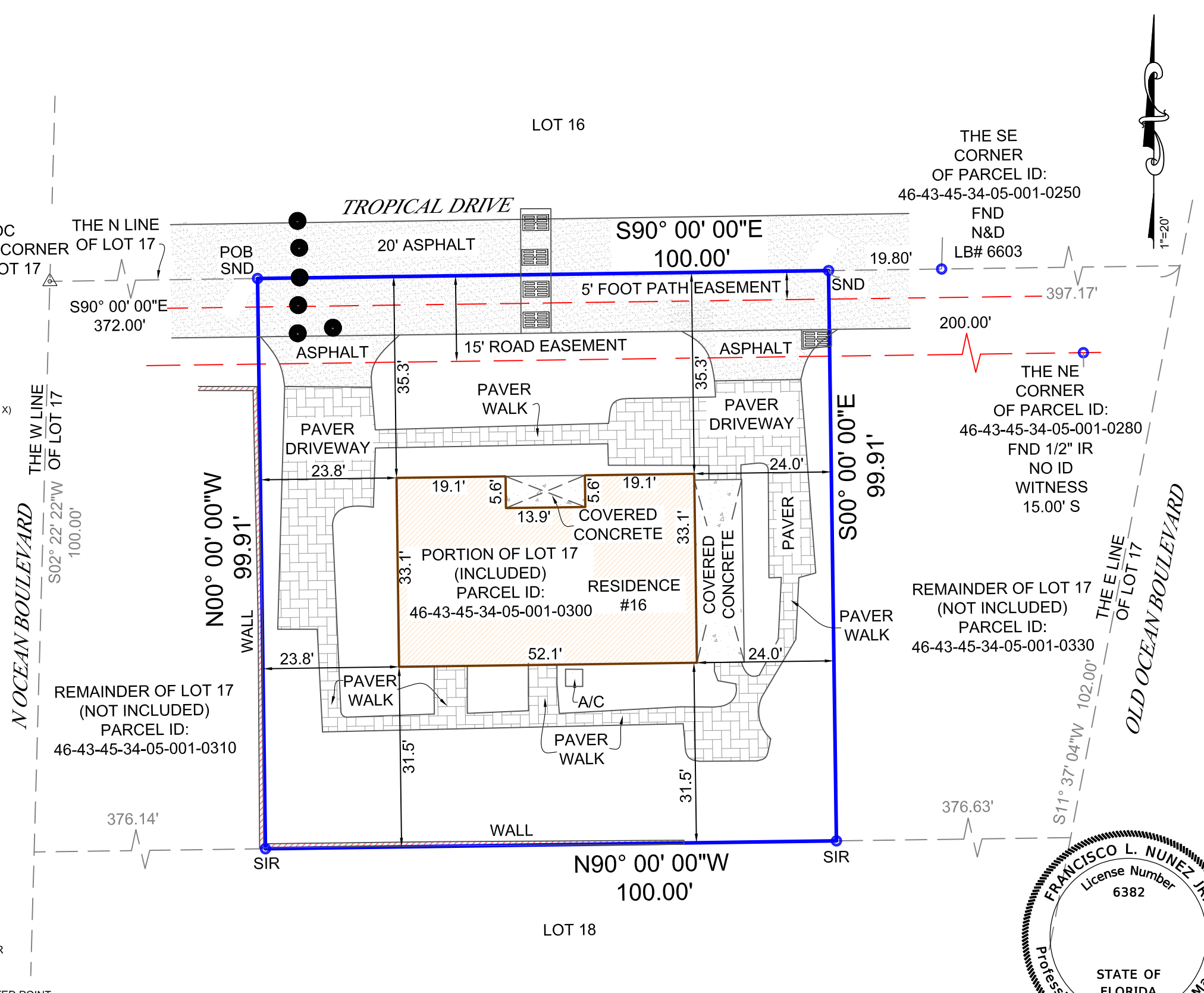
Photo Four

Photo Four Caption: LEFT SIDE VIEW 02/27/2025

Clear Photo Four

GENERAL LEGEND:

- A/C = AIR CONDITIONER
- AF = ALUMINUM FENCE
- BCR = BROWARD COUNTY RECORDS
- BM = BENCHMARK
- CB = CATCH BASIN
- CBS = CONCRETE BLOCK STRUCTURE
- CBW = CINDERBLOCK WALL
- C/L = CENTERLINE
- CLF = CHAIN LINK FENCE
- CME = CANAL MAINTENANCE EASEMENT
- CO = CLEAN OUT
- CONC = CONCRETE
- D = DELTA (CENTRAL ANGLE)
- DE = DRAINAGE EASEMENT
- E = EAST
- EB = ELECTRIC BOX
- ELE = ELEVATION
- EM = ELECTRIC METER
- X 0.00' = ELEVATION
- EOP = EDGE OF PAVEMENT
- EOW = EDGE OF WATER
- FDH = FOUND DRILLHOLE
- FF = FINISHED FLOOR
- FH = FIRE HYDRANT
- FN = FOUND NAIL
- FND = FOUND
- FPL = FLORIDA POWER AND LIGHT
- IF = IRON FENCE
- IP = IRON PIPE
- IR = IRON ROD
- INV = INVERT
- L = ARC LENGTH
- LP = LIGHT POLE
- LME = LAKE MAINTENANCE EASEMENT
- N = NORTH
- N/A = NO BASE FLOOD (FOR FLOOD ZONE X)
- N&D = NAIL & DISC
- NO ID = NO IDENTIFICATION
- MF = METAL FENCE
- MH = MAN HOLE
- OH = OVERHEAD CABLES
- OR = OFFICIAL RECORD BOOK
- O/S = OFFSET
- PB = PLAT BOOK
- PBCR = PALM BEACH COUNTY RECORDS
- PC = POINT OF CURVATURE
- PCC = POINT OF COMPOUND CURVATURE
- PG = PAGE
- PL = PLANTER
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- P&M = PLAT AND MEASURED
- PP = POOL PUMP
- PE = POOL EQUIPMENT
- PRC = POINT OF REVERSE CURVATURE
- PVCF = POLYVINYL CHLORIDE FENCE
- R/W = RIGHT OF WAY
- S = SOUTH
- S/W = SIDEWALK
- SIR = SET 1/2" IRON ROD
- SND = SET NAIL & DISC
- TYP = TYPICAL
- UE = UTILITY EASEMENT
- UP = UTILITY POLE
- W = WEST
- WF = WOOD FENCE
- WM = WATER METER
- WV = WATER VALVE
- OVERHEAD CABLES (OH)
- POLYVINYL CHLORIDE FENCE (PVCF)
- UTILITY BOX
- CHAIN LINK FENCE (CLF)
- FIRE HYDRANT
- WOOD FENCE (WF)
- ELECTRIC BOX
- METAL FENCE (MF)
- VALVE
- WATER METER
- AT&T BOX
- UTILITY POLE
- CATCH BASIN
- BOUNDARY CORNER
- CENTERLINE
- LIGHT POLE
- CABLE TV RISER (CA/TV)
- CALCULATED POINT



LEGAL DESCRIPTION:

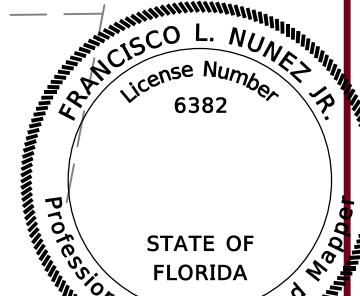
BEGINNING AT THE NORTHWEST CORNER OF LOT 17, BLOCK "A", PALM BEACH SHORE ACRES, OCEAN BOULEVARD ESTATES, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 7, PAGE 15; THENCE RUN EAST ALONG THE NORTH BOUNDARY OF SAID LOT 17, A DISTANCE OF 372 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE EAST ON THE SAME LINE 100 FEET TO A POINT; THENCE SOUTH AT AN ANGLE OF 90 DEGREES WITH THE PREVIOUS COURSE TO THE SOUTH BOUNDARY OF SAID LOT 17; THENCE WEST ON THE SOUTH LINE OF SAID LOT 17, 100 FEET TO A POINT; THENCE NORTH AT AN ANGLE OF 90 DEGREES WITH THE PREVIOUS COURSE TO THE POINT OF BEGINNING.

CERTIFICATIONS:

GARY RITKES

SURVEYORS NOTES:

- (1.) BEARINGS SHOWN HEREON ARE REFERENCED TO THE NORTH LINE OF LOT 17 (S 90°00'00" E) PER THE RECORD PLAT AND ARE ASSUMED.
- (2.) LEGAL DESCRIPTION PROVIDED BY CLIENT UNLESS OTHERWISE NOTED.
- (3.) NO UNDERGROUND IMPROVEMENTS LOCATED EXCEPT AS SHOWN.
- (4.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT THEREFOR THE ONLY SURVEY MATTERS SHOWN ARE PER THE RECORD PLAT. THERE MAY BE ADDITIONAL MATTERS OF RECORD, NOT SHOWN WHICH CAN BE FOUND IN THE PUBLIC RECORDS OF THE CORRESPONDING COUNTY OF RECORD.
- (5.) THERE MAY BE EXISTING RECORDED EASEMENTS CONTAINED IN THE PUBLIC RECORDS NOT DEPICTED HEREON THAT ONLY A THOROUGH TITLE SEARCH WOULD UNCOVER.
- (6.) SURVEY PURPOSE FOR CONVEYANCE.
- (7.) THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION PURPOSES AND/OR NEW DESIGN.
- (8.) ALL FENCE LOCATION SHOWN IS THE CENTER OF THE EXISTING FENCE.



BOUNDARY SURVEY

PROPERTY ADDRESS:

16 TROPICAL DRIVE,
OCEAN RIDGE, FL 33435

FLOOD ZONE: AE	DATE OF SURVEY:	SCALE: 1" = 20'
BASE FLOOD: 8	FIELD LOCATION OF IMPROVEMENTS 02/27/2025	CADD: NM
COMMUNITY #: 125134		CHECKED BY: FLN
MAP/PANEL #: 12099C0793G		INVOICE #: 25-62583
DATE OF FIRM: 12/20/2024		SHEET # 1 OF 1

THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

FRANCISCO L. NUNEZ, PSM., STATE OF FLORIDA
PROFESSIONAL SURVEYOR AND MAPPER LS 6382
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ALL COUNTY SURVEYORS

PROFESSIONAL SURVEYORS AND MAPPERS
LICENSE NO. 6677
OFFICE: (954) 777-4747
FAX: (954) 777-2707
5400 SOUTH UNIVERSITY DRIVE
DAVIE, FLORIDA 33328 SUITE 216

Tropical Drive

North



11



15



17

19



West



14

16

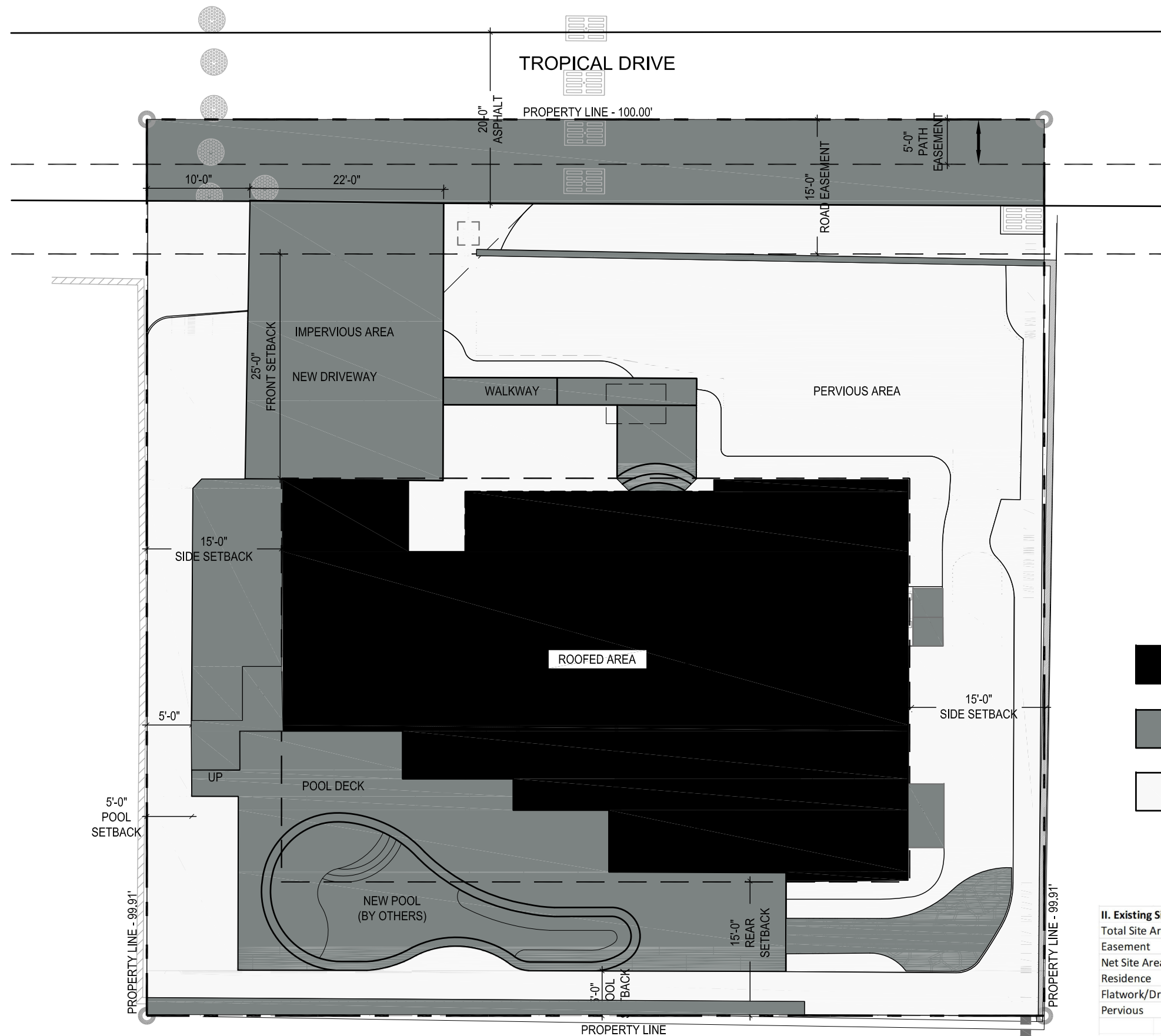
20

East



South





- ROOFED STRUCTURES (BLACK)
- HARDSCAPE AREAS (GREY)
- GREEN SPACE (WHITE)

II. Existing Site Data			% Total
Total Site Area	9,393 SF	0.216 Acres	100%
Easement	1,500 SF	0.034 Acres	16%
Net Site Area	7,893 SF	0.181 Acres	84%
Residence	2,015 SF	0.046 Acres	26%
Flatwork/Driveway	2,180 SF	0.050 Acres	28%
Pervious	3,698 SF	0.085 Acres	47%
			100%

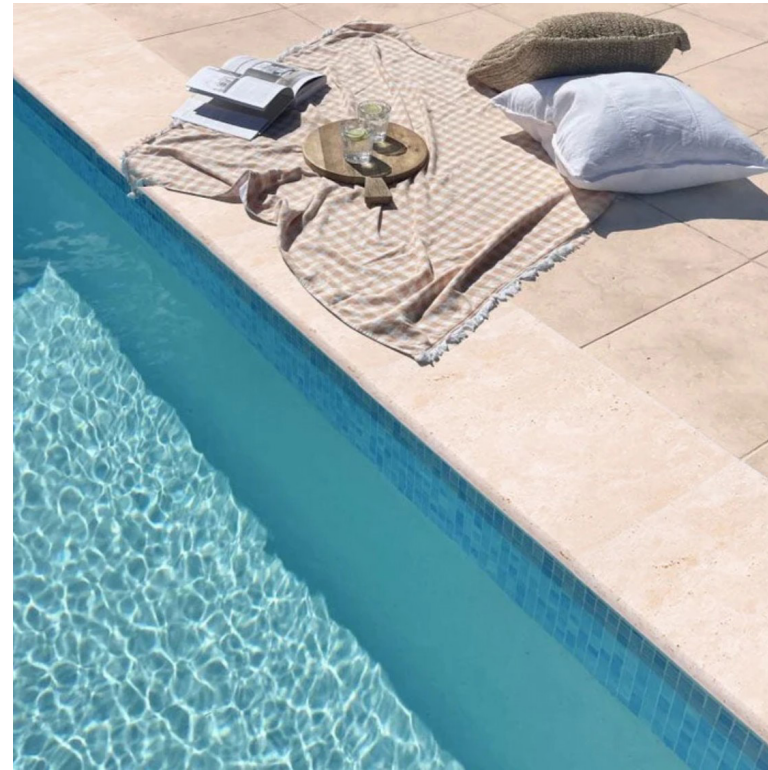
GREEN SPACE DIAGRAM

DRIVEWAY + ENTRYWAY



Concrete driveway with turf joints

POOL + PATIO



Concrete with turf joints



Oceanside 1x1" Mosaic Tile



Pebbletec - White Pearl



Paver entry walkway



12x24 Tumbled Travertine Patio and Pool Coping

ZONING LEGEND	
ZONING DISTRICT: RMM—MEDIUM DENSITY MULTI-FAMILY (46-OCEAN RIDGE)	
PROPERTY REGULATIONS: *Per Town of Ocean Ridge Code of Ordinances, Subpart B, Chapter 64, Section 64.2 (e) (7):	
<i>Single-family development regulations.</i> Except as otherwise provided in this section, each single-family dwelling and its customary private accessory uses, including garage, swimming pool and tennis court constructed in the RMM district shall be subject to the property development regulations set forth in sections 64-1(b) through 64-1(i) herein, except the minimum floor area shall be 1,600 square feet. In addition, for two-story buildings, wherever a base flood elevation (BFE) is dictated by the FEMA National Flood Insurance Program maps requiring the finished floor elevation to be above seven feet NAVD, for every foot above seven feet NAVD there shall be a corresponding decrease of one foot in the maximum building height.	
RSF — Single-family residential property development regulations. Property development regulations for the RSF district are as follows:	
Minimum lot area and dimensions.	
a. Area:	10,000 sf
b. Width (interior):	80 feet
c. Width (corner):	90 feet
d. Depth:	100 feet
Minimum yard setback requirements.	
a. Front:	25 feet
b. Side (interior):	15 feet
c. Side (corner):	20 feet
d. Rear:	15 feet
e. Waterway:	25 feet
f. Atlantic Ocean: 1979 coastal construction setback line.	
Exterior balconies, bay windows, exterior chimneys, or other architectural features which do not measure more than 25 square feet in the horizontal plane, and eaves which do not extend more than three feet from the vertical wall of the building shall not be considered as encroachments in the setback.	
Maximum building height shall be no more than 24 feet for single-story buildings and the maximum two-story building height shall be no more than 36 feet. Height shall be measured to the ridge or highest point of the structure, including all non-habitable architectural features, but excluding chimneys, as measured from the top of the lowest finished floor elevation of the first floor, as described in section 67-32. No building with more than two stories is permitted. No chimneys, including caps, shall exceed four feet in height from the ridge of the roof. For pitched roof systems, wherever a base flood elevation (BFE) is dictated by the FEMA National Flood Insurance Program (NFIP) maps requiring the finished floor elevation to be above seven feet NAVD, for every foot above seven feet NAVD there shall be a corresponding decrease of one foot in the maximum building height.	
Minimum floor area. Minimum floor area is 1,800 square feet.	
Maximum lot coverage. Maximum lot coverage shall be 35 percent of the total lot area.	
Maximum floor area. The maximum floor area of all finished floors under roof shall be 36 percent of the total lot area. For any RSF lot existing or created after the date of adoption of this ordinance in excess of 20,000 square feet, the maximum floor area of all finished floors under roof shall be 32 percent of the total lot area. For purposes of this subsection, if a lot is separated by a street or right-of-way from that portion of the lot containing the principal structure or use, the calculation of the "total lot area" shall include the first 1,000 square feet of the separated portion of the lot, provided that the maximum floor area does not exceed 36 percent of the total lot area. Prior to allowing the use of the separated portion square footage, a unity of title, approved by the town, must be executed by the property owner. The floor area occupied by bay windows, chimneys, or other non-habitable architectural features shall be included and shall be subject to this provision. The floor area occupied by roofed porches and balconies shall be exempt from this provision.	
Sec. 64-42. - Swimming pools.	
Setbacks. If the swimming pool is located at or below finished grade, it is permitted in any front yard, interior and corner side yard and rear yard, provided that in no case shall it be closer than five feet from any side, rear or front property line, provided it is not enclosed and provided that it is not closer than five feet to the primary building.	
Lot coverage. Swimming pools located at finished grade shall not be considered as lot coverage.	

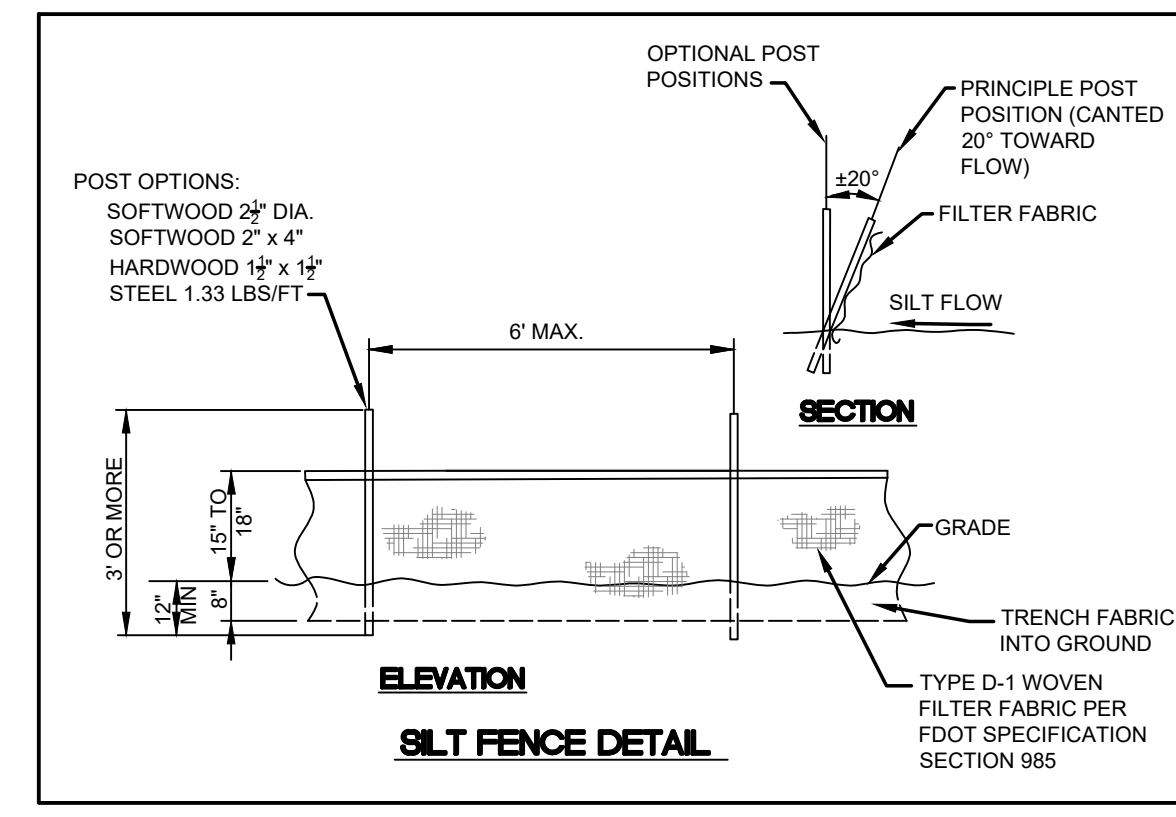
BUILDING INFORMATION			
Site Data: Lot Size: ≈ 9991sf			
AREA CALCULATIONS:			
First Floor:	≈ 1738.68	sf	
Under Air Area:	≈ 306.66	sf	
1-Car Garage (Attached):	≈ 184.44	sf	
Covered Porch:	≈ 343.56	sf	
Covered Loggia:	≈ 343.56	sf	
SECOND FLOOR:			
Total Area Under Air:	≈ 1527.73	sf	
Front Balcony:	≈ 220.00	sf	
Rear Balcony:	≈ 181.81	sf	
BUILDING AREAS:			
Total Area Under Air:	≈ 3266.41	sf	
Total Area Not Under Air:	≈ 1236.47	sf	
Total Building Area:	≈ 4505.88	sf	
Total Building Footprint: ≈ 2573.34 sf			
Lot Coverage Calculation:			
Existing Lot Size:	≈ 9991	sf	
Total Area Under Roof:	≈ 2612.84	sf	
Maximum Lot Coverage Area Allowed = 35% Existing Lot Size x 35% = Total Lot Coverage Area Allowed 9991sf x 0.35 = 3496.85 sf Lot Coverage Area Allowed			
Building Footprint / Existing Lot Size x 100 = Total Lot Coverage 2612.84sf / 9991sf x 100 = <u>26.15% provided</u>			
26.15% (provided) < 35% sf (allowed), therefore, Building Footprint is compliant with the Maximum Lot Coverage Area Allowed.			
Floor-Area Ratio Calculation: *Floor Area occupied by roofed porches and balconies shall be exempt from this provision.			
Existing Lot Size:	≈ 9991	sf	
First Floor Area:	≈ 2045.34	sf	
Second Floor Area:	≈ 1527.73	sf	
Max. Allowed FAR = 0.36 Existing Lot Size x FAR = Total Building Area Allowed (FAR) 9991sf x 0.36 = 3596.76 sf Building Area Allowed (FAR)			
Building Area Provided = 3573.07 sf			
3573.07 sf (provided) < 3596.76 sf (allowed), therefore, Building Area is compliant with the Floor-Area Ratio Calculation.			
75% Floor Area Calculation: *The second floor area shall not exceed 75 percent of the first floor.			
First Floor Area:	≈ 2573.34	sf	
Maximum Second Floor Area Allowed = 75% of the First Floor First Floor Area x 75% = Total Second Floor Area 2573.34sf x 0.75 = 1930.00 Total Second Floor Area allowed			
Second Floor Area (provided): ≈ 1929.54 sf			
1929.54 sf (provided) < 1930.00 sf (allowed), therefore, Second Floor Area is compliant with the 75% Floor Area Calculation.			

I. Summary
The subject project is a 0.23 acre residential parcel located within the Town of Ocean Ridge. The proposed project includes the construction of a single-family residence, a driveway with pavers and associated hardscaping upgrades. The purpose of these calculations is to demonstrate that the proposed work meets the requirements of the Town, including: water quality for the first inch or 2.5 inches times the % perviousness.

II. Existing Site Data			
Total Site Area	9,991 SF	0.229 Acres	100%
Easement	1,500 SF	0.034 Acres	15%
Net Site Area	8,491 SF	0.195 Acres	85%
Residence	2,015 SF	0.046 Acres	24%
Flatwork/Driveway	2,180 SF	0.050 Acres	26%
Pervious	4,296 SF	0.099 Acres	51%
			100%

III. Proposed Site Data			
Total Site Area	9,991 SF	0.229 Acres	100%
Easement	1,500 SF	0.034 Acres	15%
Net Site Area	8,491 SF	0.195 Acres	85%
Residence	2,613 SF	0.060 Acres	31%
Flatwork/Driveway	2,233 SF	0.051 Acres	26%
Pervious (Calculated from net site)	3,645 SF	0.084 Acres	43%
			100%

Proposed Soil Storage			
Pervious Area =	3,645 SF	Depth to Water Table -	3 FT
Soil Storage in Pervious Areas =	4.05 IN	(assumed depressional soils)	
Composite Soil Storage (S) =	1.5 IN		



GENERAL NOTE:

Refer to signed and sealed survey completed by a Professional Surveyor or Mapper in the State of Florida for more information. Architect assumes no responsibility for any discrepancy regarding any real property or lot boundary. Do not scale drawings. Drawings are for illustrative purposes only.

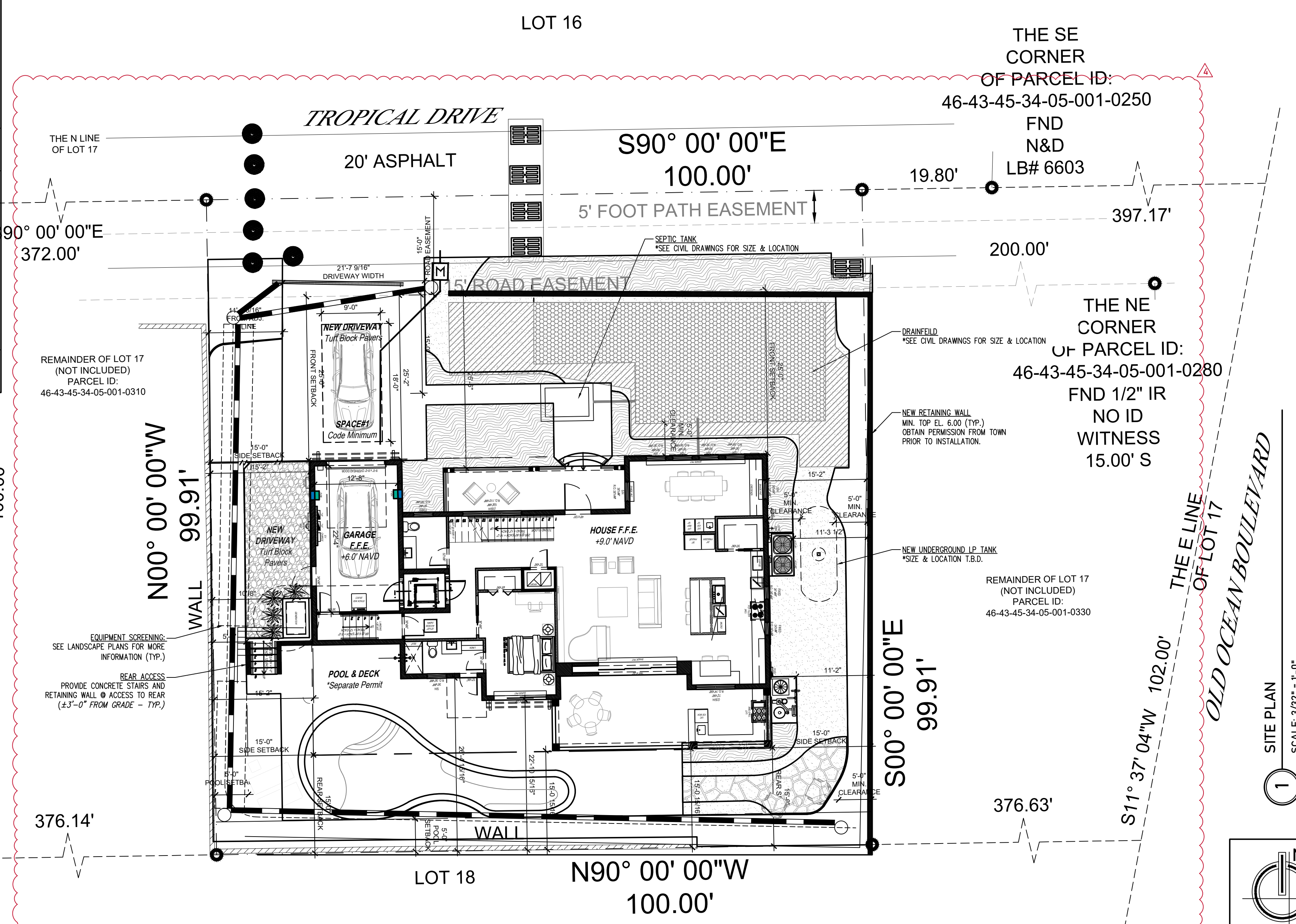
FLOOD ZONE:	AE
BASE FLOOD ELEVATION:	8.0' NAVD
COMMUNITY NUMBER:	125134
MAP/PANEL NUMBER:	12099C0793G
DATE OF FIRM:	12/20/2024

GENERAL NOTE:

The height of walls and fences located in the front yard setback shall not exceed four feet in height. The height of a wall, fence or hedge located in a side or rear yard setback shall be measured on either side of the wall, fence or hedge from the top of the wall, fence or hedge. Walls and fences located in a side or rear yard setback shall not exceed six feet in height from the lowest grade opposite such point of measurement. Where the grade elevation is different on either side of the wall or fence, and the wall or fence is within five feet of the property line, the wall or fence height may be increased, as measured from the lowest grade, by one-half of the difference in elevations, provided that such increase is constructed of lattice, open bars, or other type of nonsolid material which will permit no less than 50 percent light and 50 percent air circulation.

GENERAL EASEMENT CONSENT NOTE:

In the future, if the Town Of Ocean Ridge needs access to the easement that runs along the east side of 16 Tropical Drive, the owner will grant access. If the town needs to do any work within this easement to access anything underground, the work will be at the cost of the town to perform their own work along with making sure the property is put back to its original condition



KANTHAN DESIGN Corporation
Your Vision is Our Business!

REGISTERED PROFESSIONAL IN RESPONSIBLE CHARGE
SUPRADHEEP L. KANTHAN, AIA, NCARB
431 POTTER ROAD,
BOYNTON BEACH, FL 33435

REGISTERED ARCHITECT
FL, AR96971 NY, 044101 PA, RA407852

REGISTERED INTERIOR DESIGNER
FL, ID4685

KANTHAN DESIGN CORPORATION
431 POTTER ROAD,
BOYNTON BEACH, FL 33435

REGISTERED ARCHITECT BUSINESS
FL, AA26002242 PA, AX011596

REGISTERED INT. DESIGN BUSINESS
FL, IB26001929

www.kanthandesign.com

10/28/2025

RITKES RESIDENCE

Parcel #: 46-43-45-34-05-001-0300
16 Tropical Dr., Ocean Ridge, FL 33435
Palm Beach County

REVISIONS	
PLANNING REV	08/15/2025
OWNER REVS	09/17/2025
OWNER REVS	10/06/2025
PLANNING REV	10/28/2025

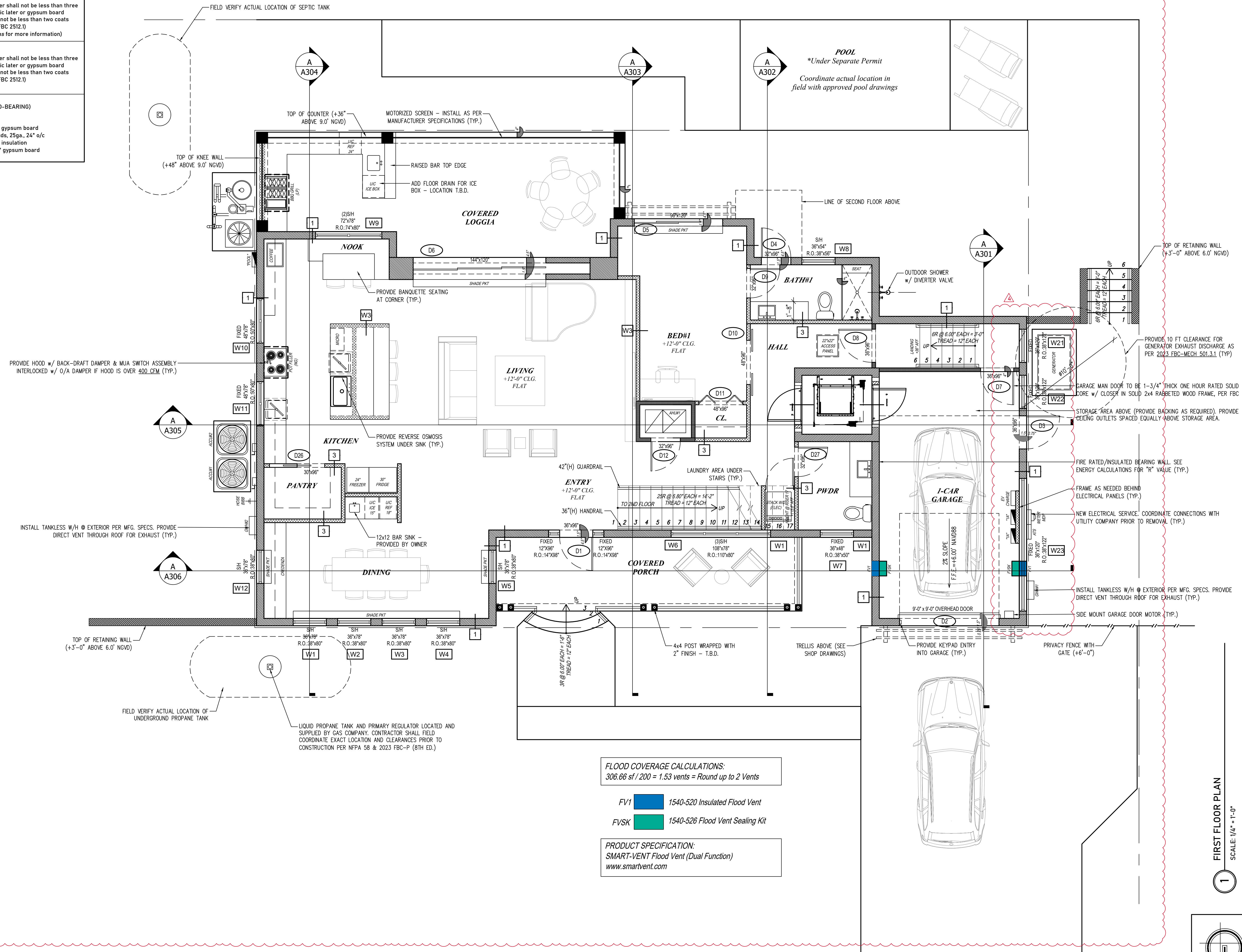
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PROJECT NUMBER	25021
SP101	
SHEET	

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WALL LEGEND

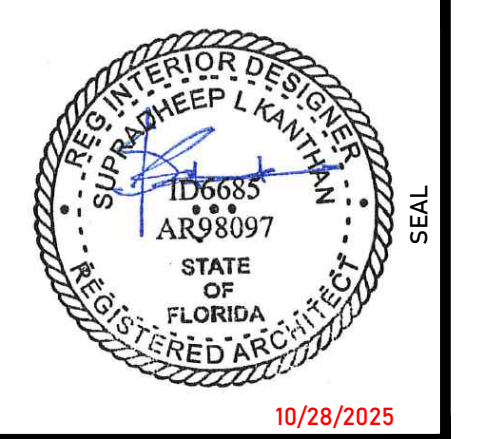
1	8" CMU WALL EXTERIOR FINISH: Plastering with cement plaster shall not be less than three coats when applied over metal lath or wire fabric later or gypsum board backing as specified in Section 2510.5 and shall not be less than two coats when applied over masonry or concrete (2023 FBC 2512.1) INTERIOR: (see attached <i>Insulation Specifications</i> for more information)
2	WOOD FRAMED WALL EXTERIOR FINISH: Plastering with cement plaster shall not be less than three coats when applied over metal lath or wire fabric later or gypsum board backing as specified in Section 2510.5 and shall not be less than two coats when applied over masonry or concrete (2023 FBC 2512.1)
3	INTERIOR PARTITION - STEEL STUD (NON-LOAD-BEARING) STC = 49; 4.875 in. System Thickness LAYER #1: Gypsum Panel: (1) Layer 5/8" Type "X" gypsum board LAYER #2: Steel Studs: (1) Layer 3-5/8" steel studs, 25ga., 24" o/c LAYER #3: Insulation: (1) Layer 3-1/2" Fiberglass insulation LAYER #4: Gypsum Panel: (1) Layer 5/8" Type "X" gypsum board



FLOOD COVERAGE CALCULATIONS:
306.66 sf / 200 = 1.53 vents = Round up to 2 Vents

- FV1 1540-520 Insulated Flood Vent
- FVSK 1540-526 Flood Vent Sealing Kit

PRODUCT SPECIFICATION:
SMART-VENT Flood Vent (Dual Function)
www.smartvent.com



DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
SUPRADHEEP L. KANTHAN, AIA, NCARB
631 POTTER ROAD,
BOYNTON BEACH, FL 33435
REGISTERED ARCHITECT
FL, AR98097 | NY, 044101 | PA, RA407852
REGISTERED INTERIOR DESIGNER
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631 POTTER ROAD,
BOYNTON BEACH, FL 33435
REGISTERED ARCHITECT BUSINESS
FL, AA2803242 | PA, AX01596
REGISTERED INT. DESIGN BUSINESS
FL, IB2660929
www.kanthandesign.com

RITKES RESIDENCE
Parcel #: 46-43-45-34-05-001-0300
16 Tropical Dr., Ocean Ridge, FL 33435
Palm Beach County

REVISIONS	
△	PLANNING REV 08/15/2025
△	OWNER REV 09/17/2025
△	OWNER REV 10/06/2025
△	PLANNING REV 10/28/2025

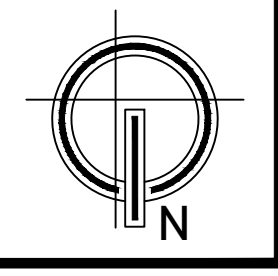
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PROJECT NUMBER **25021**

A101

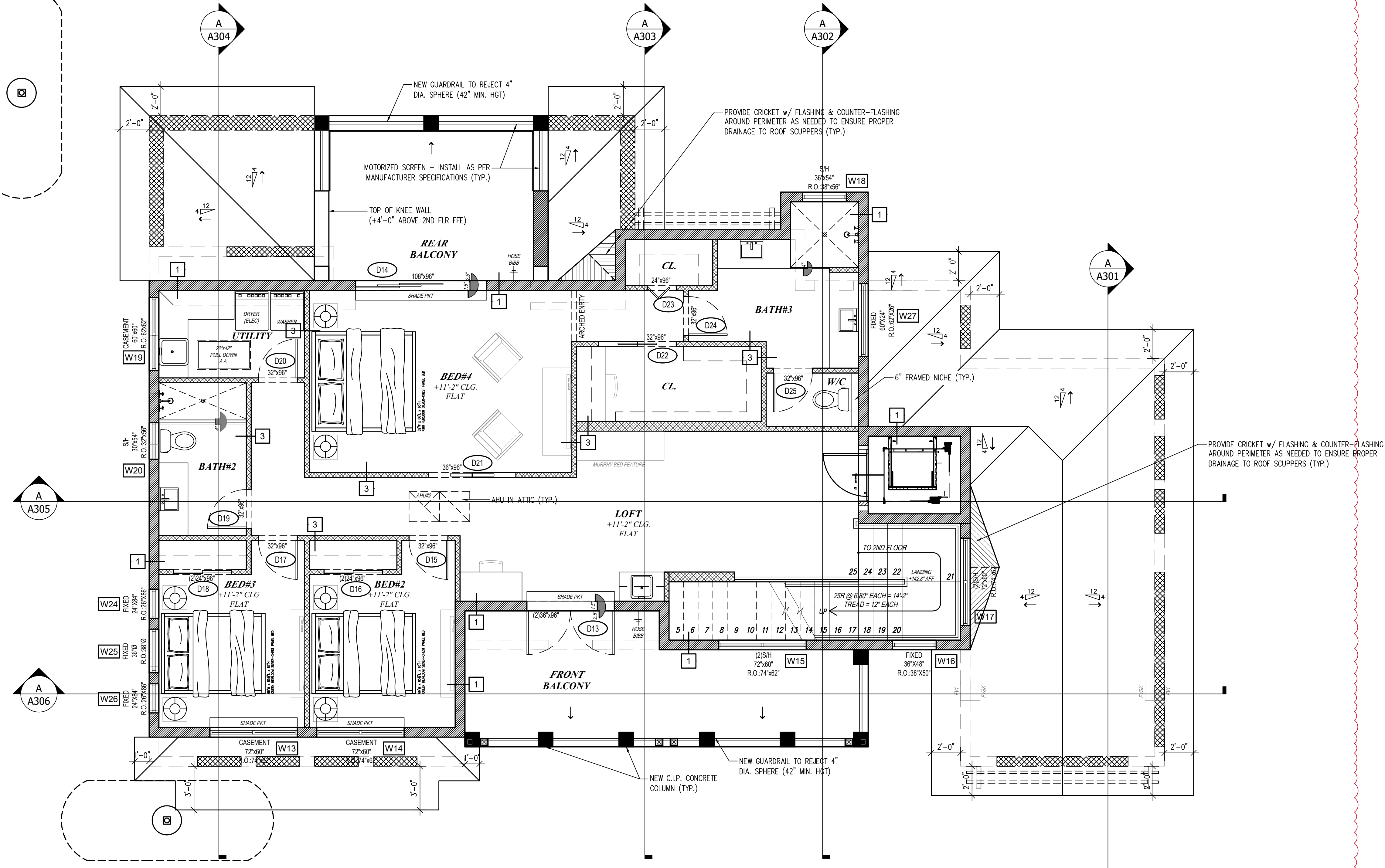
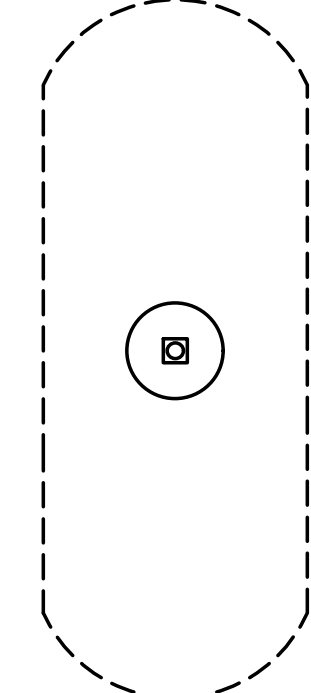
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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

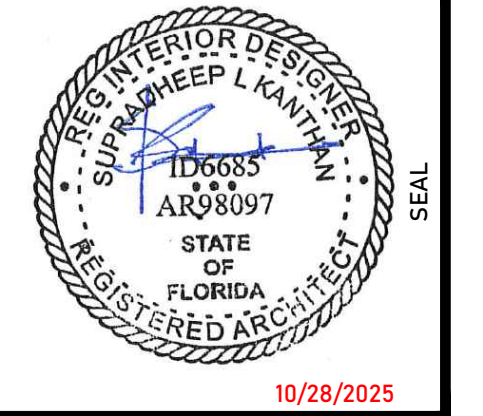
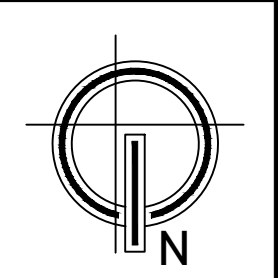


WALL LEGEND

1	8" CMU WALL EXTERIOR FINISH: Plastering with cement plaster shall not be less than three coats when applied over metal lath or wire fabric later or gypsum board backing as specified in Section 2510.5 and shall not be less than two coats when applied over masonry or concrete (2023 FBC 2512.1) INTERIOR: (see attached <i>Insulation Specifications</i> for more information)
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3	INTERIOR PARTITION - STEEL STUD (NON-LOAD-BEARING) STC = 49; 4.875" (n. System Thickness) LAYER #1: Gypsum Panel: (1) Layer 5/8" Type "X" gypsum board LAYER #2: Steel Studs: (1) Layer 3-5/8" steel studs, 25ga., 24" o/c LAYER #3: Insulation: (1) Layer 3-1/2" Fiberglass insulation LAYER #4: Gypsum Panel: (1) Layer 5/8" Type "X" gypsum board



1 SECOND FLOOR PLAN & LOWER ROOF PLAN
SCALE: 1/4" = 1'-0"



DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
SUPRADHEEP L. KANTHAN, AIA, NCARB
631 POTTER ROAD,
BOYNTON BEACH, FL 33435
REGISTERED ARCHITECT
FL, AR98097 | NY, 04101 | PA, RA407852
REGISTERED INTERIOR DESIGNER
FL, ID6485
KANTHAN DESIGN CORPORATION
631 POTTER ROAD,
BOYNTON BEACH, FL 33435
REGISTERED ARCHITECT BUSINESS
FL, AA2600242 | PA, AX01596
REGISTERED INT. DESIGN BUSINESS
FL, ID2600929
www.kanthandesign.com

RITIKES RESIDENCE
Parcel#: 46-43-45-34-05-001-0300
16 Tropical Dr., Ocean Ridge, FL 33435
Palm Beach County

REVISIONS	
PLANNING REV	08/15/2025
OWNER REVS	09/17/2025
OWNER REVS	10/06/2025
PLANNING REV	10/28/2025

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PROJECT NUMBER **25021**

A102

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TOTAL WALL COVERAGE AREA = 1695.43 sf
 Window and Door Coverage = 379.26 sf
 Wall Coverage Percentage = 22.37%



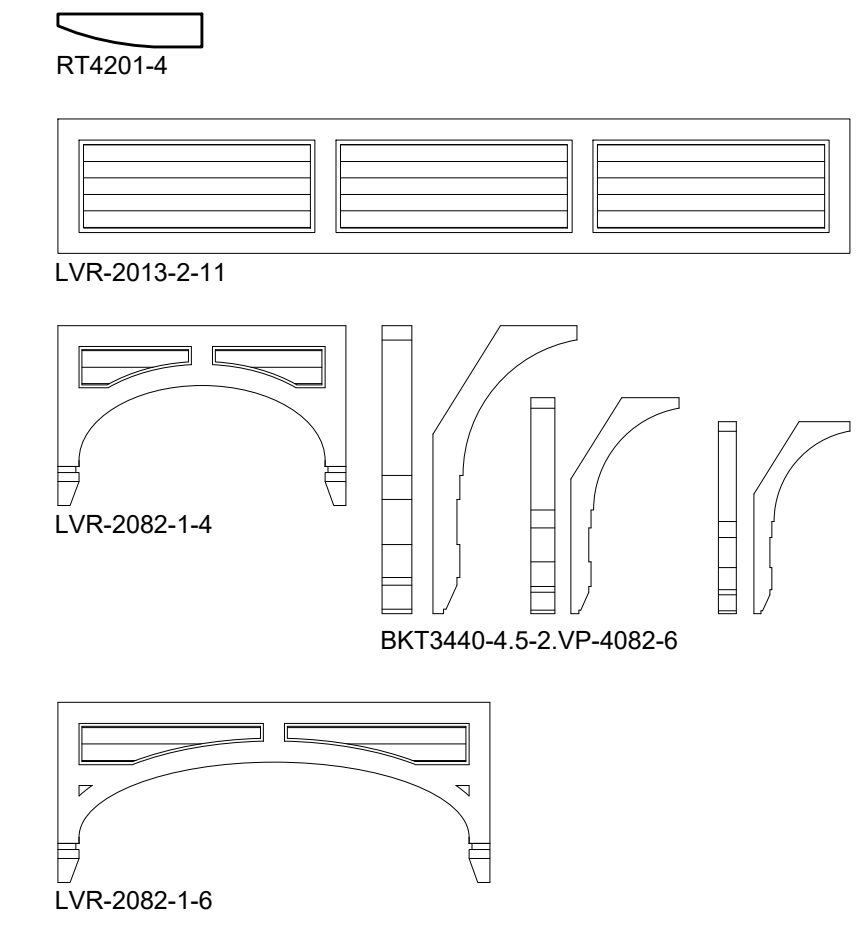
PROPOSED FRONT ELEVATION | NORTH
 SCALE: 1/4" = 1'-0"

TOTAL FACADE AREA = 928.55 sf
 Window and Door Coverage = 146.44 sf
 Wall Coverage Percentage = 15.78%

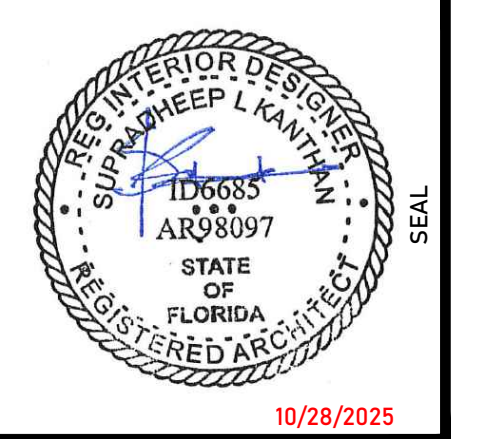


PROPOSED SIDE ELEVATION | WEST
 SCALE: 1/4" = 1'-0"

PRODUCT SPECIFICATION:
 HB ELEMENTS Decorative Millwork and Molding
 1891 NW 33rd Ct, Pompano Beach, FL 33064
 www.hbelementsinc.com



STANDARD BRACKETS HAVE A 1/2" WALL THICKNESS
 ALL BRACKETS COME WITH PVC INSTALLATION CLEAT
 HB BRACKETS CAN'T BE PAINTED DARKER COLORS (LVR OF 54 OR LOWER) UNLESS USING SPECIFIED OR APPROVED LIGHT REFLECTIVE PAINT.
 HB BRACKET DESIGNS ARE LIMITED TO RADIIUSES GREATER THAN 2"



DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
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 631 POTTER ROAD,
 BOYNTON BEACH, FL 33435
 REGISTERED ARCHITECT
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 REGISTERED INTERIOR DESIGNER
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 KANTHAN DESIGN CORPORATION
 631 POTTER ROAD,
 BOYNTON BEACH, FL 33435
 REGISTERED ARCHITECT BUSINESS
 FL, AA2603242 | PA, AX01596
 REGISTERED INT. DESIGN BUSINESS
 FL, IB2601929
 www.kanthandesign.com

RITKES RESIDENCE
 Parcel #: 46-43-45-34-05-001-0300
 16 Tropical Dr., Ocean Ridge, FL 33435
 Palm Beach County

REVISIONS	
△ PLANNING REV	08/15/2025
△ OWNER REVS	09/17/2025
△ OWNER REVS	10/06/2025
△ PLANNING REV	10/28/2025

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PROJECT NUMBER **25021**

A201



DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
SUPRADHEEP L. KANTHAN, AIA, NCARB
631 POTTER ROAD,
BOYNTON BEACH, FL 33435

REGISTERED ARCHITECT
FL, AR98097 | NY, 044101 | PA, RA407852

REGISTERED INTERIOR DESIGNER
FL, ID6485

KANTHAN DESIGN CORPORATION
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BOYNTON BEACH, FL 33435

REGISTERED ARCHITECT BUSINESS
FL, AA2603242 | PA, AX01596

REGISTERED INT. DESIGN BUSINESS
FL, IB2609729

www.kanthandesign.com

RITKES RESIDENCE
Parcel #: 46-43-45-34-05-001-0300
16 Tropical Dr., Ocean Ridge, FL 33435
Palm Beach County

REVISIONS	
△	PLANNING REV 08/15/2025
△	OWNER REVS 09/17/2025
△	OWNER REVS 10/06/2025
△	PLANNING REV 10/28/2025

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PROJECT NUMBER **25021**

A202

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TOTAL WALL COVERAGE AREA = 1621.84 sf
Window and Door Coverage = 359.33 sf
Wall Coverage Percentage = 22.16%

MAXIMUM HEIGHT ±34'-0" (+43.0' NAVD88)

TOP OF BEAM ±27'-4" (+34.4' NAVD88)

TOP OF BEAM ±25'-4" (+34.4' NAVD88)

HEAD HEIGHT (2ND FLR) ±22'-2"

TOP OF BEAM 2ND FLOOR F.F.E. ±14'-2" (+20.2' NAVD88)

CEILING HEIGHT (1ST FLR) ±12'-2"

HEAD HEIGHT (1ST FLR) ±10'-0"

HEAD HEIGHT (1ST FLR) ±8'-0"

TOP OF SLAB 1ST FLOOR F.F.E. ±0'-0" (+9.0' NAVD88)

TOP OF SLAB GARAGE FLOOR F.F.E. -3'-0" (+6.0' NAVD88)

MAXIMUM BUILDING HEIGHT: 2'-0" INCREASE ABOVE 7.0' FFE = 2'-0" DECREASE FROM 36'-0"

STANDING SEAM METAL ROOFING SYSTEM (KYNAR FINISHED)
GC TO INSTALL AS SPECIFIED BY ROOF MANUFACTURER'S PRODUCT CODE APPROVAL. INSTALL ROOFING OVER 5/8" MIN. EXTERIOR GRADE CDX SHEATHING NAILED PER FBC. SEE APPROVED SHOP DRAWINGS FOR GOVERNING LAYOUT (TYP.)

EXTERIOR FINISH:
2-3 COATS STUCCO OVER CMU (SANDFLOAT FINISH OVER VINYL BEADING - "SIDING LOOK")

EXTERIOR FINISH:
2-3 COATS STUCCO OVER CMU (SANDFLOAT FINISH OVER VINYL BEADING - "SIDING LOOK")

PVC VINYL FENCING

4x4 POST WRAPPED WITH 2" FINISH - T.B.D.

PROPOSED REAR ELEVATION | SOUTH
SCALE: 1/4" = 1'-0"



TOTAL WALL COVERAGE AREA = 867.99 sf
Window and Door Coverage = 132.99 sf
Wall Coverage Percentage = 15.32%

MAXIMUM HEIGHT ±34'-0" (+43.0' NAVD88)

TOP OF BEAM ±27'-4" (+34.4' NAVD88)

TOP OF BEAM ±25'-4" (+34.4' NAVD88)

HEAD HEIGHT (2ND FLR) ±22'-2"

TOP OF BEAM 2ND FLOOR F.F.E. ±14'-2" (+20.2' NAVD88)

CEILING HEIGHT (1ST FLR) ±12'-2"

HEAD HEIGHT (1ST FLR) ±10'-0"

HEAD HEIGHT (1ST FLR) ±8'-0"

TOP OF SLAB 1ST FLOOR F.F.E. ±0'-0" (+9.0' NAVD88)

TOP OF SLAB GARAGE FLOOR F.F.E. -3'-0" (+6.0' NAVD88)

MAXIMUM BUILDING HEIGHT: 2'-0" INCREASE ABOVE 7.0' FFE = 2'-0" DECREASE FROM 36'-0"

STANDING SEAM METAL ROOFING SYSTEM (KYNAR FINISHED)
GC TO INSTALL AS SPECIFIED BY ROOF MANUFACTURER'S PRODUCT CODE APPROVAL. INSTALL ROOFING OVER 5/8" MIN. EXTERIOR GRADE CDX SHEATHING NAILED PER FBC. SEE APPROVED SHOP DRAWINGS FOR GOVERNING LAYOUT (TYP.)

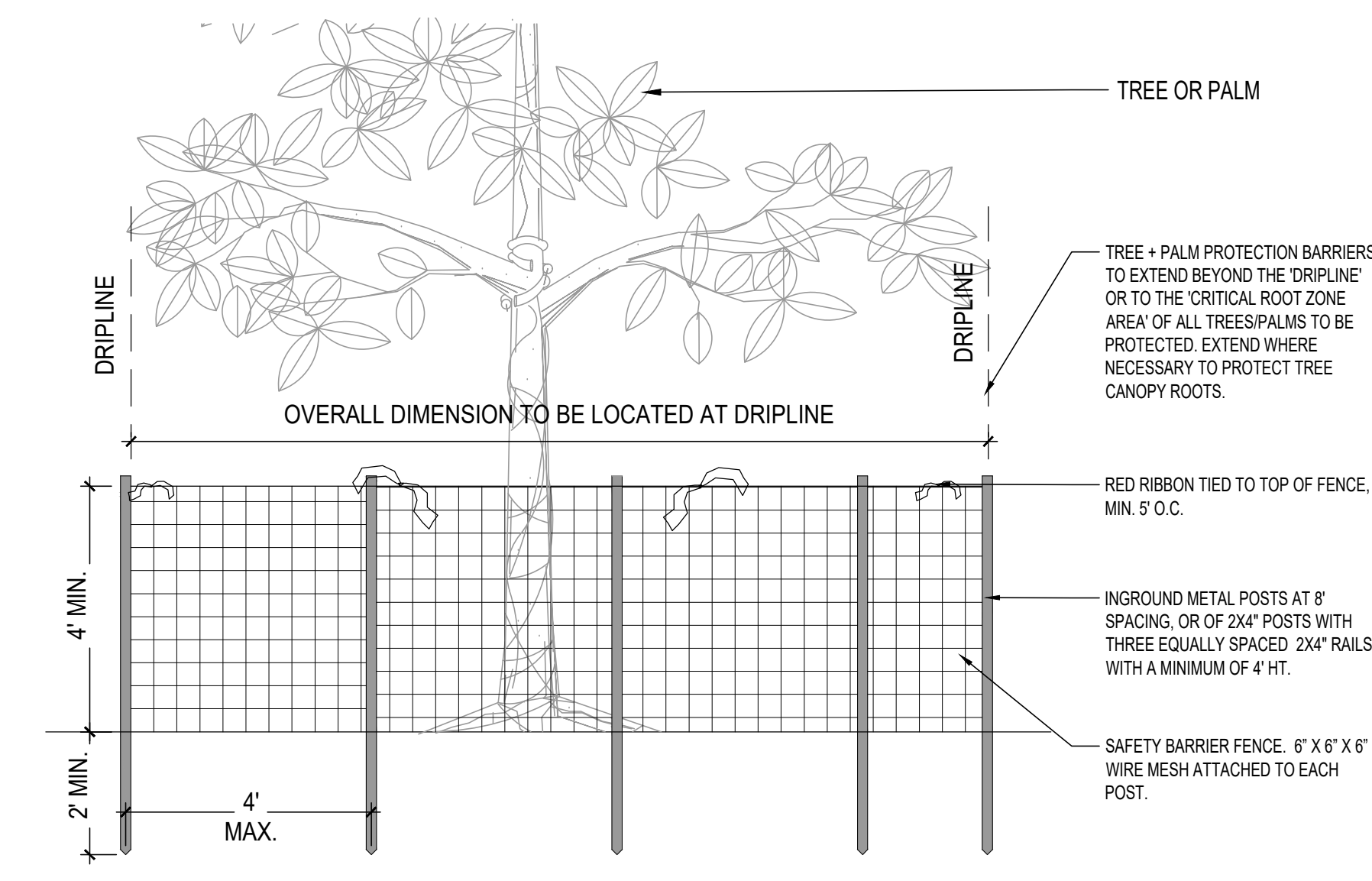
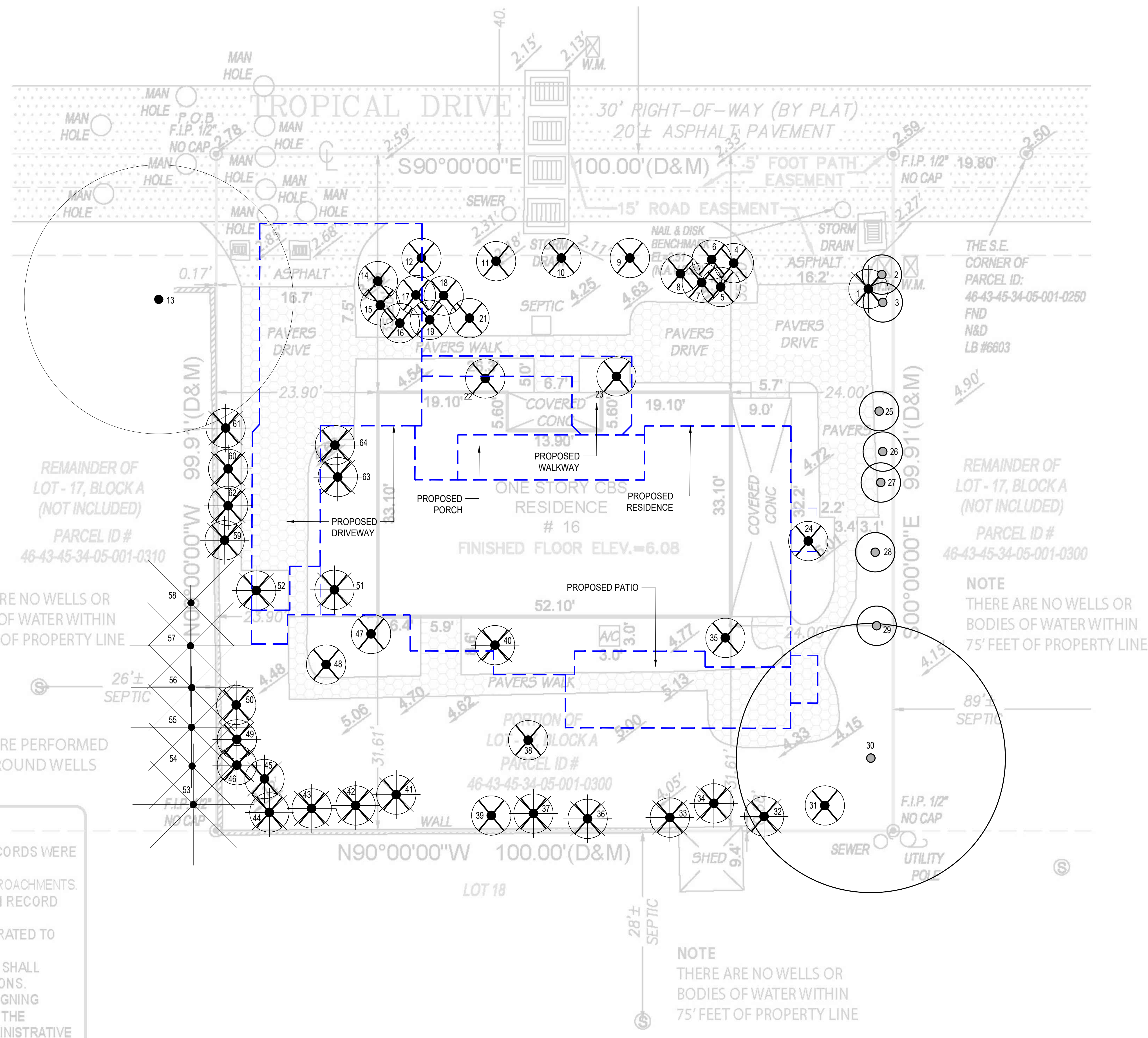
EXTERIOR FINISH:
2-3 COATS STUCCO OVER CMU (SANDFLOAT FINISH OVER VINYL BEADING - "SIDING LOOK")

EXTERIOR FINISH:
2-3 COATS STUCCO OVER CMU (SMOOTH FINISH)

PROPOSED SIDE ELEVATION | EAST
SCALE: 1/4" = 1'-0"



No.	Date	Description



NOTE:
BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES.
SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN.

TREE PROTECTION DETAIL
SCALE: N/A

TREE PROTECTION NOTES

1. TREE SURVEY BASED ON ALL AVAILABLE INFORMATION. CONTRACTOR TO REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.
2. TREES SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITY THROUGH THE USE OF PROTECTIVE BARRIERS (SEE PROVIDED DETAIL). TREES THAT ARE TO REMAIN SHALL BE CLEARLY IDENTIFIED WITH TAGS. TREE PROTECTION BARRIERS SHALL BE MAINTAINED AROUND THE TREES IN ACCORDANCE WITH THE TREE PROTECTION PLAN APPROVED BY THE DEPARTMENT. TREES TO REMAIN DURING CONSTRUCTION SHALL BE FREE OF DEBRIS AND ROAD ROCK IN THE CRITICAL ROOT ZONE, WITHIN THE CANOPY DRIP-LINE, TO PREVENT COMPACTION.
3. PRIOR TO AND DURING DEMOLITION, DEVELOPMENT, OR CONSTRUCTION, PROTECTIVE BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF EACH TREE'S TPZ AND SHALL REMAIN IN PLACE IN ORDER TO PREVENT THE DESTRUCTION OR DAMAGING OF ROOTS, STEMS OR CROWNS OF SUCH TREES. THE BARRIERS SHALL REMAIN IN PLACE AND INTACT UNTIL APPROVED LANDSCAPE OPERATIONS BEGIN.
4. BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE CONSTRUCTION NEEDS, PROVIDED THAT THE MANNER AND PURPOSE FOR SUCH TEMPORARY REMOVAL WILL NOT HARM THE TREES.
5. THE TREES SHALL BE PROPERLY IRRIGATED THROUGHOUT THE BUILDING PROCESS.
6. NO PRUNING OF TREES SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
7. CONTRACTOR SHALL VERIFY ALL EXISTING ABOVE AND UNDERGROUND UTILITIES 48 HOURS PRIOR TO ANY ON-SITE EXCAVATION.
8. CONTRACTOR TO COORDINATE DEMOLITION PLAN WITH ARCHITECTS
9. ANY PLANT MATERIAL SCARRED OR DESTROYED THAT IS DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES AND QUALITY.

PLANT SYMBOLS

	TREES	PALMS
EXISTING TO REMAIN		
EXISTING TO BE REMOVED		
OFF-SITE		
PROTECTION FENCE		
PROPOSED IMPROVEMENTS		

NOTE
THERE ARE NO WELLS OR BODIES OF WATER WITHIN 75' FEET OF PROPERTY LINE

NOTE
THERE ARE NO WELLS OR BODIES OF WATER WITHIN 75' FEET OF PROPERTY LINE

NOTE
THERE ARE NO WELLS OR BODIES OF WATER WITHIN 75' FEET OF PROPERTY LINE

RECORDS WERE
RECORDED IN
PLAT RECORD
AND REFERENCED TO
THE INSTRUMENTATIVE



TREE DISPOSITION

TREE NUMBER	BOTANICAL NAME	COMMON NAME	DBH (IN)	HEIGHT (FT)	CANOPY (FT)	CRZ (FT)	TPZ (FT)	DISPOSITION	CONDITION	REMARKS
1	Thrinax radiata	FL THATCH PALM	6	8	8	8	4	REMOVE	FAIR 80%	NATIVE
2	Bambusa multiplex	BAMBOO	11	20	10	10	5	REMAIN	FAIR 80%	NON-NATIVE
3	Bambusa multiplex	BAMBOO	16	20	10	10	5	REMAIN	FAIR 80%	NON-NATIVE
4	Clerodendrum quadriculare	STARBURST TREE	4	10	10	10	5	REMOVE	MODERATE 60%	NON-NATIVE
5	Clerodendrum quadriculare	STARBURST TREE	4	10	10	10	5	REMOVE	MODERATE 60%	NON-NATIVE
6	Clerodendrum quadriculare	STARBURST TREE	4	11	10	10	5	REMOVE	MODERATE 60%	NON-NATIVE
7	Clerodendrum quadriculare	STARBURST TREE	4	12	10	10	5	REMOVE	MODERATE 60%	NON-NATIVE
8	Clerodendrum quadriculare	STARBURST TREE	0	11	10	10	5	REMOVE	MODERATE 60%	NON-NATIVE
9	Hamelia patens	FIREBUSH	8	7	18	12	6	REMOVE	FAIR 80%	NATIVE
10	Hamelia patens	FIREBUSH	9	6	16	12	6	REMOVE	FAIR 80%	NATIVE
11	Hamelia patens	FIREBUSH	9	7	16	12	6	REMOVE	FAIR 80%	NATIVE
12	Hamelia patens	FIREBUSH	12	8	18	12	6	REMOVE	FAIR 80%	NATIVE
13	Bucida spinosa	SPINY BLACK OLIVE	14	18	42	N/A	N/A	REMAIN	FAIR 80%	ADJACENT PROPERTY, OVERLAPPING CANOPY
14	Schinus terebinthifolia	BRAZILIAN PEPPER	10	14	16	N/A	N/A	REMOVE	POOR 50%	CAT. 1 INVASIVE
15	Clerodendrum quadriculare	STARBURST TREE	4	11	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
16	Clerodendrum quadriculare	STARBURST TREE	4	11	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
17	Clerodendrum quadriculare	STARBURST TREE	4	11	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
18	Clerodendrum quadriculare	STARBURST TREE	4	11	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
19	Clerodendrum quadriculare	STARBURST TREE	4	11	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
20	Clerodendrum quadriculare	STARBURST TREE	4	10	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
21	Clerodendrum quadriculare	STARBURST TREE	5	10	12	10	5	REMOVE	MODERATE 60%	NON-NATIVE
22	Clusia rosea	PITCH APPLE TREE	9	10	14	12	6	REMOVE	FAIR 80%	NATIVE
23	Clusia rosea	PITCH APPLE TREE	11	11	16	12	6	REMOVE	FAIR 80%	NATIVE
24	Murraya paniculata	ORANGE JASMINE	5	9	9	N/A	N/A	REMOVE	POOR 50%	CAT. 1 INVASIVE
25	Bambusa multiplex	BAMBOO	18	20	20	10	5	REMAIN	FAIR 80%	NON-NATIVE
26	Bambusa multiplex	BAMBOO	17	20	20	10	5	REMAIN	FAIR 80%	NON-NATIVE
27	Bambusa multiplex	BAMBOO	18	20	20	10	5	REMAIN	FAIR 80%	NON-NATIVE
28	Bursera simaruba	GUMBO LIMBO	16	20	20	20	10	REMAIN	POOR 50%	NATIVE, POOR BRANCH ARCHITECTURE
29	Bambusa multiplex	BAMBOO	28	24	24	20	5	REMAIN	FAIR 80%	NON-NATIVE
30	Coccoloba uvifera	SEAGRAPE TREE	52	32	42	40	20	REMAIN	POOR 50%	NATIVE, SPECIMEN, DECAY IN BARK
31	Ficus aurea	STRANGLER FIG	6	14	12	10	5	REMOVE	MODERATE 60%	NATIVE
32	Dyopsis lutescens	ARECA PALM	12	20	16	8	4	REMOVE	FAIR 80%	NON-NATIVE CLUSTER
33	Dyopsis lutescens	ARECA PALM	18	20	16	8	4	REMOVE	FAIR 80%	NON-NATIVE CLUSTER
34	Sabal palmetto	CABBAGE PALM	14	28	14	8	4	REMOVE	FAIR 80%	NATIVE
35	Capparis cynophallophora	JAMAICAN CAPER	7	8	8	10	5	REMOVE	MODERATE 70%	NATIVE
36	Dyopsis lutescens	ARECA PALM	18	20	16	8	4	REMOVE	MODERATE 70%	NON-NATIVE CLUSTER
37	Dyopsis lutescens	ARECA PALM	20	20	16	8	4	REMOVE	MODERATE 70%	NON-NATIVE CLUSTER
38	Hamelia patens	FIREBUSH	10	8	10	10	5	REMOVE	FAIR 80%	NATIVE
39	Bursera simaruba	GUMBO LIMBO	7	14	16	10	5	REMOVE	POOR 50%	NATIVE, ASYMMETRICAL CANOPY
40	Dyopsis lutescens	ARECA PALM	28	20	18	8	4	REMOVE	MODERATE 60%	NON-NATIVE CLUSTER
41	Dyopsis lutescens	ARECA PALM	18	20	18	8	4	REMOVE	MODERATE 60%	NON-NATIVE CLUSTER
42	Dyopsis lutescens	ARECA PALM	20	20	18	8	4	REMOVE	MODERATE 60%	NON-NATIVE CLUSTER
43	Dyopsis lutescens	ARECA PALM	20	20	18	8	4	REMOVE	MODERATE 60%	NON-NATIVE CLUSTER
44	Ptychosperma elegans	SOLITAIRE PALM	4	18	12	6	3	REMOVE	FAIR 80%	NON-NATIVE SINGLE PALM
45	Sabal palmetto	CABBAGE PALM	14	22	14	8	4	REMOVE	FAIR 80%	NATIVE SINGLE PALM
46	Sabal palmetto	CABBAGE PALM	13	22	14	8	4	REMOVE	FAIR 80%	NATIVE SINGLE PALM
47	Eugenia uniflora	SURINAM CHERRY	7	8	10	N/A	N/A	REMOVE	POOR 50%	CAT. 1 INVASIVE
48	Schinus terebinthifolia	BRAZILIAN PEPPER	9	4	5	N/A	N/A	REMOVE	POOR 30%	CAT. 1 INVASIVE
49	Sabal palmetto	CABBAGE PALM	14	20	14	8	4	REMOVE	MODERATE 70%	NATIVE SINGLE PALM
50	Sabal palmetto	CABBAGE PALM	14	22	14	8	4	REMOVE	MODERATE 70%	NATIVE SINGLE PALM
51	Dyopsis lutescens	ARECA PALM	18	20	18	8	4	REMOVE	MODERATE 70%	NON-NATIVE CLUSTER
52	Dyopsis lutescens	ARECA PALM	16	20	18	8	4	REMOVE	MODERATE 70%	NON-NATIVE CLUSTER
53	Dyopsis lutescens	ARECA PALM	24	22	18	N/A	N/A	REMAIN	MODERATE 60%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
54	Dyopsis lutescens	ARECA PALM	24	22	18	N/A	N/A	REMAIN	MODERATE 60%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
55	Dyopsis lutescens	ARECA PALM	24	22	18	N/A	N/A	REMAIN	MODERATE 60%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
56	Dyopsis lutescens	ARECA PALM	24	22	18	N/A	N/A	REMAIN	MODERATE 60%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
57	Dyopsis lutescens	ARECA PALM	24	22	18	N/A	N/A	REMAIN	MODERATE 60%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
58	Dyopsis lutescens	ARECA PALM	24	22	18	N/A	N/A	REMAIN	MODERATE 60%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
59	Dyopsis lutescens	ARECA PALM	24	22	18	8	4	REMOVE	FAIR 80%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
60	Dyopsis lutescens	ARECA PALM	24	20	18	8	4	REMOVE	FAIR 80%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
61	Dyopsis lutescens	ARECA PALM	20	20	18	8	4	REMOVE	FAIR 80%	ADJACENT PROPERTY, OVERLAPPING FOLIAGE
62	Sabal palmetto	CABBAGE PALM	12	22	14	8	4	REMOVE	FAIR 80%	NATIVE SINGLE PALM
63	Sabal palmetto	CABBAGE PALM	14	24	14	8	4	REMOVE	FAIR 80%	NATIVE SINGLE PALM
64	Sabal palmetto	CABBAGE PALM	12	24	14	8	4	REMOVE	FAIR 80%	NATIVE SINGLE PALM



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PROJECT #: 2558
 PHASE: PERMIT DRAWINGS

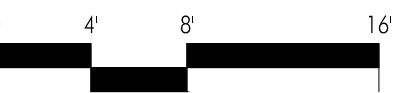
PROJECT: **RITKES RESIDENCE**
 ADDRESS: **16 TROPICAL DRIVE, OCEAN RIDGE, FL 33435**

Landscape Architect: Christopher Cobezas

Registration No.: RA 6667347

REVISIONS:

No.	Date	Description



Scale: 1/8"=1'-0"
 Drawn By: FC
 Checked By: CC
 Date: 10/16/2025

TREE DISPOSITION

L-1.1



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SPECS	NATIVE	DROUGHT TOLERANT	NOTES
BAR	1	Bulnesia arborea	VERAWOOD	12-14' HT, 6-7' SPR, 6' CT min		√	STANDARD
CES	1	Conocarpus erectus 'Sericeus'	SILVER BUTTONWOOD	10' HT, 4' CT, 2" CAL	√	√	STANDARD
CRO	1	Clusia rosea	PITCH APPLE TREE	12-14' HT, 6-7' SPR, 6' CT min	√	√	STANDARD
CUV	1	Coccoloba uvifera	SEAGRAPE	12' HT, 6' SPR, 2" CAL	√	√	MULTI-TRUNK
GSP	4	Garcinia spicata	MANGOSTEEN	10' HT, 5' SPR, 4' CT		√	STANDARD
PRA	2	Pimenta racemosa	BAY RUM	10' HT, 5' SPR, 4' CT			STANDARD

PALMS	QTY	BOTANICAL NAME	COMMON NAME	SPECS	NATIVE	DROUGHT TOLERANT	NOTES
AWR	1	Acroelorrhaphe wrightii	PAUROTIS PALM	14'-16' HT	√	√	MULTI-TRUNK
CNU	2	Cocos nucifera	COCONUT PALM	12' GW		√	SINGLE TRUNK
PDA	1	Phoenix dactylifera 'Medjool'	MEDJOO	10' CT			STANDARD
PSA	1	Pseudophoenix sargentii	BUCCANEER PALM	6-8' HT	√	√	SINGLE TRUNK
SPA	4	Sabal Palmetto	CABBAGE PALM	16-20' HT	√	√	
TMO	2	Thrinax morrisii	KEY THATCH PALM	4'-6' HT	√	√	SINGLE TRUNK
TRA	4	Thrinax radiata	FLORIDA THATCH PALM	4'-6' HT	√	√	SINGLE TRUNK
VAR2	2	Veitchia arcinea	MONTGOMERY PALM	12'-14' CT MIN.		√	DOUBLE TRUNK
VME	4	Veitchia merillii	CHRISTMAS PALM	12'-14' CT MIN.		√	SINGLE TRUNK

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SPECS	NATIVE	DROUGHT TOLERANT	NOTES
AP	2	Alocasia portadora 'Portora'	ELEPHANT EAR	15 GALLON			AS SHOWN
CH	125	Chrysobalanus icaco 'Horizontal'	HORIZONTAL COCOPLUM	7 GALLON, 3' HT, FULL TO BASE	√	√	24" O.C.
MC	65	Muhlenbergia capillaris	PINK MUHLY GRASS	24" HT	√	√	24" O.C.
NE	200	Nephrolepis exaltata	BOSTON FERN	3 GALLON, FULL	√	√	24" O.C.
PB	120	Philodendron 'Burle Marx'	BURLE MARX	3 GALLON			24" O.C.
PM	90	Podocarpus macrophylla	JAPANESE YEW	7 GALLON, FULL CONT.		√	24" O.C.
PN	35	Psychotria nervosa	WILD COFFEE	3 GALLON	√	√	24" O.C.
SJ	30	Stachytarpheta jamaicensis	BLUE PORTERWEED	3 GALLON	√	√	24" O.C.

GROUND COVER	QTY	SCIENTIFIC NAME	COMMON NAME	SPECS	NATIVE	DROUGHT TOLERANT	NOTES
EL	75	Ernodea littoralis	GOLDEN CREEPER	1 GALLON, FULL	√	√	12" O.C.
LM	285	Liriope muscari 'Big Blue'	LIRIOPE 'BIG BLUE'	1 GALLON, FULL			12" O.C.
LA	25	Lantana montevidensis	PURPLE TRAILING LANTANA	1 GALLON, FULL			12" O.C.

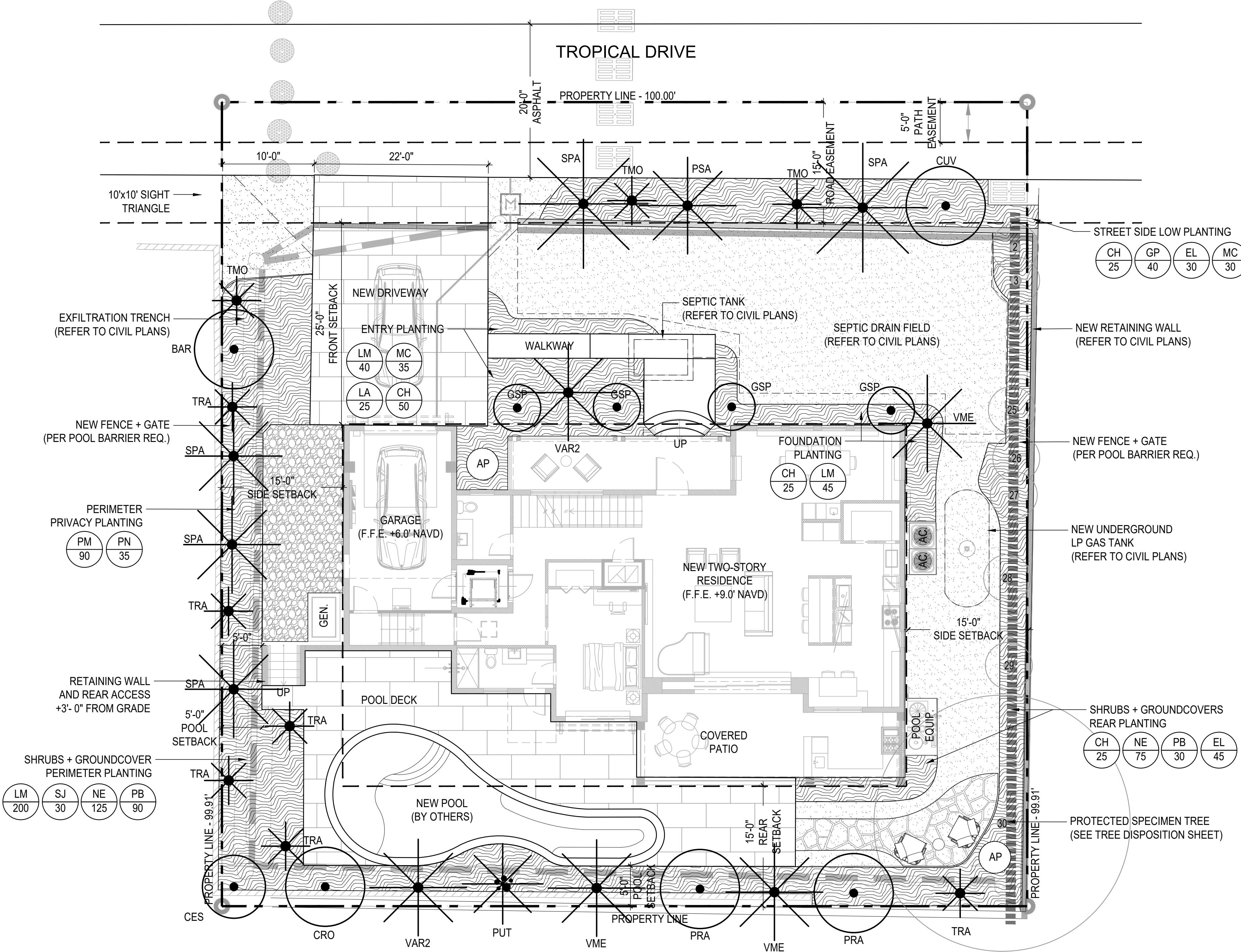
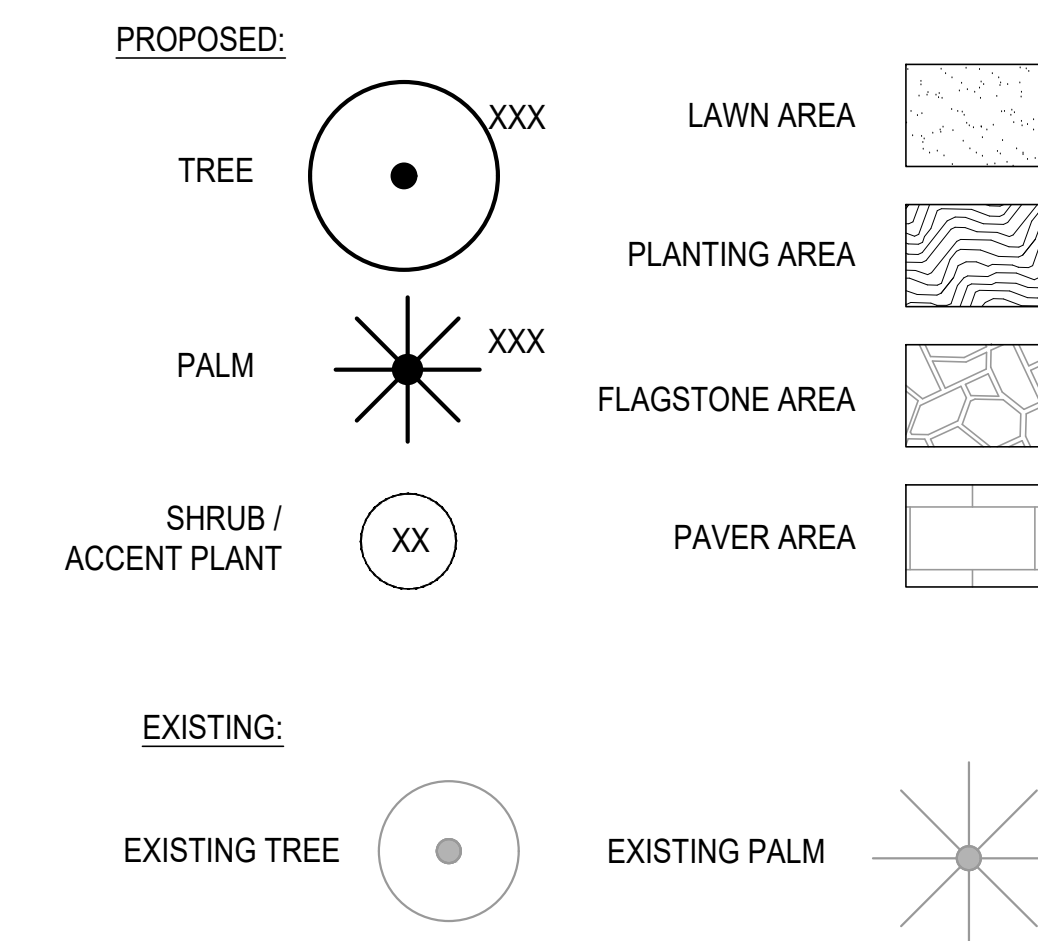
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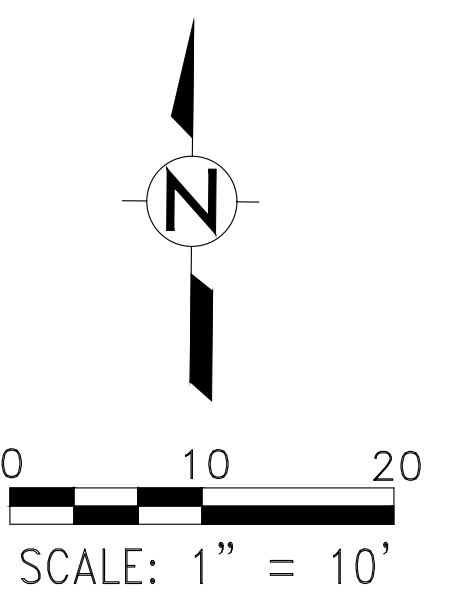
Zoning District	RMM - Medium Density Multiple Family Residential
Gross Site Area	9,991 SF
Pervious Area	4,939 SF
Building Coverage (including driveway, pool, deck & walkways)	4,022 SF
Front Public Roadway Easement	1,030 SF

SITE REQUIREMENTS

NET LOT AREA TREES & SHRUBS REQUIREMENTS	Required	Provided
1 Tree / 2,500 sf of Net Lot Area	4	7 (1 EXISTING + 6 PROPOSED)
Street Tree	1	1
Total Trees	4	7
6 Shrubs / 2,500 sf of lot area	24	667
TREE TYPES	Required/Allowed	Provided
Shade Trees	20% min.	44% (of required trees)
Palms	20% max.	0% (of required trees)
Shade Tree % of Street Trees	50% min.	N/A (Overhead Powerlines)
NATIVE PLANTING	Required	Provided
Percent of Native Trees (50%)	2	4
Percent of Native Shrubs (50%)	12	455

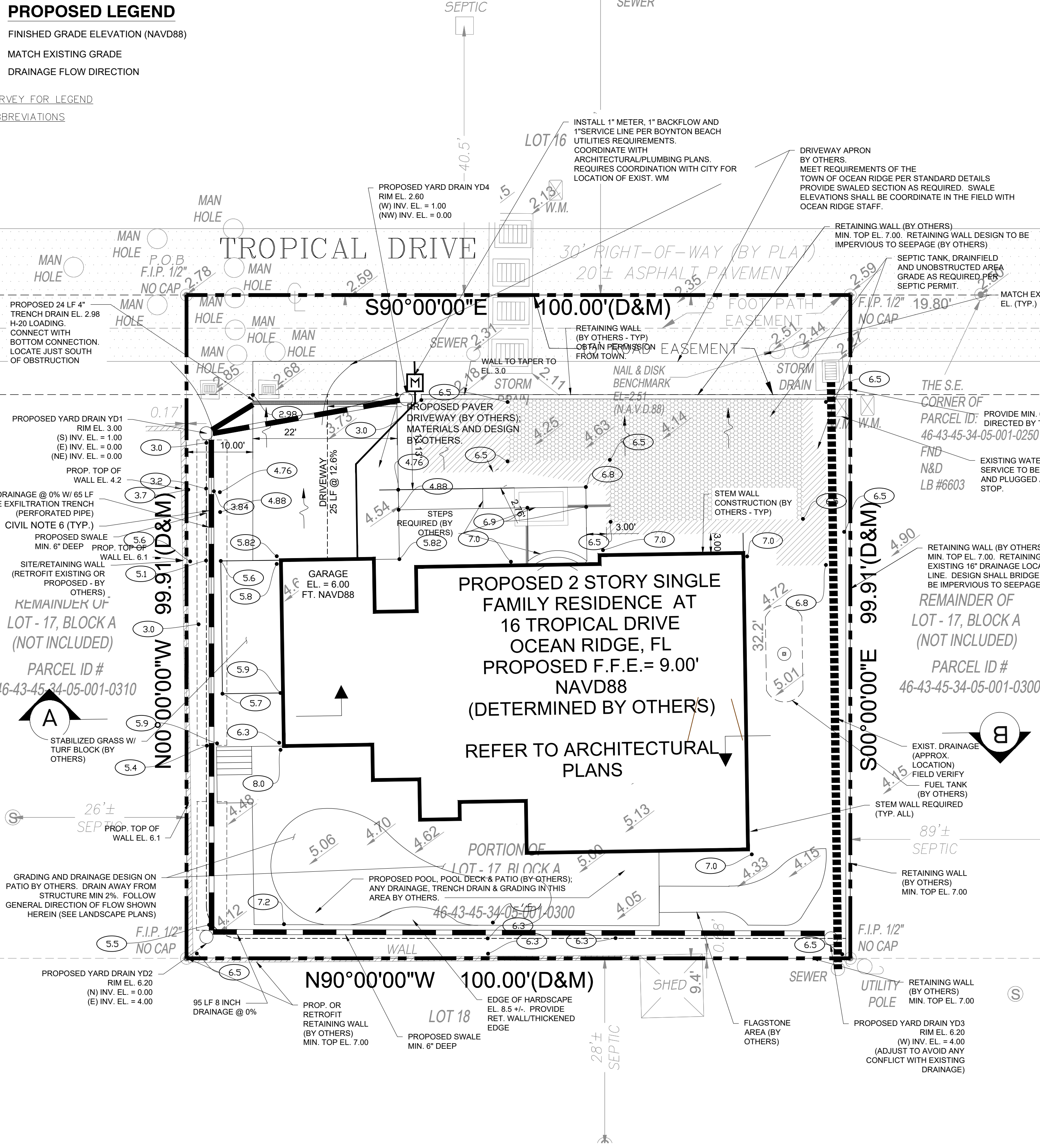
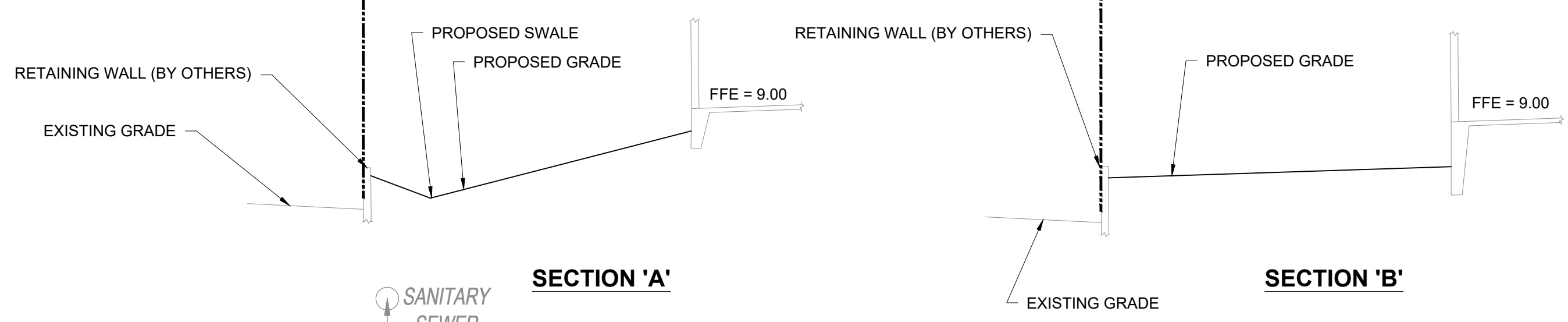
LEGEND





PROPOSED LEGEND
(14.25) FINISHED GRADE ELEVATION (NAVD88)
(M.E.G.) MATCH EXISTING GRADE
DRAINAGE FLOW DIRECTION

SEE SURVEY FOR LEGEND AND ABBREVIATIONS



CIVIL NOTES AND SPECIFICATIONS

- GENERAL NOTES**
- THE PURPOSE OF THESE PLANS IS TO PROVIDE GRADING AND DRAINAGE REQUIREMENTS ONLY. SEE PLANS BY OTHERS FOR DESIGN, MATERIALS AND SPECIFICATIONS RELATED TO HARDSCAPE CONSTRUCTION (E.G., DRIVEWAY, SLABS PAVERS, CURBS, ETC.), COMPACTION, SITE FILL AND SUBGRADE PREPARATION REQUIREMENTS, ETC. THESE PLANS SHALL NOT BE USED FOR LOCATING STRUCTURES OR FOR THE ESTABLISHMENT OF THE FINISHED FLOOR ELEVATION. PROPOSED FINISHED FLOOR ELEVATION SHOWN WAS ESTABLISHED BY OTHERS. NOTIFY ENGINEER IMMEDIATELY IF SHOWN DIFFERENTLY ON OTHER PLANS.
 - REFER TO STRUCTURAL/ARCHITECTURAL DRAWINGS FOR FILL MATERIAL AND FILL PLACEMENT SPECIFICATIONS.
 - ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (FT. NAVD88). SEE SURVEY FOR ANY REFERENCES TO DATUM CONVERSIONS.
 - EXISTING SITE INFORMATION IS BASED ON A BOUNDARY AND TOPOGRAPHIC SURVEY BY BOUNDARY SURVEYING & MAPPING, WEST PALM BEACH, FL, DATED DECEMBER 20, 2024. SEE SURVEY FOR LEGEND AND ABBREVIATIONS, REFERENCE MONUMENT AND BEARING REFERENCE. THE ENGINEER HAS NOT VERIFIED AND DOES NOT GUARANTEE THE ACCURACY OF THE SURVEY. ENGINEER HAS NOT PERFORMED RESEARCH OR VERIFIED ANY EASEMENTS. CONTRACTOR SHALL VERIFY REFERENCED BENCHMARKS, REFERENCE ELEVATIONS AND COMPARE TO THE SURVEY THAT WAS USED FOR DESIGN. NOTIFY ENGINEER IMMEDIATELY IF DIFFERING SURVEY INFORMATION IS OBTAINED.
 - SUBJECT SITE FALLS WITHIN ZONE "AE" BASE FLOOD ELEVATION 8.0, ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM), IDENTIFIED AS COMMUNITY PANEL 12099C0793G, DATED 12/20/2024. NO INVESTIGATION INTO FUTURE FLOOD MAPS HAS BEEN PERFORMED.
 - ALL WORK TO BE PERFORMED IN THE DRY. CONTRACTOR TO PROVIDE DEWATERING AS REQUIRED AND OBTAIN AND COMPLY WITH ANY DEWATERING PERMITS NECESSARY.
 - THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES ON SITE, WITHIN ANY UTILITIES EASEMENT OR WITHIN THE RIGHT-OF-WAY HAS NOT BEEN VERIFIED.
 - THE LOCATION OF ANY SEPTIC DRAINFIELD OR UNOBSTRUCTED AREA HAS NOT BEEN VERIFIED.
 - CONTRACTOR TO NOTIFY SUNSHINE 911 (FLORIDA "ONE CALL") TWO BUSINESS DAYS IN ADVANCE OF CONSTRUCTION, CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES IN THE PROJECT VICINITY, AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY UTILITIES LOCATED WITHIN AREA OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH UTILITY OWNERS FOR LOCATIONS AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO EXISTING UTILITIES. PERMISSION SHALL BE OBTAINED BY CONTRACTOR FOR ANY SHORING, BRACING OR RELOCATION OF UTILITIES.
 - CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES, STORM SEWER PIPES AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL EXISTING UTILITIES. SEE NOTES ON GAS MAIN.
 - UNLESS NOTED OTHERWISE ON THE PLANS, ANY AREA DISTURBED DURING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR ON PRIVATE PROPERTY SHALL BE RESTORED TO EQUAL OR BETTER CONDITION. THIS INCLUDES ALL GRASSING, HEDGES, BUSHES, TREES, LANDSCAPING OF ANY KIND, PAVEMENT, SIDEWALKS, SLABS, STRUCTURES, WALLS, FENCES, SIGNS, POSTS, POLES OF ANY KIND, GUARD RAILS, ETC.
 - ALL DEBRIS, SPOIL, RUBBLE, VEGETATION, UNSUITABLE MATERIAL EXCAVATED FROM THE SITE AND SIMILAR ITEMS SHALL BE REMOVED AND BE LEGALLY DISPOSED BY CONTRACTOR.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS FOR ACCURACY AND COMPLETENESS AND FOR PROPER COORDINATION OF ALL DISCIPLINES AND TRADES. NOTIFY THE ENGINEER AND OWNER IN WRITING IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE CONTRACT DOCUMENTS AND EXISTING SITE CONDITIONS, WHETHER ABOVE-GRADE OR BELOW GROUND. ANY WORK DONE AFTER DISCOVERY OF A DISCREPANCY, UNTIL NECESSARY REVISIONS TO THE CONTRACT DOCUMENTS ARE AUTHORIZED, SHALL BE AT THE CONTRACTOR'S OWN RISK.
 - PRIOR TO SUBMITTING A BID, CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE LOCAL CONDITIONS THAT MAY IN ANY MANNER AFFECT COST, PROGRESS OR PERFORMANCE OF THE WORK. AFTER REVIEWING THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES. CONTRACTOR SHALL PERFORM ANY SUBSURFACE INVESTIGATIONS DEEMED NECESSARY FOR BIDDING AND PERFORMING THE WORK.
 - ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND SHALL MEET ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

- CIVIL NOTES**
- CONTRACTOR TO FIELD FIT GRADED SWALES AS SHOWN TO ENSURE THE RESIDENTIAL LOT DRAINS WITHIN ITS PROPERTY TOWARDS THE FRONT OF THE LOT.
 - EROSION SEDIMENTATION OFF THE BUILDING SITE SHALL BE CONTROLLED UNTIL VEGETATIVE COVER IS ESTABLISHED. SURROUND SITE WITH SILT FENCE, WHICH SHALL REMAIN UNTIL SITE IS STABILIZED.
 - UNDER NO CIRCUMSTANCES SHALL EXCAVATIONS DISTURB THE ZONE OF INFLUENCE UNDER THE FOUNDATION OF ANY STRUCTURE.
 - CONTRACTOR TO GRADE ANY PROPOSED HARDSCAPE AND ADJACENT AREAS TO DRAIN IN THE DIRECTION SHOWN ON THE DRAWINGS. CROSS SLOPE OF HARDSCAPE SURFACES SHALL BE MIN. 2% AWAY FROM THE STRUCTURE.
 - CONTRACTOR TO COORDINATE WITH CITY OF BOCA RATON WHEN CONSTRUCTING DRIVEWAY APRON CONNECTION WITHIN ROAD RIGHT-OF-WAY FOR SPECIFIC REQUIREMENTS.
 - COORDINATION IS REQUIRED BETWEEN THESE PLANS, THE HARDSCAPE PLANS, ARCHITECTURAL PLANS AND STRUCTURAL PLANS. THE ARCHITECT/STRUCTURAL ENGINEER SHALL REVIEW THE PROPOSED GRADES AND PIPE/TRENCH INVERTS ADJACENT TO STRUCTURES/FOUNDATIONS AND ADVISE IF CHANGES ARE REQUIRED.
 - GARAGE THRESHOLD ELEVATION WAS ASSUMED FOR DESIGN PURPOSES. CONTRACTOR TO CONFIRM AND COORDINATE WITH PLANS BY OTHERS.
 - THIS LOT GRADING PLAN HAS BEEN DESIGNED TO MINIMIZE STORMWATER FLOW DIRECTLY ONTO ADJACENT PROPERTIES.
 - COORDINATE BOTTOM OF DRAINAGE PIPE AND STRUCTURES WITH TOP OF RETAINING WALL FOUNDATION.
 - PROVIDE MIN. 5 FT. HORIZONTAL SEPARATION BETWEEN ANY WATER SERVICE LINE AND DRAINAGE. PROVIDE MIN. 1 FT. VERTICAL SEPARATION.
 - CONTRACTOR SHALL COORDINATE WITH BOYNTON BEACH UTILITIES DEPARTMENT FOR ANY PERMITTING AND INSPECTIONS RELATED TO INSTALLATION OF BACKFLOW PREVENTER AND WATER SERVICES. REPLACE BOX IF DETERMINED IN FIELD BY BOYNTON BEACH INSPECTOR. SEE PLUMBING PLANS FOR WATER SERVICE LINE SPECIFICATIONS, DETAILS AND LOCATION OF CONNECTION.
 - WATER METER AND BACKFLOW SIZE DETERMINED BY OTHERS.

- DRAINAGE STRUCTURES**
- YARD DRAIN SHALL BE NYLOPLAST MIN. 12-INCH DIAMETER DRAINAGE BASIN WITH 6-INCH SUMP (LARGER DIAMETER MAY BE UTILIZED TO ACCOMMODATE ADDITIONAL CONNECTIONS), INVERTS AND GRATE ELEVATION PER PLAN. GRATE SHALL BE STANDARD LOCKING GRATE 12-INCH, OR APPROVED EQUAL.
 - TRENCH DRAIN SHALL BE H-20 LOADING.
 - COORDINATE LOCATION OF ROOF AND TRENCH DRAIN LEADERS WITH ADJACENT BASINS PRIOR TO ORDERING BASINS.
 - COORDINATION REQUIRED PRIOR TO PURCHASE OF MATERIALS.
 - SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW.

- DRAINAGE PIPE**
- DRAINAGE PIPE SHALL BE HDPE OR PVC A-2000.
 - WRAP AND SECURE EACH JOINT WITH NON-WOVEN FILTER FABRIC PER FDOT INDEX 280, 2010 EDITION.
 - ALL PIPE SHALL MEET APPLICABLE ASTM AND AASHTO STANDARDS AND FDOT STANDARDS PER SECTION 948 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - ALL PIPE SHALL BE SUITABLE FOR H-20 LOADING.
 - PROVIDE MIN. 3-INCH GRAVEL (3/8-INCH TO 7/8-INCH SIZING) BEDDING BELOW PIPE.
 - COMPACT BACKFILL PER TRENCHING AND BACKFILL DETAIL.
 - SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW.

- HDPE PIPE**
- HDPE PIPE SHALL BE N-12 DUAL WALL, CORRUGATED EXTERIOR/SMOOTH INTERIOR BY ADS PRODUCTS OR APPROVED EQUAL, (WT) JOINT DESIGN. INCLUDE TEES, WYES AND ROOF LEADER ADAPTORS AS REQUIRED.
 - PROVIDE SCH 40 PVC FITTINGS AND RISERS FOR DOWNSPOUT CONNECTIONS. PROVIDE ALL CONNECTIONS PER MANUFACTURER'S REQUIREMENTS.

- A-2000 PIPE**
- PIPE AND FITTINGS SHALL BE PER ASTM F949. CELL CLASSIFICATION OF 12454 PER ASTM D1784. PIPE AND FITTINGS SHALL HAVE A MINIMUM STIFFNESS OF 46 LBS/IN WHEN TESTED IN ACCORDANCE WITH ASTM D2412. SMOOTH INTERIOR WALL JOINTS SHALL BE AN INTEGRAL BELL-GASKETED JOINT. WHEN THE JOINT IS ASSEMBLED, IT SHALL PREVENT MISALIGNMENT OF ADJACENT PIPES AND FORM A SOIL TIGHT JOINT. PLACE PVC PIPE IN ACCORDANCE WITH ASTM D2321.
 - PIPE SHALL BE SUITABLE FOR H-20 LOADING. ALL PIPE SHALL MEET APPLICABLE ASTM AND AASHTO STANDARDS AND FDOT STANDARDS PER SECTION 948 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

- BACKFILL**
- FILL MATERIAL USED FOR BACKFILL OF PIPE TRENCHES SHALL BE SELECT FILL WHICH SHALL CONSIST OF CLEAN, WELL-GRADED MATERIAL FREE FROM DEBRIS, PEAT, ROOTS, SEEDS OF NUISANCE OR EXOTIC SPECIES, ORGANIC MATERIAL, CLODS, AND STONES WITH A DIAMETER GREATER THAN 3 INCHES IN ANY DIRECTION. SELECT FILL SHALL HAVE AN AVERAGE ORGANIC CONTENT OF LESS THAN 5% WITH AN INDIVIDUAL ORGANIC CONTENT OF LESS THAN 7%. SELECT FILL MAY BE EXCAVATED FROM THE WORK OR IMPORTED. SELECT FILL SHALL MEET THE FOLLOWING UNIFIED SOIL CLASSIFICATION SYSTEM (ASTM D2487) DESIGNATIONS: SW, SP, SC, OR SP-SM.

- GOVERNING SPECIFICATIONS**
- CONTRACTOR TO PROVIDE ALL WORK IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, UNLESS NOTED OTHERWISE IN THE SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENTS. ALL MATERIALS AND WORK SHALL MEET THE REQUIREMENTS OF THE TOWN OF OCEAN RIDGE. ALL UTILITIES WORK AND MATERIALS SHALL MEET THE REQUIREMENTS, STANDARD DETAILS AND MATERIALS LIST OF BOYNTON BEACH UTILITIES.

REVISIONS		NO.	DATE	REMARKS	BY
1	ISSUE				
2	REVISED				
3	REVISED				
4	REVISED				
5	REVISED				

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16 TROPICAL DR GRADING, DRAINAGE, & SEPTIC GRADING & DRAINAGE PLAN
 16 TROPICAL DR.
 OCEAN RIDGE, FL 33435

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STATE OF FLORIDA
 REGISTERED PROFESSIONAL ENGINEER
 No. 66592
 JUPITER CIVIL ENGINEERING COMPANY, LLC

DATE	DRAWN	CHECKED (1)	CHECKED (2)	PROJECT MANAGER
AUGUST 1, 2025				

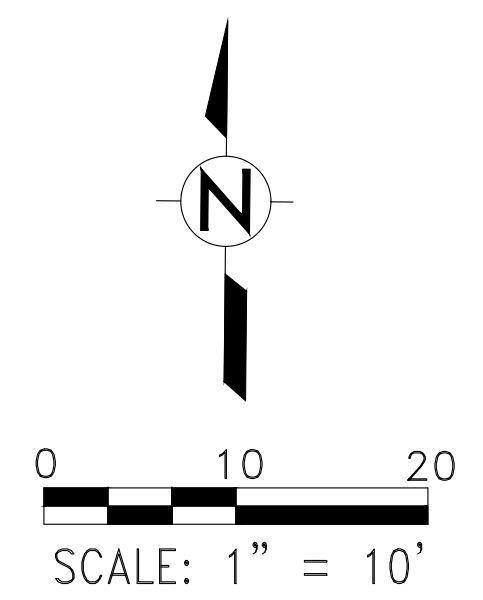
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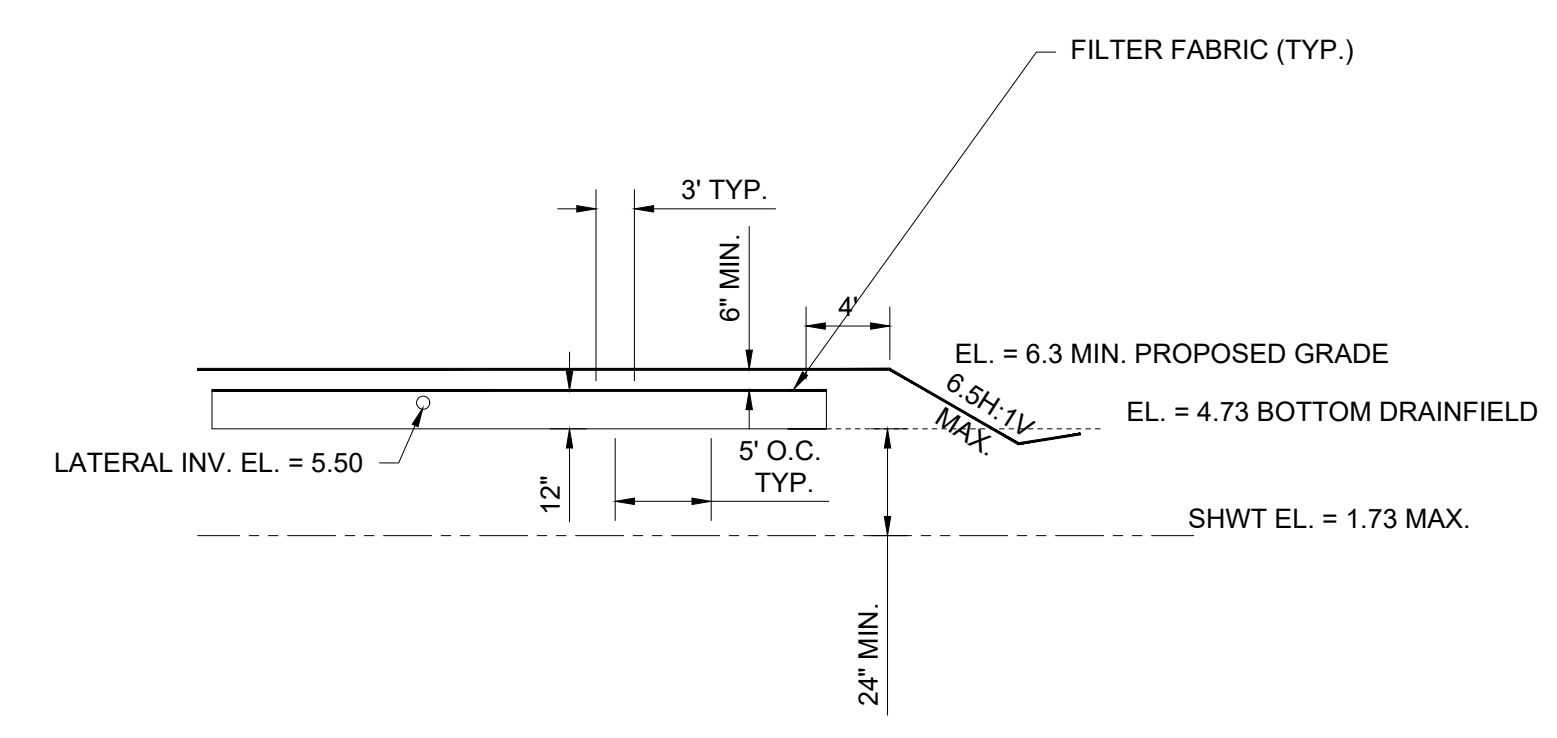
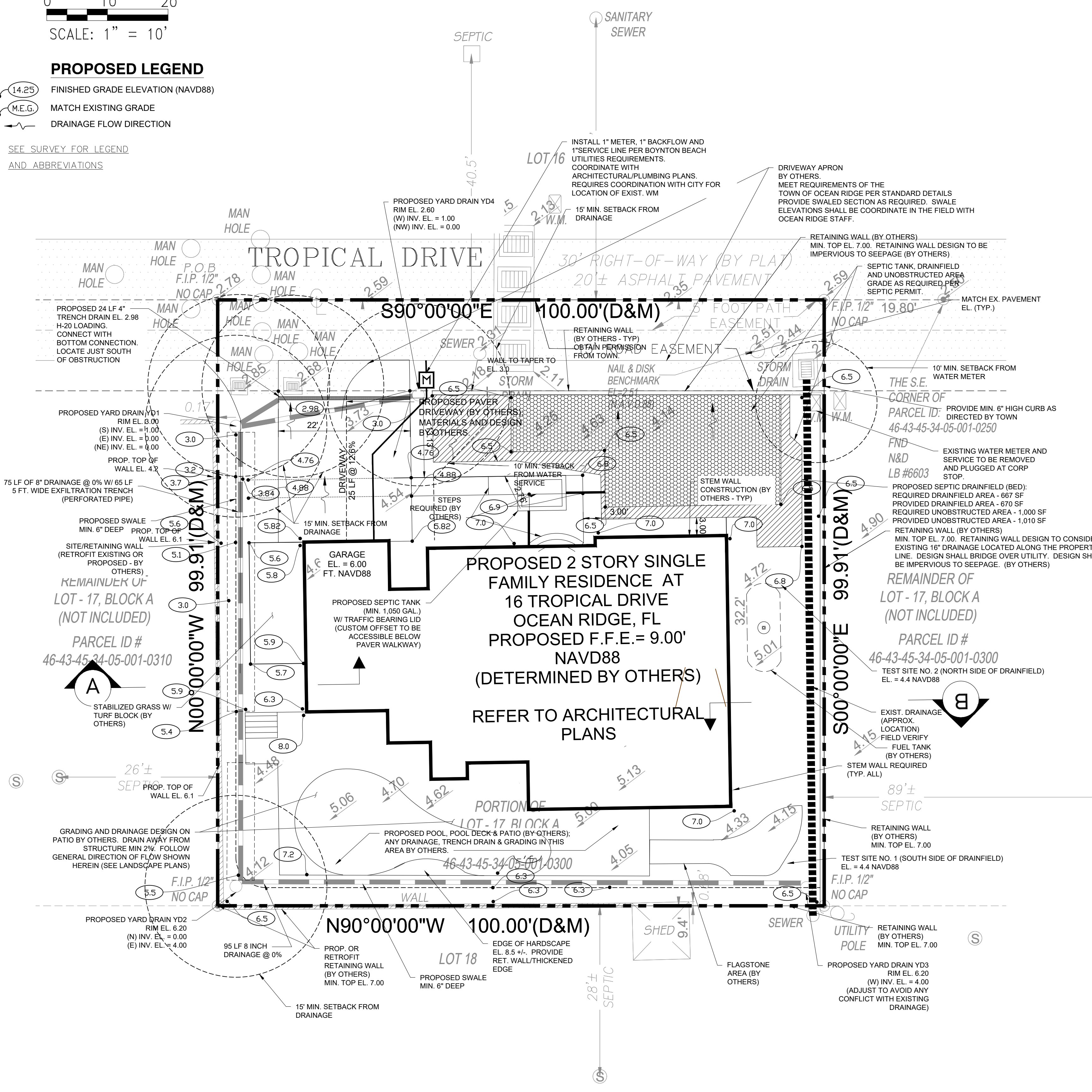
ALL ELEVATIONS SHOWN ARE IN FT. NAVD88. SEE SURVEY FOR CONVERSION TO FT. NGVD29.
 THESE DOCUMENTS SHALL NOT BE USED FOR LOCATING ANY BUILDING, STRUCTURE OR ACCESSORY STRUCTURE. REFER TO ARCHITECTURAL, STRUCTURAL OR OTHER PLANS FOR LAYOUT OF STRUCTURES.

PLEASE NOTE THAT THE SLOPES ON THE DRIVEWAY ARE CONSIDERED TO BE ADVERSE AND STEEPER THAN WHAT WOULD BE CONSIDERED STANDARD, AS A RESULT OF EXISTING ROADWAY GRADES AND AVAILABLE SPACE. SOME VEHICLES MAY HAVE DIFFICULTY UTILIZING PORTIONS OF THE DRIVEWAY

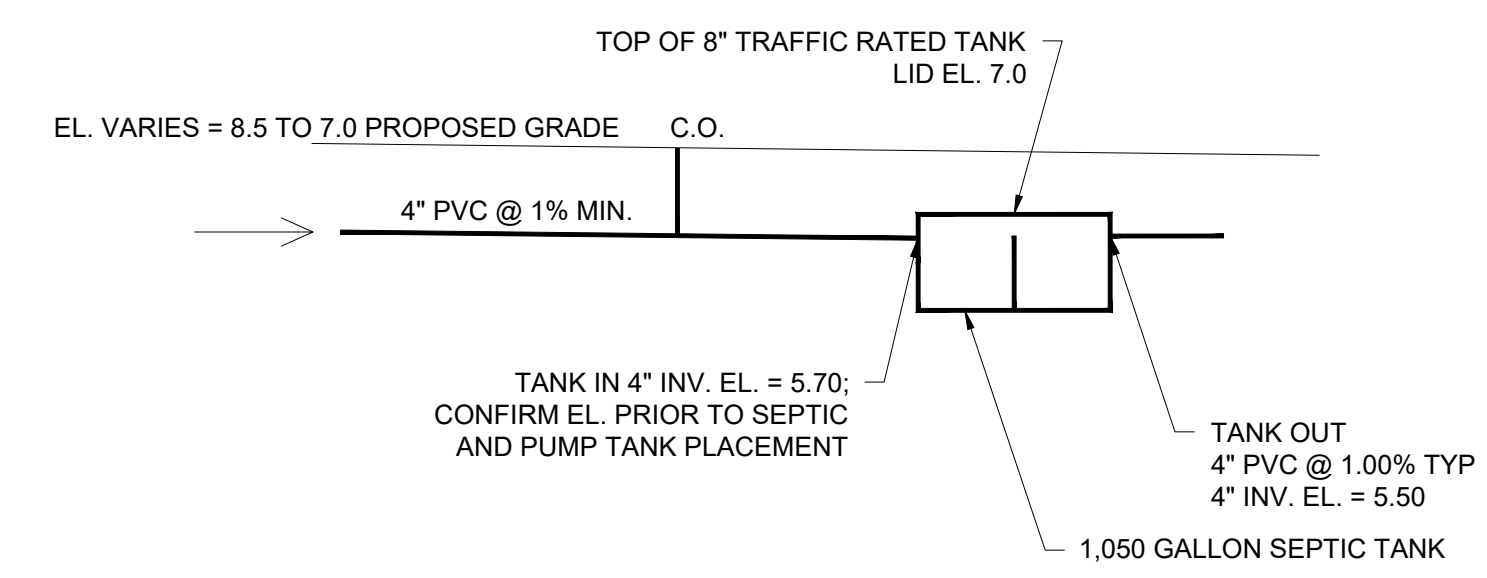


PROPOSED LEGEND
(14.25) FINISHED GRADE ELEVATION (NAVD88)
(M.E.G.) MATCH EXISTING GRADE
DRAINAGE FLOW DIRECTION

SEE SURVEY FOR LEGEND AND ABBREVIATIONS



SEPTIC DRAINFIELD - SECTION
N.T.S.



NOTES:
1. 8" TRAFFIC RATED LIDS REQUIRED ON SEPTIC TANK
2. FILL TANKS WITH WATER TO PREVENT BUOYANCY IMMEDIATELY UPON INSTALLATION OF SEPTIC AND PUMP TANKS
3. EFFLUENT FILTER REQUIRED.

SEPTIC HYDRAULIC PROFILE
N.T.S.

Septic System Calculations for:		By: Joseph M. Kusnir, Jr., P.E.	
16 Tropical Drive Ocean Ridge, FL 33435		Jupiter Civil Engineering Company, LLC	
I. Project/Site Information			
a. Net usable lot size:	0.23 acre		
b. Total proposed air-conditioned space:	3,266 SF		
c. Total proposed number of bedrooms:	4		
d. Type of drainfield configuration proposed:	Bed		
e. Site Soil Loading Rate:	0.60 gpd/SF (Table III, F.A.C. 64E-6.008)		
II. Septic System Sizing (Combined Residence and Guest House)			
a. First 3,300 SF of air-conditioned space (4 bedrooms):	400 gpd	(Table I, F.A.C. 64E-6.008)	
b. Remaining air-conditioned space:	- SF		
c. Number of equivalent bedrooms for remaining space:	0	(add 60 gpd for each additional 750 SF)	
d. Total estimated Daily Sewage Flow:	400 gpd		
III. Proposed Septic System Specifications			
a. Required Drainfield Area:	666.667 SF	(II.d / I.e)	
b. Required Unobstructed Area:	1,000 SF	(III.a * 1.5)	
c. Unobstructed Area Provided:	1,940 SF		
d. Required Trench Length:	223 FT.	(3 SF PER LF)	
e. Total Trench Length Provided:	168 FT.	(3 SF PER LF)	
f. Min. Septic Tank Size (Residence):	1,050 gal.	(Table II, F.A.C. 64E-6.008)	

Professional Seal of Joseph M. Kusnir, Jr., P.E. No. 66592. State of Florida. Registered Professional Engineer. Jupiter Civil Engineering Company, LLC.

REVISIONS table with columns for NO., DATE, REVISIONS, and BY.

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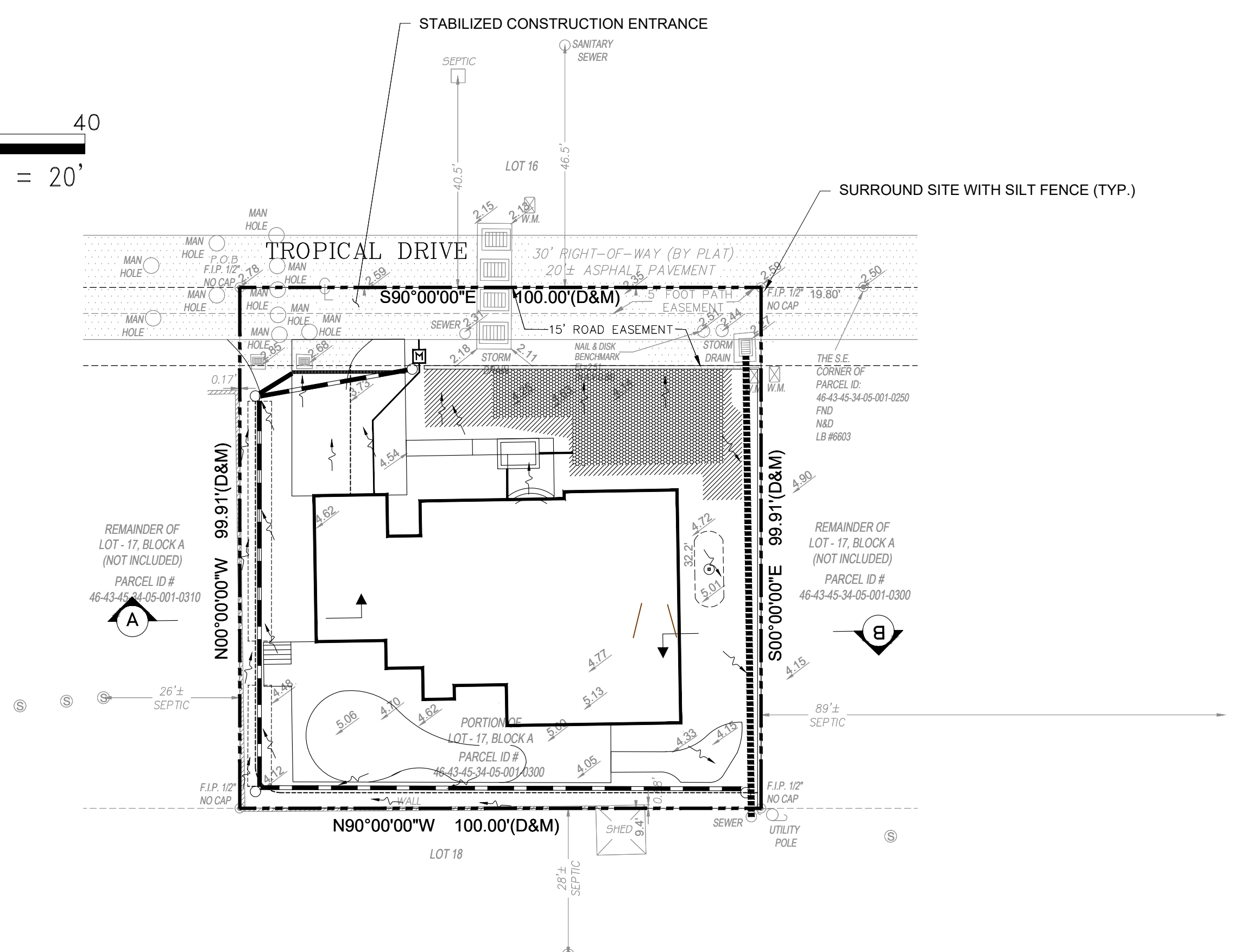
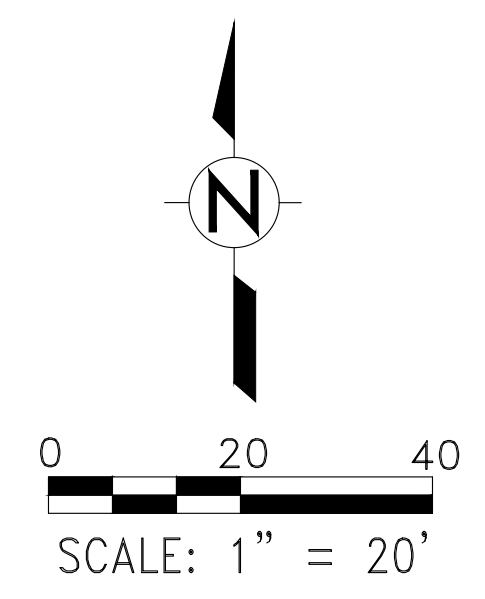
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Project information table with columns for DATE, DRAWN, CHECKED (1), CHECKED (2), PROJECT MANAGER, and JOB NO. (25067.100).

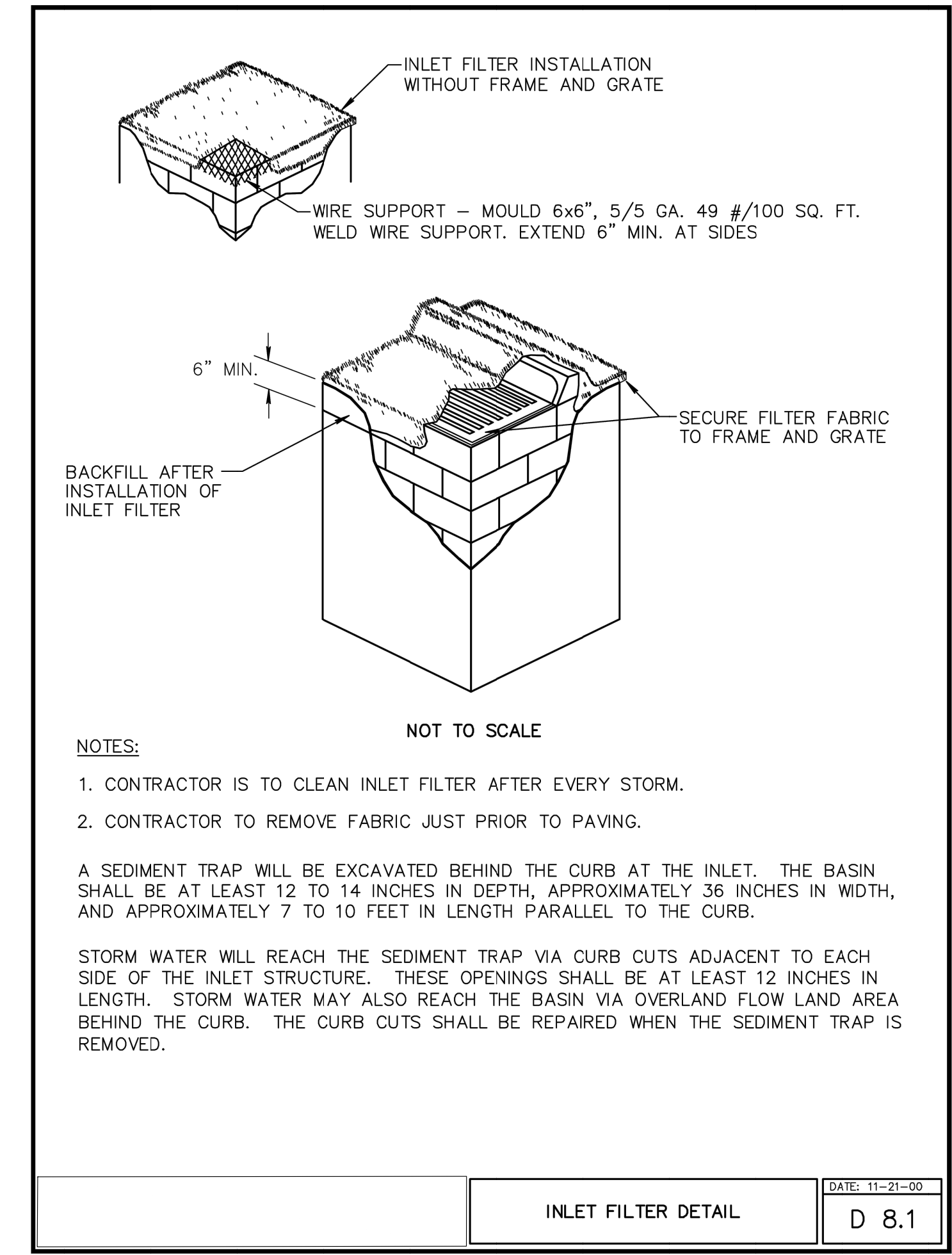
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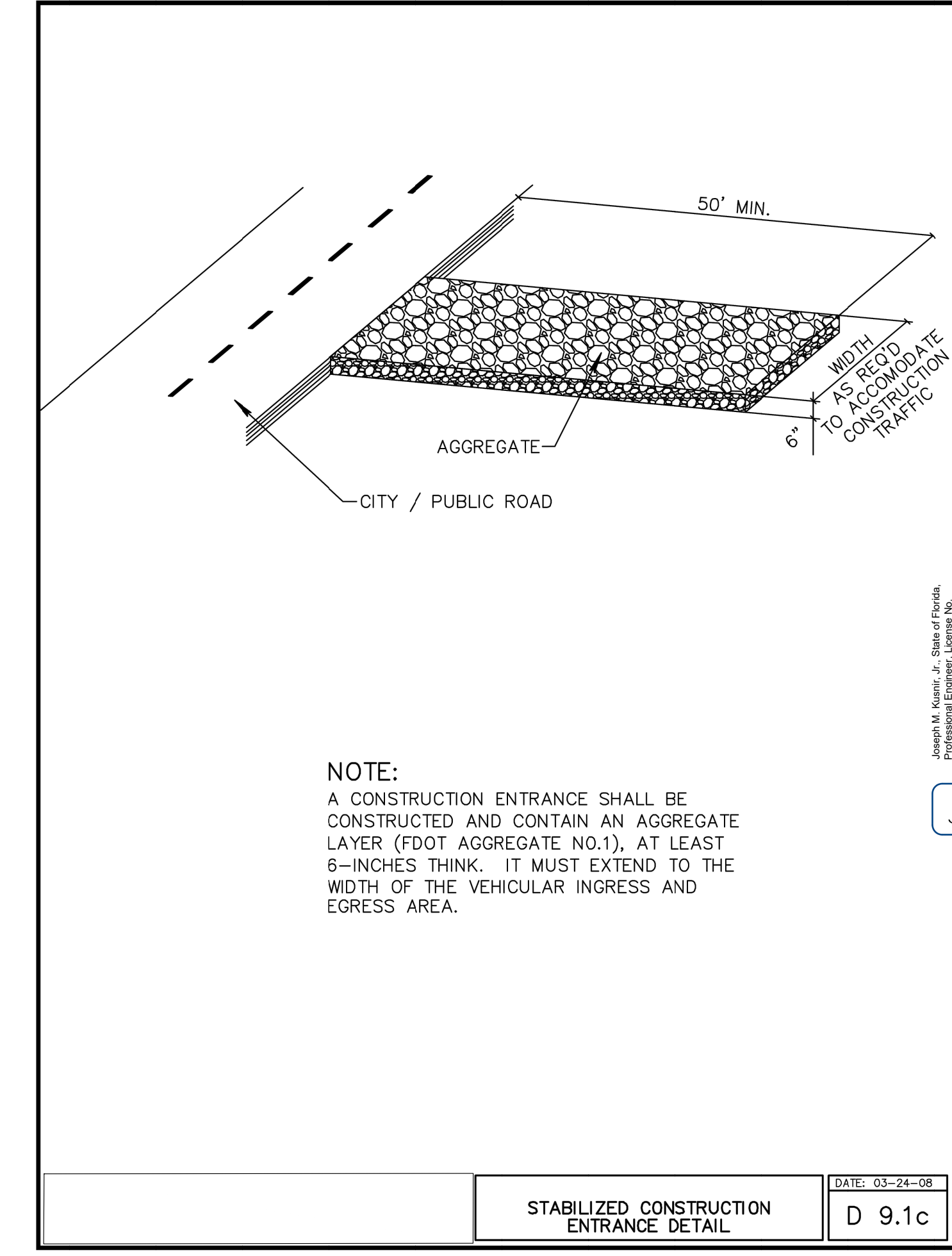
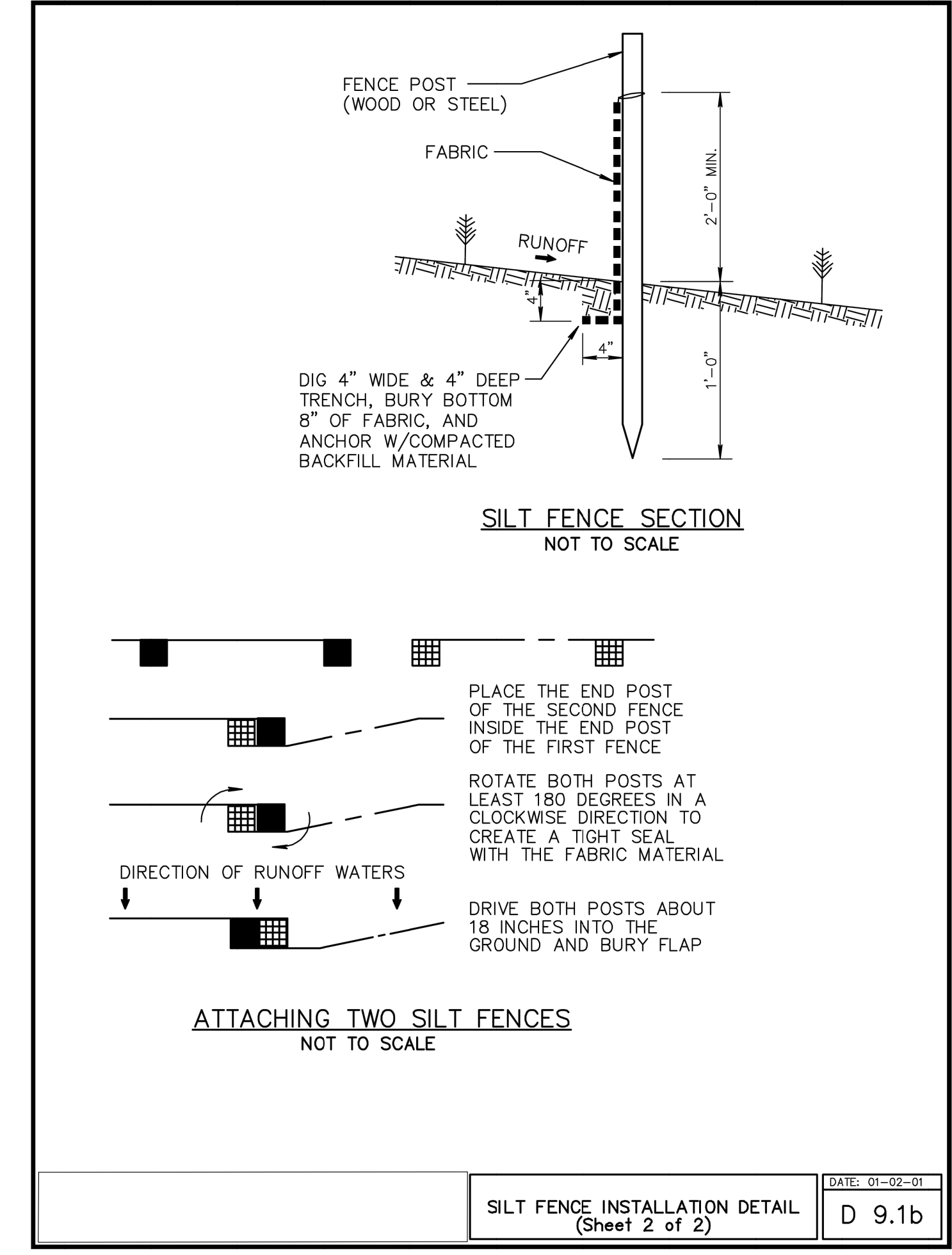
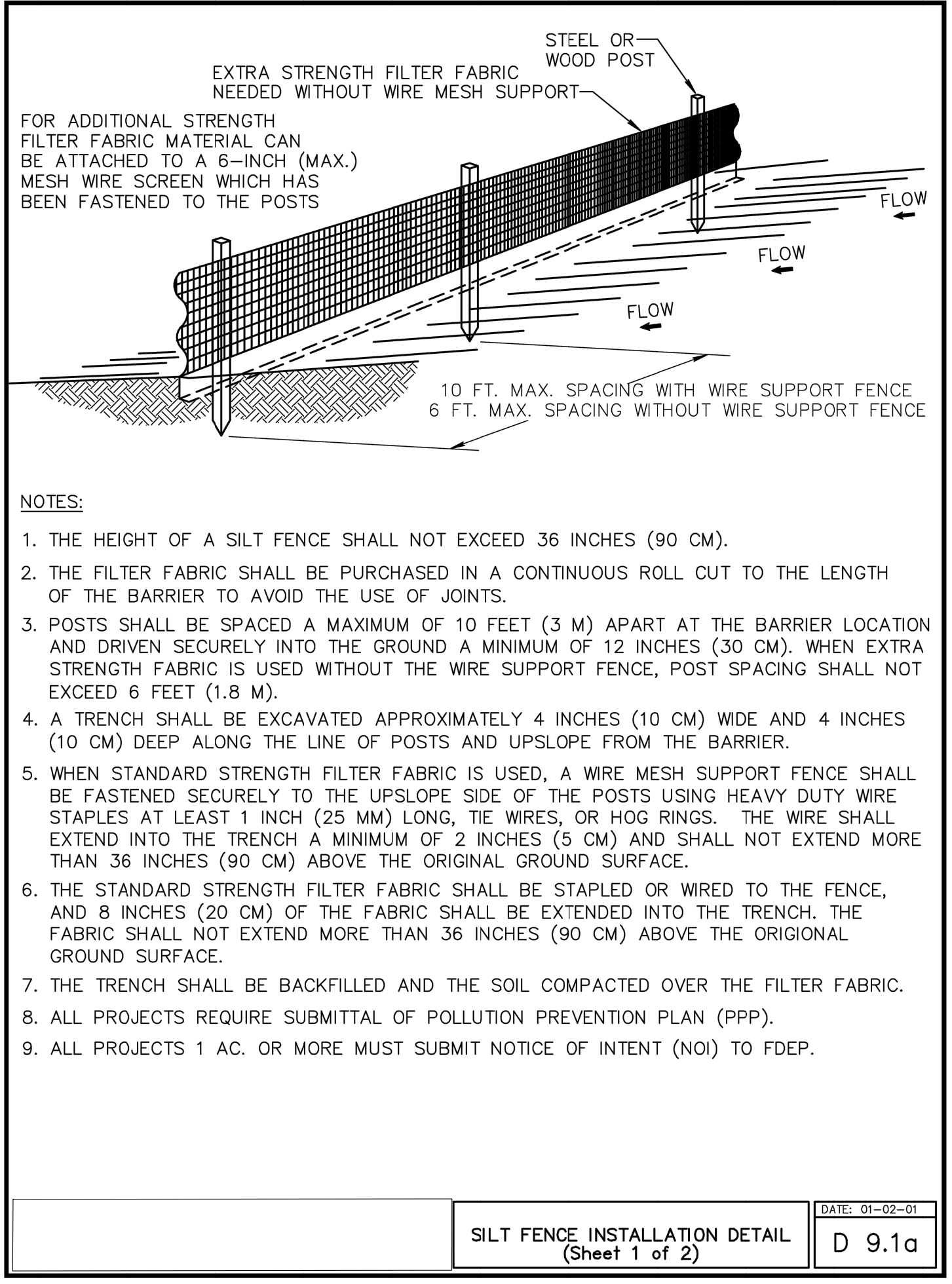
STORMWATER POLLUTION PREVENTION NOTES

- SURROUND SITE WITH SILT FENCE, WHICH SHALL REMAIN UNTIL SITE IS STABILIZED.
- CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO MINIMIZE EROSION AND SEDIMENTATION AND PROPERLY MANAGE STORMWATER IN ACCORDANCE WITH THE FDEP'S NPDES CGP.



EROSION CONTROL NOTES DETAIL
DATE: 03-24-08
D 9.1

- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.



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NO.	DATE	REVISIONS	BY
1	03/24/08	REV PER CLIENT	
2	03/24/08	REV PER COMMENT	

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Professional Engineer
No. 65592
STATE OF FLORIDA

DATE: AUGUST 1, 2025
JOB NO: 25067.100
C-3 (3 of 4)
PROJECT MANAGER: [Signature]

Town of Ocean Ridge, Florida
Planning & Zoning Commission Agenda Memorandum
Christy Goddeau, Town Attorney

Subject: FAR Easement Incentive Single Family Residential District

As you know, the Town is in need of additional utility and drainage easements in the Single Family Residential District. The Town Commission has authorized some administrative incentives to obtain such needed public purpose easements. To further incentivize property owners, the Town is considering a floor area ratio bonus program. In its simplistic form, floor area ratio (FAR) is the relationship between the total floor area of buildings on a lot to the total area of the lot. If the total floor area of a building(s) is 3,600 square feet on a lot and the lot is 10,000 square feet, its FAR is .36 or 36%. This direct relationship results in the ability to build bigger homes on bigger lots. While a ratio of total floor area to lot size such as 36% may be appropriate for smaller lots, on larger lots the result can be unnecessarily and inappropriately large homes.

The Town’s maximum FAR in the Single Family Residential District is 36% for a lot up to 20,000 square feet and 32% for a lot in excess of 20,000 square feet. However, if a lot is separated by a street or right-of-way from that portion of the lot containing the principal structure or use (e.g., dune property), the calculation of the “total lot area” shall include the first 1,000 square feet of the separated portion of the lot, provided that the maximum floor area does not exceed 36% of the total lot area.

To calculate the total floor area, the Town’s zoning official calculates the gross horizontal areas of all floors of all buildings on a lot, measured from the exterior face of exterior walls or other type of enclosure, or from the centerline of a wall separating two buildings, **including garages, carports, and porte cocheres, but not including: basements, attics (unless used as living space), unenclosed decks or patios, covered porches, balconies (covered or uncovered), or crawl spaces.** This total floor area calculation changes if the ceilings on the first floor are 16 feet or higher (which is counted as double except the first 300 sq. ft.) and a different calculation is used to determine the 75% total floor area limitation for second floors. The second floor’s 75% limitation is calculated using the maximum finished floor elevation described in section 67-32[1], which is the average floor elevation of all areas (by square foot area) **including roofed porches, but excluding bay windows, and which share at least one wall with the remainder of the habitable structure.** See Code section 64-1(i).

To incentivize property owners in the Single-Family Residential District to grant the Town a

utility and drainage easement, the FAR incentive is proposed as follows:

<u>Total Lot Area</u>	<u>Maximum FAR</u>
10,000 sq. ft. to 12,000 sq. ft.	Up to 42%
12,001 sq. ft. to 16,000 sq. ft.	Up to 40%
16,001 sq. ft. to 20,000 sq. ft.	Up to 38%
Above 20,000 sq. ft.	Up to 36%

For an understanding of what this means roughly in terms of lot size to the estimate size of a home on that lot, the following square footages are shown at various total FARs:

<u>Lot Size</u>	<u>36%</u>	<u>38%</u>	<u>40%</u>	<u>42%</u>
10,000 sq. ft.	3,600	3,800	4,000	4,200
12,000 sq. ft.	4,320	4,560	4,800	5,040
14,000 sq. ft.	5,040	5,320	5,600	5,880
16,000 sq. ft.	5,760	6,080	6,400	6,720
18,000 sq. ft.	6,480	6,840	7,200	7,560
20,000 sq. ft.	7,200	7,600	8,000	8,400

For **102 Bonito Drive**, which is estimated as a 13,068 sq. ft. lot, this would allow an increase to 40% FAR (or from 4,704 sq. ft. maximum FAR to 5,227 sq. ft. maximum FAR).

For **62 Harbour Drive North**, which is estimated as a 11,761 sq. ft. lot, this would allow an increase to 42% FAR (or from 4,704 sq. ft. maximum FAR to 5,227 sq. ft. maximum FAR).

The Town could consider other incentives (e.g., bonuses for lot coverage, height, set-back reductions, etc.); but at this time, only a FAR incentive is being presented for your consideration.

Should you have any questions regarding the above, please do not hesitate to contact me.

Attachment:
Proposed Ordinance

[1] The current cross-reference to section 67-32 in section 64-1(i) needs to be updated along with some clarifications in Code section 1-3 regarding FAR related definitions. That update and those clarifications are included in the proposed ordinance.

Staff recommends...

Suggested Motion: I move to...

Respectfully,
Christy Goddeau, Town Attorney

ORDINANCE NO. _____

AN ORDINANCE OF THE TOWN OF OCEAN RIDGE, FLORIDA, AMENDING ITS CODE OF ORDINANCES AT CHAPTER 64, "ZONING", ARTICLE I, "DISTRICT REGULATIONS", SECTION 64-1, "RSF AND RSE SINGLE-FAMILY RESIDENTIAL DISTRICTS", BY ADDING A NEW SUBSECTION 64-1(J)(7) TO INCENTIVIZE PROPERTY OWNERS IN THE RESIDENTIAL SINGLE-FAMILY (RSF) ZONING DISTRICT TO GRANT PUBLIC EASEMENTS TO THE TOWN OF OCEAN RIDGE THROUGH A ZONING BONUS PROGRAM; AMENDING SUBSECTION 64-1(I) TO UPDATE A CROSS-REFERENCE RELATED TO FLOOR AREA FOR SECOND STORIES; AMENDING CHAPTER 1, "GENERAL PROVISIONS", SECTION 1-3, "DEFINITIONS", TO CLARIFY EXISTING DEFINITIONS FOR FLOOR AREA TOTAL, FLOOR AREA RATIO, AND LOT AREA; AND, PROVIDING FOR CODIFICATION, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE

WHEREAS, the Town of Ocean Ridge, Florida ("Town") is a duly constituted municipality having such power and authority conferred upon it by the Florida Constitution and Chapter 166, Florida Statutes; and

WHEREAS, the Town has seen an increasing need to obtain formal public easements from private property owners to address utility and drainage issues; and

WHEREAS, some property owners are hesitant to grant such easements as the easement may impact their property value and restrict use of their property in the easement area; and

WHEREAS, municipalities throughout Florida have initiated zoning bonus programs to incentive property owners to provide a public benefit(s) when developing or redeveloping their property (e.g., public art, affordable housing, open space, and conservation areas); and

WHEREAS, such a bonus program would be beneficial to the Town to incentivize property owners who might otherwise not be inclined to grant the Town the desired utility and drainage easement; and

WHEREAS, the proposed bonus program would afford a property owner with a floor area ratio bonus above the current maximum floor area ratio depending on the total lot area; and

WHEREAS, at the November 18, 2025, Planning and Zoning Commission meeting, the Planning and Zoning Commission sitting as the Local Land Planning Agency discussed this Ordinance and recommended approval to the Town Commission; and

WHEREAS, the Town Commission has reviewed this Ordinance and determined that this Ordinance is in conformance with the Town’s Comprehensive Plan, is not more burdensome or restrictive with regards to private property rights, and serves a valid public purpose.

NOW THEREFORE, BE IT ORDAINED BY THE TOWN COMMISSION OF THE TOWN OF OCEAN RIDGE, FLORIDA, AS FOLLOWS:

SECTION 1 – Findings of Fact: The **WHEREAS** clauses set forth above are adopted herein as true findings of fact of the Town Commission.

SECTION 2 – Amendment: Chapter 64, entitled, “Zoning”, Article I, entitled, “RSF and RSE Single-Family Residential Districts”, subsection 64-1(j), entitled “RSF — Single-family residential property development regulations”, is amended to create a new subsection 64-1(j)(7) as follows (underline text denotes added text):

(j) *RSF — Single-family residential property development regulations.* Property development regulations for the RSF district are as follows:

- (1) *Minimum lot area and dimensions.* Minimum lot area and dimensions are as follows:
 - a. Area: 10,000 square feet.
 - b. Width (interior): 80 feet.
 - c. Width (corner): 90 feet.
 - d. Depth: 100 feet.
- (2) *Minimum yard setback requirements.* Minimum yard setback requirements are as follows:
 - a. Front: 25 feet.
 - b. Side (interior): 15 feet.
 - c. Side (corner): 20 feet.
 - d. Rear: 15 feet.
 - e. Waterway: 25 feet.
 - f. Atlantic Ocean: 1979 coastal construction setback line.
Exterior balconies, bay windows, exterior chimneys, or other architectural features which do not measure more than 25 square feet in the horizontal plane, and eaves which do not extend more than three feet from the vertical wall of the building shall not be considered as encroachments in the setback.
- (3) Maximum building height shall be no more than 24 feet for single-story buildings and the maximum two-story building height shall be no more than 36 feet. Height shall be measured to the ridge or highest point of the structure, including all non-habitable architectural features, but excluding chimneys, as measured from the top of the lowest finished floor elevation of the first floor, as described in section 67-32. No building with more than two stories is permitted. No chimneys, including caps, shall exceed four feet in height from the ridge of the roof. For pitched roof systems, wherever a base flood elevation (BFE) is dictated by the FEMA National Flood Insurance Program (NFIP) maps requiring the finished floor elevation to be above seven feet NAVD, for every foot above seven feet NAVD there shall be a corresponding decrease of one foot in the maximum building height.
- (4) *Minimum floor area.* Minimum floor area is 1,800 square feet.
- (5) *Maximum lot coverage.* Maximum lot coverage shall be 35 percent of the total lot area.

(6) *Maximum floor area.* The maximum floor area of all finished floors under roof shall be 36 percent of the total lot area. For any RSF lot existing or created after the date of adoption of this ordinance in excess of 20,000 square feet, the maximum floor area of all finished floors under roof shall be 32 percent of the total lot area. For purposes of this subsection, if a lot is separated by a street or right-of-way from that portion of the lot containing the principal structure or use, the calculation of the "total lot area" shall include the first 1,000 square feet of the separated portion of the lot, provided that the maximum floor area does not exceed 36 percent of the total lot area. Prior to allowing the use of the separated portion square footage, a unity of title, approved by the town, must be executed by the property owner. The floor area occupied by bay windows, chimneys, or other non-habitable architectural features shall be included and shall be subject to this provision. The floor area occupied by roofed porches and balconies shall be exempt from this provision.

(7) *Public Easement Incentive.* If the town requests and a property owner grants the town a perpetual easement for public utilities and drainage purposes, the property owner shall be eligible for a floor area ratio (FAR) bonus consistent with the following and subject to review by the Planning and Zoning Commission in accordance with section 63-56:

<u>Total Lot Area</u>	<u>Maximum FAR</u>
10,000 sq. ft. to 12,000 sq. ft.	Up to 42%
12,001 sq. ft. to 16,000 sq. ft.	Up to 40%
16,001 sq. ft. to 20,000 sq. ft.	Up to 38%
Above 20,000 sq. ft.	Up to 36%

Approval of the FAR bonus by the Planning and Zoning Commission shall not be construed or interpreted as an approval of any other deviation from the land development regulations including, but not limited to, maximum lot coverage and pervious area. The form of the perpetual easement shall be a standard Town easement. The easement shall be executed by the property owner(s), accepted by the Town Commission, and recorded in the Official Records prior to the issuance of any building permits.

SECTION 3 – Amendment: Chapter 64, entitled, “Zoning”, Article I, entitled, “RSF and RSE Single-Family Residential Districts”, subsection 64-1(i), entitled “Floor Area Calculations”, is amended as follows (underline denotes added text; strike-through denotes deleted text):

(i) *Floor area calculations.*

(1) When calculating total floor area, the first floor area under ceilings which are 16 feet or higher shall count as double. The first 300 square feet thereof, however, shall be counted as one floor to allow for limited vaulted spaces. The second floor area shall not exceed 75 percent of the first floor.

(2) For purposes of calculating the 75 percent requirement of this section, the first floor area will include those portions of a structure utilized in establishing the maximum finished floor elevation described in section 67-32(a)(3)(b)(1) including roofed porches, but excluding bay windows, and which share at least one wall with the remainder of the habitable structure.

(3) For purposes of calculating the second floor for the 75 percent requirement of this section, the second floor area will include all enclosed areas of the second floor and roofed porches and

balconies, but will exclude bay windows whose sills are no lower than 12 inches from the floor, and provided the bay windows comprise 20 percent or less of any one facade and do not extend out beyond the overhang.

SECTION 4 – Amendment: Chapter 1, entitled, “General Provisions”, Section 1-3, entitled, “Definitions”, is hereby amended to read as follows (underline denotes added text; ~~strike-through~~ denotes deleted text):

Sec. 1-3. – Definitions.

Floor area, total, as used for calculating floor area ratio, means the gross horizontal areas of all floors of all buildings on a lot, measured from the exterior face of exterior walls or other type of enclosure, or from the centerline of a wall separating two buildings, including garages, carports, and porte cocheres, but not including: basements and, attics (unless intended to be or used as living space), unenclosed decks or patios, covered porches, balconies (covered or uncovered), or crawl spaces unless otherwise stated.

Floor area ratio (FAR) means the ratio of the total floor area of all structures on a lot to the ~~usable land area~~ **lot area**.

Lot area or lot size means the total horizontal area included within lot lines.

SECTION 5 - Codification: This Ordinance shall be codified in the Code of Ordinances of the Town of Ocean Ridge, Florida.

SECTION 6 - Repeal of Conflicting Ordinances: All ordinances, resolutions or parts of ordinances and resolutions in conflict herewith are hereby repealed.

SECTION 7 - Severability: If any word, clause, sentence, paragraph, section or part thereof contained in this Ordinance is declared to be unconstitutional, unenforceable, void or inoperative by a court of competent jurisdiction, such declaration shall not affect the validity of the remainder of this Ordinance.

SECTION 8 - Effective Date: This Ordinance shall become effective immediately upon adoption.

FIRST READING this ___ day of _____, 2025.

SECOND AND FINAL READING this ___ day of _____, 2025.

Commissioner _____ offered the foregoing Ordinance and moved its adoption. The motion was seconded by Commissioner _____ and upon being put to a vote, the vote was as follows:

	AYE	NAY
GEOFF PUGH, Mayor	_____	_____
STEVE COZ, Vice Mayor	_____	_____

CAROLYN CASSIDY, Commissioner
DAVID HUTCHINS, Commissioner
AINAR AIJALA, JR., Commissioner

Commissioner _____, who was appointed Mayor, thereupon declared this Ordinance approved and adopted by the Town Commission of the Town of Ocean Ridge, Florida, on second reading, this _____ day of _____, 2025.

TOWN OF OCEAN RIDGE, FLORIDA

ATTEST:

BY: _____
GEOFF PUGH, MAYOR

BY: _____
KELLY AVERY, TOWN CLERK

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY:

BY: _____
CHRISTY GODDEAU,
TOWN ATTORNEY