

**TOWN OF OCEAN RIDGE
PLANNING & ZONING REGULAR MEETING
AGENDA**



**March 26, 2024 at 9:00 AM
Town Hall - Meeting Chambers**

COMMISSIONERS

Chair Ric Carey
Vice Chair P. Shields Ferber
Member Ferenc Stephen Varga
Member Sydney M. Ray
Alt. Member Marc de Baptiste
Alt. Member Roger Brinner

ADMINISTRATION

Town Manager Lynne Ladner
Town Attorney Christy Goddeau
Town Clerk Kelly Avery
Town Planner Corey O'Gorman
Town Engineer Tara Bamber
Town Zoning Official Manual Palacios

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

PUBLIC COMMENT – (3-minute individual limit)

APPROVAL OF MINUTES

1. Adopt Minutes of the February 20, 2024, Meeting

DISCUSSION / ACTION ITEMS

2. Quasi-Judicial Hearing: Development Plan Review for 69 Spanish River Dr

COMMISSIONER COMMENTS

This item is reserved for any Commissioner Comments that are not related to any item printed on the agenda.

ADJOURNMENT

**THE NEXT MEETING OF THE PLANNING & ZONING COMMISSION WILL BE
HELD ON TUESDAY, APRIL 16, 2024, AT 9:00 AM AT TOWN HALL.**

The Town of Ocean Ridge is holding all meetings in-person, with an additional option of listening to the audio live. Any person wishing to listen to the audio live can access the feed on the date and time of the meeting by dialing +1 (571) 317-3122 and using 471-955-997 as the access code. Persons who are unable to attend the meeting in person may submit public comments to be read into the record by emailing the Town Clerk a minimum of one business day prior to the meeting at kavery@oceanridgeflorida.com or by calling Town Hall during business hours before the meeting date and time and providing your comment to the Town Clerk.

If a person decides to appeal any decision made by the Planning & Zoning Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons who need an accomodation in order to attend or participate in this meeting should contact the Town Clerk at 561-732-2635 at least 5 days prior to the meeting in order to request such assistance. Please take notice that one or more Town Commissioners may be present at any board or commission meeting of the Town of Ocean Ridge.

Notice: The public may view the hard copy of the meeting materials at Town Hall before the meeting.

PLANNING & ZONING COMMISSION MEETING MINUTES
FEBRUARY 20, 2024

Meeting Minutes of the Planning and Zoning Commission of the Town of Ocean Ridge held on Tuesday, February 20, 2024, in the Town Hall Meeting Chambers.

CALL TO ORDER

The meeting was called to order at 9:00 a.m. by Chair Carey.

ROLL CALL

Town Clerk Avery led the roll call, which was answered by the following:

Chair Ric Carey	Present
Vice Chair P. Shields Ferber	Present
Member Sydney Ray	Present
Member Ferenc Stephen Varga	Absent
Alternate Member Marc de Baptiste	Present
Alternate Member Roger Brinner	Absent

Member Varga and Alternate Member Brinner were absent with notice.

PLEDGE OF ALLEGIANCE

Chair Carey led the Pledge of Allegiance.

PUBLIC COMMENT

Chair Carey opened the floor for public comment.

Terry Brown – expressed his concern regarding the vegetation and structure at 5015 Old Ocean.

Chair Carey closed the floor for public comment.

APPROVAL OF MINUTES

1. Approval of the Meeting Minutes of the December 19, 2023, Regular Meeting

Member de Baptiste moved to adopt the minutes of December 19, 2023; seconded by Member Feber. Motion carried 4-0.

DISCUSSION/ ACTION ITEMS

2. Quasi-Judicial Hearing: Development Plan Review for 67 Spanish River Dr.

Chair Carey opened the quasi-judicial hearing by asking if any of the board members had any ex-parte communications. All Commissioners informed that they had none. Town Clerk Avery swore in those that wished to give testimony.

Town Planner O’Gorman gave his report and recommended approval of the project. Zoning Official Palacios stated the plans met the Town requirements. Town Engineer Bamber said that she

PLANNING & ZONING COMMISSION MEETING MINUTES
FEBRUARY 20, 2024

had no concerns about the project, only the engineering plans must be revised.

Architect Richard Bremer, Jr. presented the project. He summarized what they propose to do and identified the site plans, pool, landscape, elevations, the style of the home and retaining wall.

The board asked questions regarding the elevations and height of the garage wall and Mr. Bremer answered their questions.

Louis Vlahos, Landscape Architect, provided details of the landscape. A brief discussion ensued regarding raising the height of the seawall. More discussion followed regarding the septic and drain field.

Terry Brown – questioned the number of buildings on the lot.

Chair Carey closed the quasi-judicial hearing.

Member Feber moved to approve the Development Plan Review for 67 Spanish River with suggested staff conditions; seconded by Member Ray. Motion carried 4-0.

3. Approval of the Changing of a Meeting Date

There was a discussion about changing the March meeting date. The board agreed to change the meeting date to March 26, 2024.

COMMISSIONER COMMENTS

Chair Carey announced that a workshop is scheduled for April 8th to discuss a variety of topics. Town Manager Ladner requested that all topics for discussion to be submitted on or before March 15, 2024. Some suggestions were driveways, drainage, swales, increase in seawalls, parking and length of construction as topics to be discussed at the next scheduled workshop.

ADJOURNMENT

Meeting adjourned at 10:10 a.m.

Minutes prepared by Deputy Town Clerk Pinder and adopted by the Planning & Zoning Commission on March 26, 2024.

Ric Carey, Chair

Attest:

Kelly Avery, Town Clerk

Town of Ocean Ridge, Florida
Planning & Zoning Board Agenda Memorandum

To: Planning & Zoning Board Members
From: Corey O’Gorman, Town Planner
Meeting Date: March 26, 2024
Subject: 69 Spanish River Drive – Development Plan Review

1. PETITION DESCRIPTION

APPLICANT: Richard Bremer, Jr.
OWNER: Bernie Eastman
ADDRESS: 69 Spanish River Drive, Ocean Ridge, Florida 33434

ZONING DISTRICT: RSF

REQUEST: The applicant is requesting Development Plan Review approval in accordance with Town Code Land Development Code including Chapter 63 General and Administrative Provisions, Section 63-56 for Development Plan Review and Chapter 64 Zoning, including Section 64-1, RSF, Single-Family Residential.

2. BACKGROUND

The applicant submitted a Land Development Action Application, plans and supporting documents to the Town on February 13, 2024. Town staff reviewed the application documents and made minor comments. The plans submitted comply with Town Codes subject to conditions outlined in the attached staff memorandum and subject to review by the Planning & Zoning Board for compliance with Section 63-56 for Development Plan Review. Note that this project was reviewed and approved by the Planning & Zoning Board at its meeting on July 19, 2021 and the approval expired thus necessitating this review.

3. BOARD ACTION.

Development Plan Review is subject to the requirements of Town Code Section 63-56 which includes the following:

- (1) *The planning and zoning commission shall use the review criteria as set forth herein when reviewing site plans.*
 - a. *Relationship of building to site:*

1. The site should be planned to accomplish a desirable transition with the streetscape. The overall balance and proportion of the proposed building will be considered.
 2. The height and scale of each building should be compatible with its site and other buildings onsite
- b. *Relationship of building and site to adjoining area(s):*
1. Buildings should be designed to enhance the surrounding neighborhood.
 2. Harmony in architectural style, form, texture, mass and lines, as well as materials, colors, and use of architectural elements should be provided in the design of all buildings.
 3. Buildings should be consistent with the established neighborhood character or within acknowledged architectural styles.
 4. The height and scale of the proposed structure(s) should be compatible with the surrounding neighborhood
- c. *Building design:*
1. Evaluation of a project should be based on quality of its design and relationship to surroundings.
 2. Components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another.
 3. Colors should be harmonious and representative of the architectural style of the building and generally within the character of the neighborhood.
 4. Design attention should be given to mechanical equipment or other utility hardware on roofs, buildings and at grade so as to screen them from off-site view.
 5. Buildings should be of a size as to be in harmony with permanent neighboring development or within acknowledged architectural styles.
 6. Use of any/all of the above preferred design elements in conjunction with the renovation or addition to existing homes is encouraged, along with the removal of any existing elements that are not preferred.
 7. The architectural style and elements of proposed additions and renovations shall be consistent with the other portions of the building.
 8. All proposed structures shall be consistent with the town's land development regulations and the goals, objectives and policies of the comprehensive plan

In addition to the above, pursuant to 63-56(3), the planning and zoning commission shall approve, deny, approve with conditions, or request additional information in order to make a determination that the proposal is compliant with the above criteria.

4. STAFF RECOMMENDATION

Town Staff recommends that the Planning & Zoning Board approve the application subject to the conditions from the Town Staff and review of the project in accordance with Section 63-56 as noted above.

PLAN REVIEW REPORT
69 Spanish River Drive
Corey O’Gorman, Town Planner
02/14/24

This Plan Review Report is for architectural plans dated 02/07/2024 prepared by RWB Linares Architecture; site civil plans dated 01/18/2024 by EnviroDesign Associates, Inc.; landscape plans dated 01/24/2024 by Majestic Views Landscape Architects; and survey by Bob Buggee, Inc. dated 06/21/21. The scope of work includes demolition of an existing single-family home and construction of a new 2-story single-family home with five (5) bedrooms, five and one-half (5 1/2) bathrooms, a three-car garage, and a swimming pool, spa and covered lanai.

PCN: 46-43-45-22-11-000-0682
FLU: Single-Family Residential
Zoning: RSF

The following report addresses the requirements of the Town of Ocean Ridge Zoning Code, Chapter 64, Article I, Section 64-1 for RSF zoning and related sections of Article III Supplemental Regulations of the Code of Ordinances. This Plan Review Report recommends approval of the application for Development Plan Review subject to the conditions noted below:

- The survey is several years old and is not abstracted to title. **Please provide an updated survey showing any easements and encumbrances of record along with the building permit application.**

Section 64-50 Sheet A1.0 and Sheet LP-1 show a generator location although Sheet LP-1 includes note #15 which states that no generator is proposed. **Please delete or revise note #15 to reflect that there is a proposed generator for building permit submittal.**

February 20, 2024

To: Kelly Avery, Town Clerk

From: Tara Bamber, P.E.



**Re: 69 Spanish River Dr.
Development Plan Review
Engenuity Group Project No. 00020.10**

We reviewed the following received on 2-13-2024:

1. Civil Plan, 5 sheets, dated 1-18-24, by EnviroDesign & Associates, Inc.
2. Landscape Plans, 6 sheets, dated 1-24-24, by Majestic Views Landscape Architects.
3. Architectural Plans, 10 sheets, dated 2-7-24, by RWB Linares Architecture
4. Surface Water Management Calcs, 4 sheets, dated January 2024, by EnviroDesign & Associates, Inc.
5. Boundary Survey, 1 sheet, dated 1-17-24, by Bob Buggee, Inc.
6. Existing Vegetation Assessment Letter, dated 1-22-24, by Majestic Views Landscape Architects.
7. Land Development Action Application, 14 sheets, dated 2-9-24 by TOR.

The following comments will need to be addressed during Building Permit phase:

1. Approval from Palm Beach County Health Department will be required at time of building permit.
2. Pre-Construction approval shall be provided from the City of Boynton Beach for the existing/proposed water service at time of permitting.
3. Additional comments will be asked at time of building permit.

If you should have any questions, please give me a call.

**Cc: Lisa Tropepe, PE
Lynne Ladner**



TOWN OF OCEAN RIDGE

6450 North Ocean Boulevard, Ocean Ridge, Florida 33435
(561) 732-2635 Main ♦ (561) 737-8359 Fax
oceanridgeflorida.com ♦ permit@oceanridgeflorida.com

Land Development Action Application

All information must be printed legibly or typed. Please contact the Building Clerk and/or Town Clerk at 561-732-2635 or via email LBurns@oceanridgeflorida.com and/or KArmstrong@oceanridgeflorida.com should you have any questions.

Check Applicable Approval Being Requested

- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> PRD Amendment |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Plat or Re-Plat |
| <input type="checkbox"/> Construction East of the CCCL | <input type="checkbox"/> Re-Zoning |
| <input checked="" type="checkbox"/> Development Plan Review | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Planned Residential Development (PRD) | <input type="checkbox"/> Special Exception |

**This application is being submitted for the property located at:
69 Spanish River Drive, Ocean Ridge, FL**

Property Owner(s)	Applicant (if different than Owner)
Name(s): Bernie Eastman	Name: Richard Bremer, Jr
Address: 69 Spanish River Drive, Ocean Ridge, FL	Address: 3000 N. Military Trl, #209 Boca Raton, FL 33431
Phone: 561.719.9146	Phone: 561.391.0081
Email: bernie@eastmanagg.com	Email: rbremer@rwb-arch.com

The applicant(s) or authorized agent must be present for the public hearing in order for the Commission/Board to act upon their request. The applicant is encourage to invite to the meeting those associated in this proposed development.

General Data

Project Name: Eastman Residence

Project Location Address: 69 Spanish River Drive, Ocean Ridge, FL

Exact Legal Description of Property: INLET CAY SLY 29 FT OF LT 68 & LT 69

Property Control No: 46-43-45-22-11-000-0682

Existing Zoning: RSF - Single Family Residential (46-OCEAN RIDGE)

Proposed Zoning (if applicable to application): n/a

Existing Land Use: single family residential

Proposed Land Use: single family residential

First Floor Living Elevation (For CCCL Application): 10.00 NAVD

Total Site Area: _____ Sq. Ft.: 16,144 Acres: _____

Flood Zone Category: X property is located at area of minimal flood hazard

Existing Comprehensive Plan Designation (if applicable to application):

Proposed Comprehensive Plan Designation (if applicable to application):

Is the site currently served by public water? Yes No

Is the site currently served by public sewer? Yes No

Existing Bedrooms: n/a Proposed Bedrooms: _____

Existing Bathrooms: n/a Proposed Bathrooms: _____

Residential: Total Number of Dwelling Units: 1 Density (Units per acre): n/a

Commercial: Total Square Footage: n/a Number of Buildings: n/a

Describe the nature of your application in detail and be descriptive.

(Example: Requesting a Land Development Permit from the provisions of the Land Development Code, Article 2; COASTAL CONSTRUCTION, Section 67-17; Coastal Construction and Excavation Setback Line; Sub-Paragraph (a); Setback Line Established; and Sub-Paragraph (h); Existing Structures, to permit the construction of a two story addition of a 1-car garage (13' 8" x 20' 0") on the bottom floor and a living room (17' 8" x 19'), and a bedroom (13' 8" x 13' 2") on the second floor. The garage floor to be at 19.0 NAVD with the living room floor at 22.0 NAVD to match the rest of the existing 2-story house. The addition is to be at a maximum of 168' 4" east of the Coastal Construction Control Line (CCCL) of 1997, and the addition of a swimming pool (15' 8" x 36') that is to be at a maximum of 181' 7 5/8" east of the CCCL of 1997.)

Requesting a Land Development Permit from the provisions of the Land Development

New Structure, to permit the demolition of the existing residence and permit approval of a new 2 story Transitional/Modern residence w/ 5 bedroom, 5.5 baths, 3 car garage, pool & pool deck.

The setbacks meet all minimum city requirements i.e. proposed front 25'-1", rear waterway 25'-9", side North/left 23'-9, side South/right 23'-4"

To permit the construction of a 2 story 7,251 SF under roof residential structure, 1st floor - 3,063 SF, 2nd floor-1,796 SF. = 4,859Total A/C, garage- 772 SF, Covered Entry 150 SF, Covered Patio 746, Covered Balcony 994 SF. The FFE to be at 10.00 NAVD (avg. crown of road 4.28' NAVD).

In addition a pool and pool deck is proposed on the site as is a new septic system that meets code requirements. The total impervious area proposed is 8,596.00 SF @ 53.24% and pervious area is 7,548 SF @ 46.75% exceeding minimum Town Code requirements. FFE @10.0' NAVD

State the reasons or basis for the application and explain why this request is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Plan and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (Attach a separate Justification Statement if insufficient space.) Please be descriptive.

Owners new primary residence in the coastal seaside town of Ocean Ridge

The application for the proposed new residential structure is well within the Town of Ocean Ridge planning and zoning/code requirements set forth, meets and exceeds all minimum requirements and by no means will be contrary to the Towns Comprehensive plan.

It will not be detrimental to the public appearance, comfort, convenience, general welfare, good order, health, moral, prosperity and safety to the town and residents. In addition, the unique transitional/modern design complimented with additional lush landscape, we believe, will make this residence a great addition to the Town of Ocean Ridge providing great curb appeal and privacy to the adjacent neighboring residences.

Has a previous application been filed within the last year in connection with the subject property? Yes No If Yes, briefly describe the nature of the Application.

Has a Site Plan been previously approved by the Town Commission for this property?

Yes No If Yes, please note date of previous approval: _____

Please provide the name and contact information of the following persons or firms involved in this proposed development, where applicable:

Authorized Agent (if different from Owner):	
Name: Richard Bremer, Jr	
Company Name: RWB/Linares Architecture	
Address: 3000 N. Military Trl, #209, Boca Raton, FL 33431	
Phone: 561.391.0081	Email: rbremer@rwb-arch.com
Developer:	
Name: F Stephen Varga	
Company Name: Varga Homes, Inc.	
Address: 31 Spanish River Drive, Ocean Ridge, FL 33435	
Phone: 561.704.0073	Email: fsvarga@hotmail.com
Planner:	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	Email:
Architect:	
Name: Richard Bremer, Jr.	Florida Registration No.: AA26000640
Company Name: RWB/Linares Architecture, Inc	
Address: 1600 S Dixie Hwy, #400, Boca Raton, FL 33432	
Phone: 561.391.0081	Email: rbremer@rwb-arch.com
Landscape Architect	
Name: Louis Vlahos	Florida Registration No.: LA6666677
Company Name: Majestic Views Landscape Architects, Inc	
Address: 4711 Cypress Drive South, Boynton Beach, FL 33436	
Phone: 561.752.9835	Email: majesticscapes@aol.com
Engineer	
Name: Joseph Pike	Florida Registration No.: 42696
Company Name: Envirodesign Associates Inc	
Address: 298 NE 2nd Ave, Delray Beach, FL 33444	
Phone: 561.274.6500	Email: jpike@envdesign.com

I understand that any development permit issued by the Town of Ocean Ridge is contingent on the applicant meeting all requirements from the State of Florida, Palm Beach County, and the Town of Ocean Ridge and upon an actual building permit submittal and review by the Building, Zoning, and Engineering Officials of the Town of Ocean Ridge.

I certify that all of the foregoing information is accurate, and that if approved, all work will be done in compliance with all applicable laws regulating construction and zoning.

Richard Bremer
Applicant Signature

Richard Bremer
Printed Name of Applicant

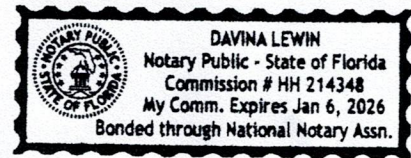
Applicant is: Owner Lessee Agent

The foregoing instrument was acknowledged before me by means of physical presence or online notarization on this 9 day of February, 2024 who is personally known to me or has produced _____ as identification and who did (or did not) take an oath.

[Signature]
Notary Signature (for Applicant)

1-6-26
Commission Expiration

Seal/Stamp



DATA CALCULATIONS FOR NEW STRUCTURES

(NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

APPLICANT FILL OUT: PROPERTY ADDRESS: 69 Spanish River Drive		ZONING DISTRICT: _____	
	APPLICANT USE	ZONING OFFICIAL USE ONLY	
*TOTAL SITE AREA	16,144 Sq. Ft.	Sq. Ft.	
BASE FLOOD ELEVATION (NAVD) <small>(SOURCE THE FLOOD INSURANCE STUDY)</small>	'AE -9'+(1)' by FEMA Flood Zone Map		
FINISHED FLOOR ELEVATION (NAVD)	10.00 NAVD		
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
	PROPOSED		PROPOSED
	Sq. Ft.	%	Sq. Ft. %
FLOOR AREA RATIO (MAXIMUM _____%)	5631	34.87	
LOT COVERAGE (MAXIMUM _____%)	4731	29.30	
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft.	%	Sq. Ft. %
FIRST FLOOR A/C (_____)	3063	18.97	
SECOND FLOOR A/C (_____)	1796	11.12	
TOTAL A/C (_____)	4859	30.09	
GARAGE (_____)	772	4.78	
COVERED PATIO (_____)	746	4.62	
COVERED ENTRY (_____)	150	0.92	
COVERED BALCONY (REAR) (_____)	837	5.18	
COVERED BALCONY (FRONT) (_____)	157	0.97	
TOTAL UNDER ROOF (_____)	7521	46.58	
OPEN BALCONY (_____)	n/a	n/a	
TOTAL FLOOR AREA (_____)	5631	34.87	
BUILDING FOOTPRINT (_____)	4731	29.30	
SEPTIC TANK & DRAINFIELD (_____)	677	3.88	
PAVED AREA (_____)	3865	23.94	
SYNTHETIC TURF (_____)	n/a	n/a	
TOTAL IMPERVIOUS (_____)	8596	53.24	
TOTAL PERVIOUS (_____)	7548	46.75	
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
	FEET		FEET
BUILDING HEIGHT (_____)	32'-10"		
BUILDING SETBACKS:			
FRONT (_____)	25'-1"		
REAR (_____)	25'-9"		
SIDE INTERIOR (_____)	23'-9"		
SIDE CORNER (_____)	23'-4"		
WATERWAY (_____)	25'-9"		
DRIVEWAY (_____)	-		

Prepared By: _____ Date: _____



TOWN OF OCEAN RIDGE

6450 North Ocean Boulevard, Ocean Ridge, Florida 33435
(561) 732-2635 Main ♦ (561) 737-8359 Fax
oceanridgeflorida.com ♦ permit@oceanridgeflorida.com

Affidavit to Appoint Agent

Please check one of the following:

- | | |
|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Plat or Re-Plat |
| <input checked="" type="checkbox"/> Building Permit (Revisions, etc.) | <input type="checkbox"/> Re-Zoning |
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Site Plan Review |
| <input checked="" type="checkbox"/> Concept Plan Review | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Construction East of the CCCL | <input type="checkbox"/> Variance |
| <input type="checkbox"/> PRD Amendment | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Planned Residential Development (PRD) | |

1. He/She is fee simple owner of the following described property, to wit: (Provide Property Address and Legal Description)

Legal Description: Lot 68, less the north 1/2 and less the north 21 feet of the south 1/2 thereof all of lot 69 Inlet Cay, according to the plat thereof, as recorded in plat book 24, at page 222 of the public records of palm Beach County.

Legal Address: 69 Spanish River drive, Ocean Ridge, Florida 33435

2. He/She desires to submit a Land Development application to the Town of Ocean Ridge, Florida.
3. He/She has appointed Richard Bremer to act as agent in his/her behalf to accomplish the above.
4. He/She affirms and certifies that he/she understands and agrees to comply with the Town of Ocean Ridge Land Development Code. He/She further certifies that the statements, plans and all information submitted as a part of this application are true and correct to the best of his/her knowledge. Further, he/she understand that this application and attachments become part of the Official Records of the Town of Ocean Ridge, Florida and are not returnable.

State of Florida
County of Palm Beach

Sworn to (or affirmed) and subscribed before me by means of physical presence or online notarization on this day 10th of January, 2024.

[Signature]
Signature of Property Owner

Bernard Eastman
Property Owner Printed Name

[Signature]
Notary Public Signature

Michelle L. Pelletier
Notary Printed Name

My Commission Expires 9/18/2027



Personally Known: or ID: _____ (Type of Identification Provided)

March 1, 2024

Town of Ocean Ridge
6450 N Ocean Blvd
Ocean Ridge, FL 33435

RE: Project Narrative
69 Spanish River Drive

Dear Building Official,

The following is a narrative identifying the architectural style of the proposed structure and how each of the elements under town code section 63-56 have been met as applicable.

At the property located at 69 Spanish River Drive the existing house structure will be demolished and replaced with a new 2-story transitional/modern residence with 5 bedrooms, 5.5 bathrooms, 3-car garage, pool, and pool deck with nicely appointed landscaping to compliment the architecture.

- (1) a. Relationship of Building to Site. The new home structure is placed on the site meeting or exceeding setback requirements. The centrally located raised entry with flanking one story elements at the garage and master bath keep the balance of human scale to the neighboring properties and streetscape. The two story massing element to the rear allows the structure to have an open feel for outdoor living and views to the water. The hardscape, driveway, walks, pool, and pool deck combine with the nicely designed and appointed landscaping captures the feel of the architecture and improves the streetscape and surrounding existing/new residential homes. The overall height and scale of the structure is compatible with the site and its surroundings.

- b. Relationship of Building and Site to Adjoining Areas. The new structure has been designed to enhance the surrounding neighborhood as stated above but also through the transitional/modern architectural style, the use of different forms, massing, neutral colors, and the use of different cladding materials to create interest and movement for the streetscape. The building is consistent more with the new architectural styles being established in Ocean Ridge and this specific neighborhood but also complimenting the character of the existing residential structures. The height and scale is sensitive to the new FEMA height requirements with again trying to create more of a human scale approach and feel from the street to be compatible to the surrounding neighbors.

c. Building Design. The design and style of this home along with the hardscape and landscape has created a unique look to create inspiration and movement to enhance the existing streetscape of the neighborhood. The roof components, window placement, size and scale of doors and windows, and pronounced architectural details keep a balance with the different proportions of the structure.

The colors used are a neutral cool blend with accents of wood tone to create warmth, interest, and movement to enhance the architectural style.

All mechanical equipment and pads were placed and screened with landscape to create less noticeability from the street, waterway, and neighboring properties.

The size and massing of the structure is in harmony with its style and as a permanent neighbor development.

- (2) Notice of Development Plan Review. All information has been issued to the town for this section.
- (3) All information has been submitted to the town for this section.

Sincerely,

Richard Bremer, Jr.
RWB / Linares Architecture, Inc.

Property Detail

Location Address 69 SPANISH RIVER DR
Municipality OCEAN RIDGE
Parcel Control Number 46-43-45-22-11-000-0682
Subdivision INLET CAY IN
Official Records Book 29451 Page 896
Sale Date AUG-2017
Legal Description INLET CAY SLY 29 FT OF LT 68 & LT 69

Owner Information

Owners
EASTMAN BERNARD
Mailing address
69 SPANISH RIVER DR
BOYNTON BEACH FL 33435 3322

Sales Information

Sales Date	Price	OR Book/Page	Sale Type	Owner
AUG-2017	\$10	29451 / 00896	QUIT CLAIM	EASTMAN BERNARD
OCT-2013	\$972,500	26376 / 00983	WARRANTY DEED	EASTMAN BERNARD &
MAY-1992	\$400,000	07264 / 01864	REP DEED	SMITH RICHARD E &
JAN-1979	\$241,000	03071 / 01531		
JAN-1972	\$30,000	02044 / 00875	WARRANTY DEED	

Exemption Information

Applicant/Owner	Year	Detail
EASTMAN BERNARD	2024	HOMESTEAD
EASTMAN BERNARD	2024	ADDITIONAL HOMESTEAD

Property Information

Number of Units 1
*Total Square Feet 3736
Acres 0.3706
Use Code 0100 - SINGLE FAMILY
Zoning RSF - SINGLE FAMILY RESIDENTIAL (46-OCEAN RIDGE)

Appraisals

Tax Year	2023	2022	2021
Improvement Value	\$102,335	\$70,958	\$275,617
Land Value	\$2,120,458	\$1,373,130	\$855,000
Total Market Value	\$2,222,793	\$1,444,088	\$1,130,617

All values are as of January 1st each year

Assessed and Taxable Values

Tax Year	2023	2022	2021
Assessed Value	\$1,021,975	\$992,209	\$963,310
Exemption Amount	\$50,000	\$50,000	\$50,000
Taxable Value	\$971,975	\$942,209	\$913,310

Taxes

Tax Year	2023	2022	2021
Ad Valorem	\$18,008	\$17,952	\$17,900
Non Ad Valorem	\$188	\$184	\$178
Total tax	\$18,196	\$18,136	\$18,078

Dorothy Jacks, CFA, AAS PALM BEACH COUNTY PROPERTY APPRAISER www.pbcgov.org/PAPA

Property Information

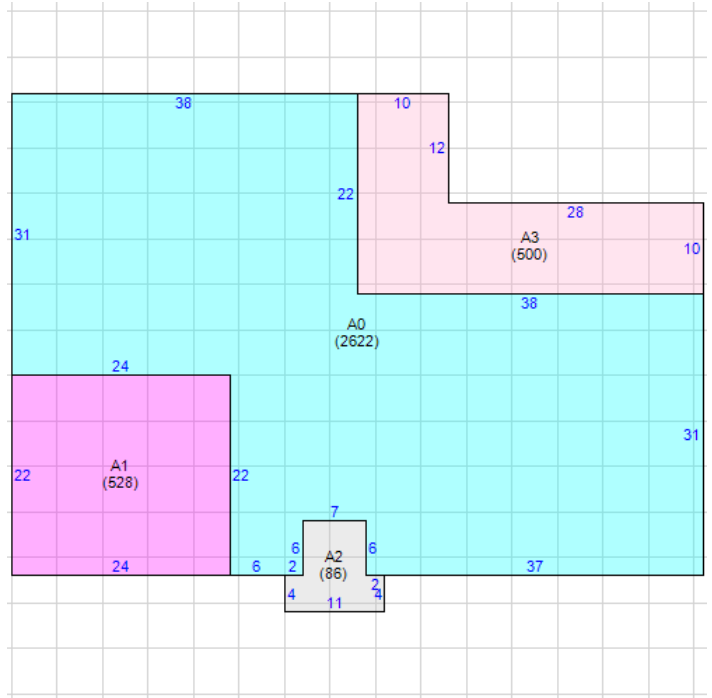
Owner Name : EASTMAN BERNARD
 Parcel Control Number : 46-43-45-22-11-000-0682
 Location Address : 69 SPANISH RIVER DR

Structural Details

Structural Element for Building 1

Exterior Wall 1	WSF: BRICK
Year Built	1974
Air Condition Desc.	HTG & AC
Heat Type	FORCED AIR DUCT
Heat Fuel	ELECTRIC
Bed Rooms	3
Full Baths	3
Half Baths	0
Exterior Wall 2	NONE
Roof Structure	MANSARD
Roof Cover	CONCRETE TILE
Interior Wall 1	DRYWALL
Interior Wall 2	N/A
Floor Type 1	CARPETING
Floor Type 2	CERAMIC/QUARRY TILE
Stories	1

Sketch for Building 1



Subarea and Square Footage for Building 1

Code Description	square Footage
FOP Finished Open Porch	500
FGR Finished Garage	528
BAS Base Area	2622
FOP Finished Open Porch	86
Total Square Footage	3736
Area Under Air	2622

Property Extra Feature

Description	Year Built	Units
Pool - In-Ground	1974	1
Boat Dock	1974	150
Deck	2014	500

Property Land Details

Land Line #	Description	Zoning	Acres
1	INTRACOASTAL CANAL	RSF	0.3706



CFN 20130443040
 CR BK 26376 PG 0983
 RECORDED 10/08/2013 16:25:21
 Palm Beach County, Florida
 AMT 972,500.00
 Doc Stamp 6,807.50
 Sharon R. Bock, CLERK & COMPTROLLER
 Pgs 0983 - 984; (2pgs)

Prepared by and return to:
 Peter H. Carney
 Managing Manager
 Patrician Title, LLC
 115 NE Second Avenue
 Delray Beach, FL 33444
 561-715-0305
 File Number: PT 2013-0026
 Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 1st day of October, 2013 between **Richard E. Smith and Peggy A. Smith, his wife** whose post office address is **69 Spanish River Drive, Boynton Beach, FL 33435**, grantor, and **Bernard Eastman and Lisa Eastman, husband and wife** whose post office address is **69 Spanish River Drive, Boynton Beach, FL 33435**, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Palm Beach County, Florida** to-wit:

Lot 68, LESS the North 1/2 and Less the North 21 feet of the South 1/2 thereof, and all of Lot 69, INLET CAY, according to the Plat thereof, recorded in Plat Book 24, Page 222, of the Public Records of Palm Beach County, Florida.

Parcel Identification Number: 46-43-45-22-11-000-0682

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2012**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

DoubleTimes

Signed, sealed and delivered in our presence:

Richard H. Wilson, Jr.
Witness Name: Richard H. Wilson, Jr.

Peter H. Carney
Witness Name: Peter H. Carney

Richard E. Smith (Seal)
Richard E. Smith

Peggy A. Smith (Seal)
Peggy A. Smith

Richard H. Wilson, Jr.
Witness Name: Richard H. Wilson, Jr.

Peter H. Carney
Witness Name: Peter H. Carney

State of Florida
County of Palm Beach

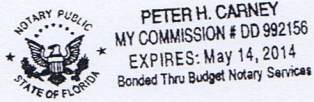
The foregoing instrument was acknowledged before me this 1st day of October, 2013 by Richard E. Smith and Peggy A. Smith, who are personally known or have produced a driver's license as identification.

[Notary Seal]

Peter H. Carney
Notary Public

Printed Name: _____

My Commission Expires: _____



Property Control Number: 46-43-45-22-11-000-0682

Prepared by and return to:
Christopher R. Bruce, Esquire
Bruce Law Firm, P.A.
1601 Forum Place, Suite 1101
West Palm Beach, Florida 33401

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this 2nd day of August, 2017,

by **BERNARD EASTMAN and LISA EASTMAN**, husband and wife, residing at 69 Spanish Rive Drive, Boynton Beach, Florida, 33435, First Party

to **BERNARD EASTMAN**, a married man, residing at 69 Spanish Rive Drive, Boynton Beach, Florida, 33435, Second Party.

(Wherever used herein, the terms "First Party" and "Second Party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires).

WITNESSETH, that the said First Party, for and in consideration of the sum of TEN DOLLARS (\$10.00) and/or other valuable consideration, in hand paid by the said Second Party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said Second Party forever, all the right, title, interest, claim and demand (including any homestead rights) which the said First Party has in and to the following described lot, piece or parcel of land, together with the buildings and improvements thereon, situate, lying and being in the County of Palm Beach, State of Florida, to wit:

Lot 68, LESS the North ½ and Less the North 21 feet of the South ½ thereof, and all of Lot 69, INLET CAY, according to the Plat thereof, recorded in Plat Book 24, Page 222, of the Public Records of Palm Beach County, Florida.

Property Control Number: 46-43-45-22-11-000-0682

THIS DEED HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THEREFORE, THE PREPARER ASSUMES NO LIABILITY FOR ANY TITLE DEFECTS THAT WOULD HAVE BEEN DISCLOSED BY A TITLE SEARCH.

THIS CONVEYANCE IS BETWEEN SPOUSES IN AN ACTION FOR DISSOLUTION OF MARRIAGE AND PURSUANT TO THE PARTIES' MARITAL SETTLEMENT AGREEMENT IN THE 15TH CIRCUIT COURT IN PALM BEACH COUNTY, FLORIDA. THE ABOVE-DESCRIBED PROPERTY WAS THE MARITAL HOME OF THE PARTIES AND, AS SUCH, THIS CONVEYANCE IS EXEMPT FROM DOCUMENTARY STAMPS ACCORDING TO FLA. STAT. § 201.02 (7).

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of the said First Party, either in law or equity, to the only proper use, benefit and behalf of the said Second Party forever.

FURTHER, this deed is transferred pursuant to the divorce, and in accordance with Section 201.02(7) Florida Statutes and is exempt from documentary stamp tax.

IN WITNESS WHEREOF, the said First Party has signed and sealed these presents the day and year first above written.

Witnesses:

[Signature]
Christine Collett {print name}

[Signature]
LISA EASTMAN

[Signature]
Danielle Meadows {print name}

STATE OF FLORIDA
COUNTY OF Volusia

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared LISA EASTMAN known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same; that I relied upon the following form of identification of the above named person: Drivers Lic.; and that an oath was/was not taken.

WITNESS my hand and official seal in the County and State last aforementioned this 21 day of July, 2017.

[Signature]
Notary Public; State of Florida
Printed Name: Olivia Wetherell

My commission number is:



Witnesses:

[Signature]
ADAM S. GUMSON {print name}

[Signature]
BERNARD EASTMAN

[Signature]
JoAnn Frueh {print name}

STATE OF FLORIDA
COUNTY OF PALM BEACH

I HEREBY CERTIFY that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared **BERNARD EASTMAN** known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that she executed the same; that I relied upon the following form of identification of the above named person: _____, and that an oath was/was not taken.

WITNESS my hand and official seal in the County and State last aforementioned this 2nd day of August, 2017.



[Signature]
Notary Public; State of Florida
Printed Name: JoAnn Frueh

My commission number is:



MAJESTIC VIEWS

LANDSCAPE ARCHITECTS

January 22, 2024

Town of Ocean Ridge
6450 North Ocean Blvd
Ocean Ridge, FL 33435

**Re: Eastman Residence, 69 Spanish River, Ocean Ridge FL 33435
Existing Vegetation Assessment.**

To whom it may concern:

Per our site visit on January 12, 2024, to survey and assess the existing trees and palms, we located on the west property 1-Mimusops Tree (damaged) to be removed and 1-Tabebuia Tree specimen to be relocated, both trees are within the ROW and under overhead utilities and are required to be removed and relocated accordingly. On the south property 1-Green Buttonwood will remain and 3-Areca Palms within the ROW will be removed as required. All trees palms to remain will be trimmed, cleaned, shaped and fertilized accordingly.

We also located 2-Canary Date Palms and 1-Sylvestris Palm in the way of construction in the front and rear of the exist. residence that we recommend to relocate on the property. They will be preserved during demolition and relocated prior to commencement of construction as indicated on the landscape plan, see sheet LP-1 and LP-2.

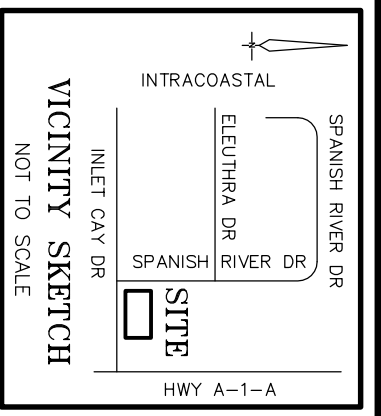
2-Adonidia Palms and 1—Areca Palm in the rear/east property in the way of new construction will be removed and replaced with proposed new palms and trees.

Due to the required finished floor 10.00 NGVD the existing grade will be raised by 4+ ft. thus requiring retaining walls and creating a hardship to relocate on site during site grading. If we cannot relocate after demolition and during grading we will replace with new additional palms for guarantee of survivability and cost effectiveness as indicated on our landscape plan.

If you have any questions and/or comments, please contact me at your earliest convenience, my cell is 561.312.1402.

Regards,

Louis Vlahos, Landscape Architect
Majestic Views, L.A., Inc.
LA #6666677, LC #26000319



Boundary Survey

for
VARGA HOMES, INC.

PROPERTY ADDRESS
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FL 33435

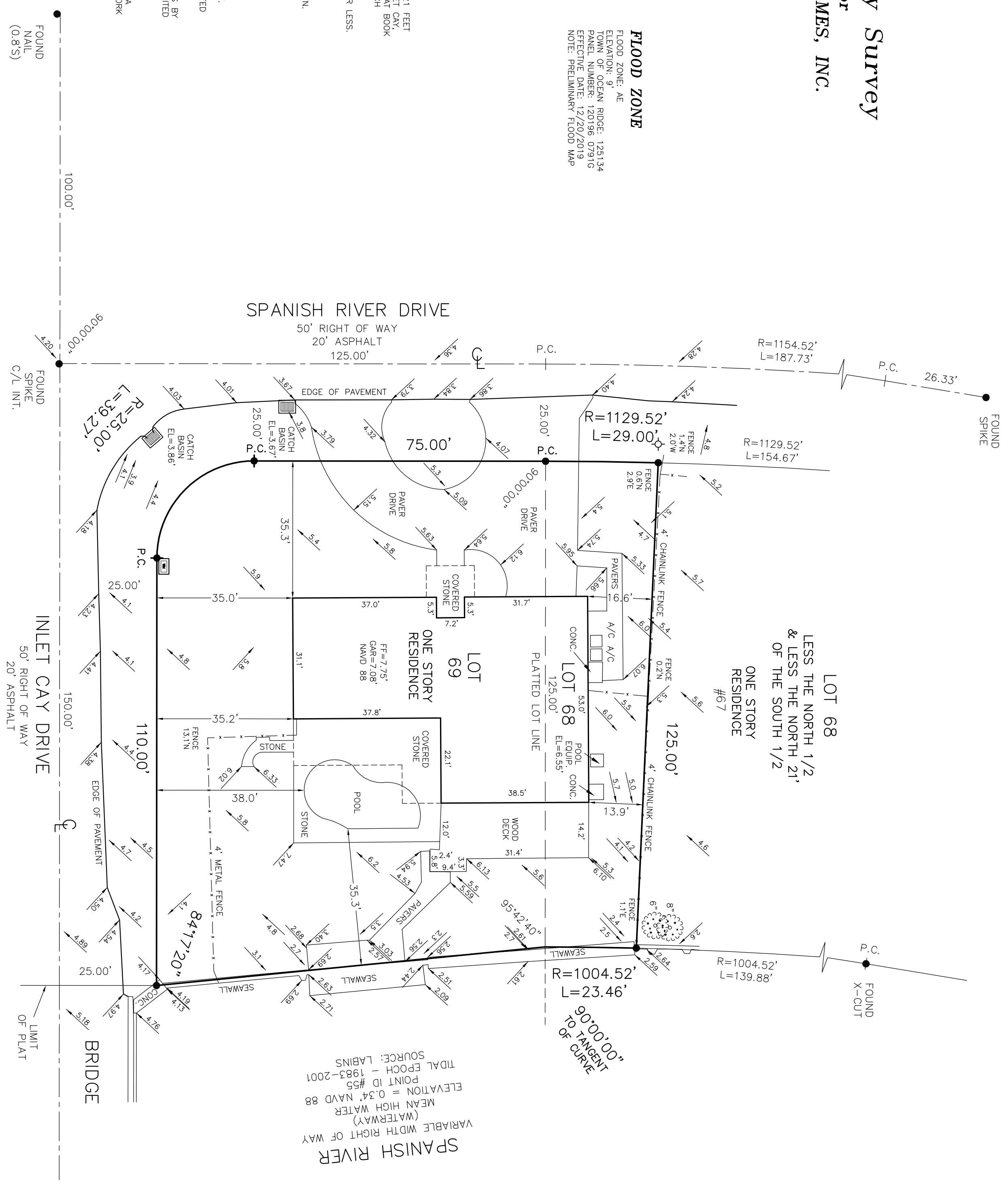
FLOOD ZONE
FLOOD ZONE: AE
ELEVATION: 9
TOWN OF OCEAN RIDGE: 125134
PANEL NUMBER: 120196 07916
EFFECTIVE DATE: 12/20/2019
NOTE: PRELIMINARY FLOOD MAP

LEGAL DESCRIPTION
LOT 68, LESS THE NORTH 1/2 AND LESS THE NORTH 21 FEET OF THE SOUTH 1/2 THEREOF AND ALL OF LOT 69, INLET CAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 222 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
CONTAINING 16144 SQUARE FEET, 0.37 ACRES, MORE OR LESS.

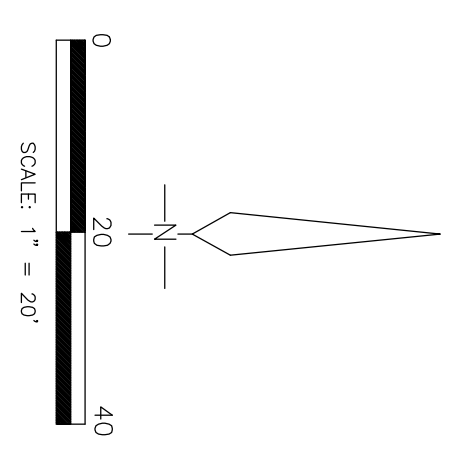
SURVEYOR'S NOTES
EXISTING IMPROVEMENTS NOT LOCATED EXCEPT AS SHOWN.
LEGAL DESCRIPTION PROVIDED BY CLIENT.
SURVEYOR HAS NOT ABSTRACTED THIS SURVEY FOR EASEMENTS AND RIGHTS OF WAYS OF RECORD.
SURVEY IS NOT VALID WITHOUT A RAISED SEAL.
BEARINGS, IF SHOWN, ARE BASED ON THE RECORD PLAT.
ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD, USING FEET.
ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
ELEVATIONS SHOWN HEREON ARE BASED ON THE FLORIDA DEPARTMENT OF TRANSPORTATION HIGH ACCURACY NETWORK NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) 1988.

CERTIFIED TO:
STEVE VARGA
VARGA HOMES, INC.

CERTIFICATION
I HEREBY CERTIFY THAT I MADE THIS SURVEY AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Robert A. Bugee
BY: ROBERT A. BUGEE, FLORIDA LAND SURVEYOR #3302
235 E. GATEWAY BLVD., BONNITON BEACH, FLORIDA
DATE OF FIELD SURVEY: 01/17/24
DWG # 1000220



SPANISH RIVER
VARIABLE WIDTH RIGHT OF WAY
(WATERWAY)
MEAN HIGH WATER
ELEVATION = 0.34' NAVD 88
POINT ID #55
TIDAL EPOCH - 1983-2001
SOURCE: LABINS



- LEGEND:**
- = IRON ROD AS NOTED
 - = CONCRETE
 - ASPH. = ASPHALT
 - (P) = PLAT
 - (D) = DEED
 - (M) = MEASURED
 - U.E. = UTILITY EASEMENT
 - D.E. = DRAINAGE EASEMENT
 - ☑ = WATER METER
 - ☑ = FIRE HYDRANT
 - ⊥ = GATE VALVE
 - ⊙ = WELL
 - ⊙ = WOOD UTILITY POLE
 - ⊙ = OVERHEAD WIRES
 - ☐ = CATCH BASIN
 - ☐ = ELECTRIC UTILITY
 - ☐ = SEWER MANHOLE
 - ☐ = SPOT ELEVATION
 - ☐ = CONCRETE UTILITY POLE
 - ☐ = LIGHT POLE
 - ☐ = CABLE TV UTILITY
 - ☐ = SEAGRASS TREE
 - ☐ = OAK TREE
 - ☐ = PALM TREE
 - ☐ = UNKNOWN SPECIES TREE

REVISED FIRM INFO, ADDED SQ FOOTAGE - 6/21/21

PREPARED BY:
Bob Bugee, Inc.
the "SURVEYOR"
P.O. BOX 3887
BONNITON BEACH, FLORIDA, 33426
SURVEY & MAPPING BUSINESS #7890
561-732-7877



298 Pineapple Grove Way - Delray Beach, FL 33444
Florida Certificate of Authorization #6506

SURFACE WATER MANAGEMENT CALCULATIONS


FOR

SINGLE FAMILY RESIDENCE 69 SPANISH RIVER DR OCEAN RIDGE, FL

January 2024

SITE AREA: AREA 0.37AC

Certified by:



Joseph A. Pike, P.E.
FL Registration No. 42696
EnviroDesign Associates, Inc.
Certificate of Authorization #6506

DRAINAGE CALCULATIONS

69 SPANISH RIVER DR - Job #21002

WATER QUALITY VOLUME:

BASED ON F.A.C. CHAPTER 62-302 & SFWMD BASIS OF REVIEW

GIVEN:

TOTAL SITE AREA	16145 sf
ROOF AREA	5001 sf
WATER SURFACE AREA	0 sf
PERMEABLE PAVER AREA	0 sf
WATER QUALITY SITE AREA	11144 sf (Total Site - water surface + roofs)
WATER QUALITY IMPERVIOUS AREA	3919 sf (W.Q. Site Area - Pervious)
50% PERMEABLE PAVER CREDIT	0 sf
WATER QUALITY PERVIOUS AREA	7225 sf (W.Q. Site Area - Impervious)
WATER QUALITY % IMPERVIOUS	35.2 % (Impervious / W.Q. Site Area)

REQUIRED STORAGE VOLUME: WET DETENTION VOLUME = 1" OVER TOTAL SITE AREA OR 2.5" OVER IMPERVIOUS AREA (IF SITE IS OVER 40% IMPERVIOUS, USE 2.5" OVER IMPERVIOUS)

→ **COMPUTE 1" OVER TOTAL SITE AREA:**

$$1\text{ in} * 16145 = 1345 \text{ cf} \quad (\text{THIS METHOD CONTROLS})$$

→ **COMPUTE 2.5" OVER % IMPERVIOUS AREA:**

$$2.5\text{ in} * 0.35 * 16145 = 1183 \text{ cf}$$

PER SFWMD SWERP APPLICANT'S HANDBOOK VOLUME II, 4.2.1

PROVIDE 100% FOR EXFILTRATION (exfil calcs includes 50% reduction & safety factor 2)

$$\text{WATER QUALITY VOLUME} = 1345 * 1 = 1345 \text{ cf}$$

REQUIRED VOLUME:

$$V = 1345 \text{ cf} = 0.37 \text{ Ac-In}$$

PROVIDED VOLUME:

$$V = 1423 \text{ cf} = 0.39 \text{ Ac-In}$$

see exfiltration trench calculations


EnviroDesign Associates inc.
 www.envdesign.com

EXFILTRATION TRENCH CALCULATIONS

69 SPANISH RIVER DR - Job #21002

L =	LENGTH OF TRENCH REQ'D (FT)	=	
V _{wq} =	WTR QUALITY VOLUME TO BE TREATED (AC-IN)	=	0.37
V _{add} =	ADD'L VOLUME TO BE TREATED (AC-IN)	=	0.00
W =	TRENCH WIDTH (FT)	=	4
H =	DEPTH TO WATER TABLE (FT)	=	3.25
D _u =	NON-SATURATED TRENCH DEPTH (FT)	=	2.5
D _s =	SATURATED TRENCH DEPTH (FT)	=	0.5
FS =	SAFETY FACTOR NOT LESS THAN 2	=	2
%WQ =	PERCENT REDUCTION IN WATER QUALITY	=	50
K =	HYDRAULIC CONDUCTIVITY (CFS/FT ² -FT HEAD)	=	1.72 X 10 ⁻⁴
OR K =		=	0.0002

STANDARD FORMULA:

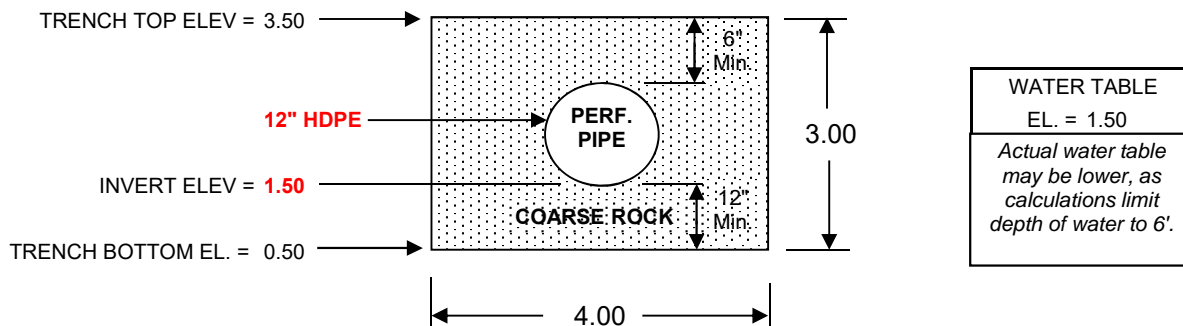
$$L = \frac{FS[(\%WQ)(V_{wq}) + V_{add}]}{K(HW + 2HD_u - D_u^2 + 2HD_s) + (1.39 \times 10^{-4}) w D_u} = 63.11 \text{ FEET}$$

[L_{wq} = 62.77 FT + L_{add} = 0.34 FT]

CONSERVATIVE FORMULA: (NOT APPLICABLE - STANDARD FORMULA APPLIES)

$$L = \frac{V}{K(2HD_u - D_u^2 + 2HD_s) + (1.39 \times 10^{-4}) w D_u} = \text{N/A}$$

STANDARD TRENCH DETAIL - REFER TO ENGINEERING PLANS FOR ACTUAL SPECIFICATIONS



THEREFORE, MIN. TRENCH LENGTH REQUIRED = 64 FEET
ACTUAL TRENCH LENGTH PROVIDED = 70 FEET
ACTUAL TREATMENT VOLUME PROVIDED=0.39 AC-IN OR 0.03 AC-FT
TRENCH DIMENSIONS: 4.00 FT. WIDE BY 3.00 FT. DEEP

*PERCENTAGE OF EXFILTRATION VOLUME CREDITED TOWARD STAGE-STORAGE: **100 %**

Report of Exfiltration Test

Client:	<u>Vargas Homes, Inc.</u>	Order No	<u>16666.10</u>
Project:	<u>Proposed Residence</u>	Report No	<u>1</u>
Location:	<u>69 Spanish River Drive</u>	Date:	<u>3/11/21</u>
	<u>Ocean Ridge, Florida</u>		
Test:	<u>Usual Open Hole Exfiltration Test</u>		
Surface Elevation:	<u>Approx. @ Road Crown</u>	Water table from ground surface:	<u>4'</u>
Casing Diameter:	<u>6"</u>		
Tube Depth:	<u>6'</u>		

Hydraulic Conductivity (K) = 1.72×10^{-4} cfs/ft²ft.head

EXFIL NO. 1	One Minute Increme	Pump Rate in Gal/Min
Sample Location: <u>Approx. as located on site plan.</u> Material: 0-6" TOPSOIL 6"-3' Lt. brown fine SAND 3'-6' Brown fibrous PEAT	1	2.0
	2	2.0
	3	2.0
	4	2.0
	5	2.0
	6	2.0
	7	2.0
	8	2.0
	9	2.0
	10	2.0



AERIAL PHOTOS OF PROPERTY

REVISIONS

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ALL IDEAS, DESIGN, ARRANGEMENTS, AND PLANS FOR THIS SITE OR REPRODUCED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF THIS OFFICE, AND SHALL BE KEPT CONFIDENTIAL AND NOT TO BE REPRODUCED, COPIED, OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF RWB LINARES ARCHITECTURE, INC.

EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

3000 N. MILITARY TRAIL, SUITE 209
BOCA RATON, FLORIDA 33432
PHONE: 561-391-0051 FAX: 561-391-0055
EMAIL: mail@rwb-linarch.com

RWB
L i n a r e s
ARCHITECTURE

PROJECT # 20-045

DATE February 7, 2024

SHEET #

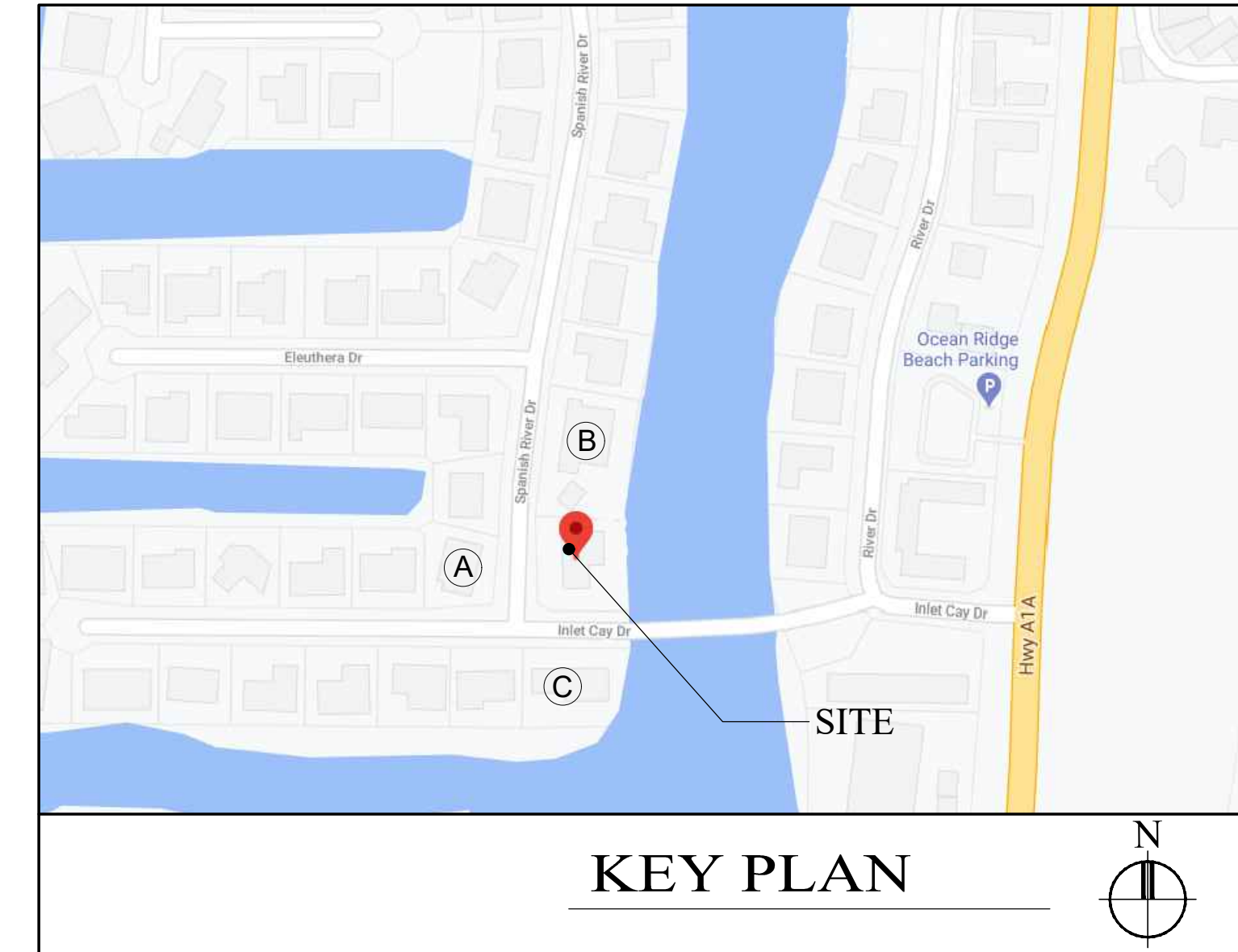
A1.3

AERIAL PHOTOS

REVISIONS

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ALL IDEAS, DESIGN, ARRANGEMENTS, AND PLANS SHOWN HEREIN OR REFERENCED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF THIS OFFICE, AND SHALL BE CREATED, EXERCISED, AND DEVELOPED FOR THE USE OF, AND IN CONNECTION WITH THE USE OF THIS PROJECT. NONE OF SUCH IDEAS, DESIGN, ARRANGEMENTS AND PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF RWB LINES ARCHITECTURE, INC.



KEY PLAN



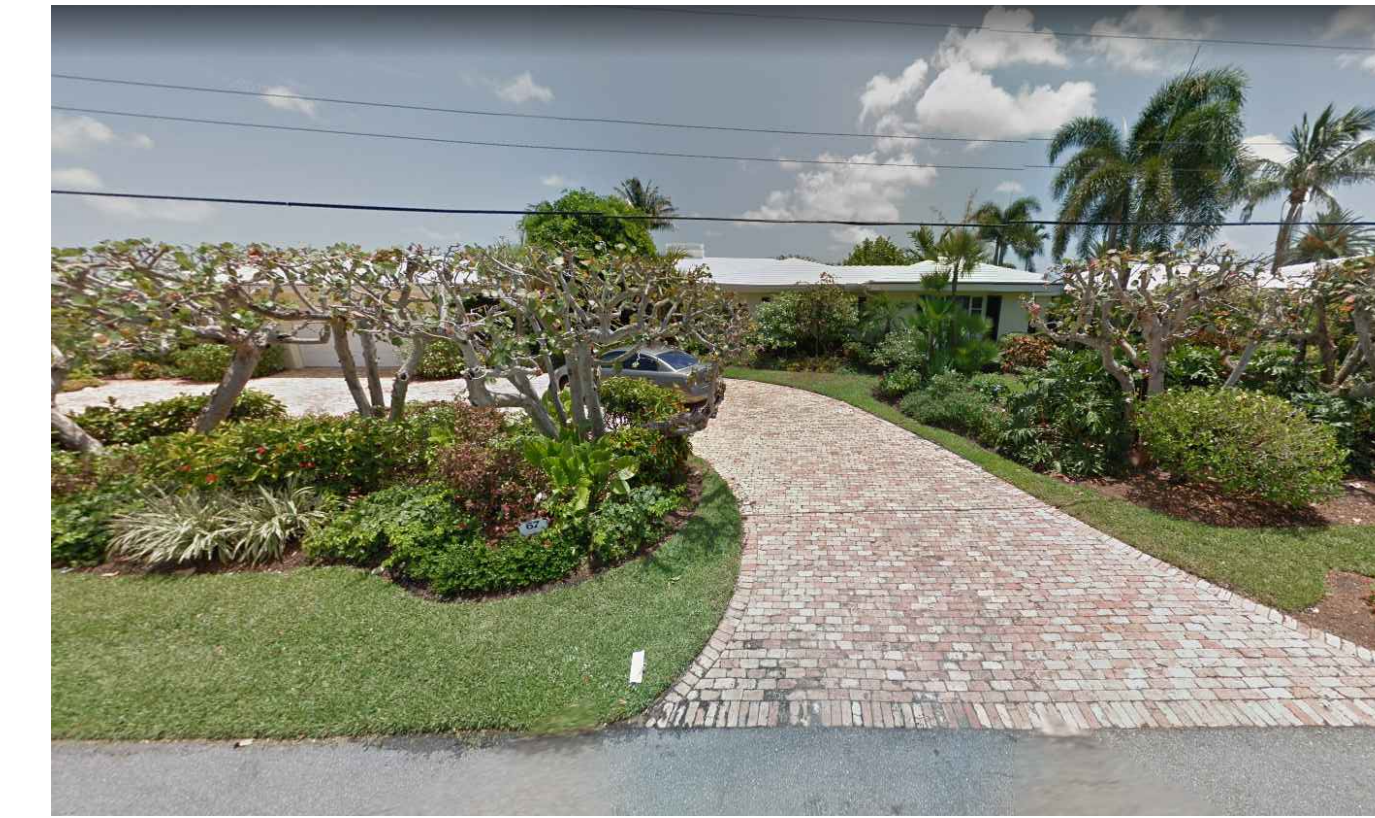
A 15 SPANISH RIVER DR



A 15 SPANISH RIVER DR



B 67 SPANISH RIVER DRIVE



B 67 SPANISH RIVER DRIVE

(WESTSIDE PROPERTY)

(NORTHSIDE PROPERTY)



C 1 INLET CAY DRIVE



C 1 INLET CAY DRIVE

(NORTHSIDE PROPERTY)

EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

3000 N. MILITARY TRAIL, SUITE 209
BOCA RATON, FLORIDA 33432
PHONE: 561-391-0051 FAX: 561-391-0055
EMAIL: mail@rwb-arch.com

RWB
L i n e s
ARCHITECTURE

PROJECT # 20-045

DATE February 7, 2024

SHEET #

A1.4
NEIGHBORHOOD
CONTEXT

REVISIONS

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ALL IDEAS, DESIGN, ARRANGEMENTS, AND PLANS SHOWN HEREIN OR REFERENCED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF THIS OFFICE, AND SHALL BE KEPT CONFIDENTIAL AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF RWB ARCHITECTURE, INC.



EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

3000 N. MILITARY TRAIL, SUITE 209
BOCA RATON, FLORIDA 33432
PHONE: 561-391-0051 FAX: 561-391-0055
EMAIL: mail@rwbarch.com

RWB
L i n e a r e s
ARCHITECTURE

PROJECT # 20-045
DATE February 7, 2024
SHEET #

A1.5
EXISTING AND PROPOSED CONSTRUCTION

AA26000640



SW 7006
Extra White
 Interior / Exterior
 Location Number: 257-C1

EXTERIOR WALL PAINT
 WALL FINISH
 ROOF FASCIA

SW 7006 EXTRA
 WHITE



ROOF TILE

BORAL CHARCOAL
 GREY



GARAGE DOOR

IMPACT GLASS
 GARAGE DOOR



SW 9556
Intrepid Grey
 Interior

EXTERIOR WALL PAINT
 WALL FINISH

SW 9556 INTREPID
 GREY



WINDOWS

PGT BRONZE



RAILING

FRAMELESS
 GLASS RAILING



EXTERIOR BRACKET
 WOOD FINISH

MAHOGANY WOOD
 BRACKET



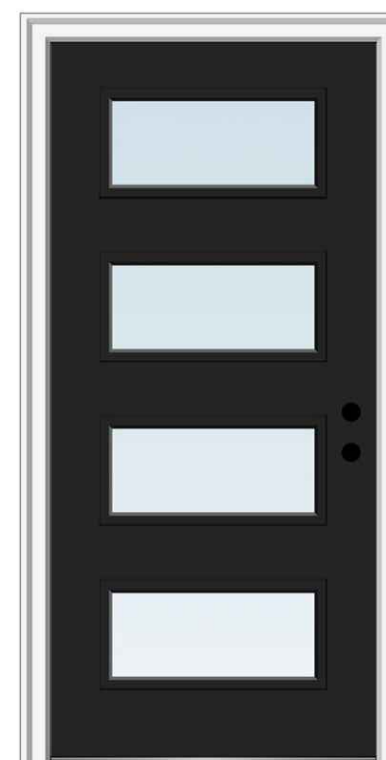
SLIDING GLASS DOOR

PGT BRONZE



PAVERS
 DRIVEWAY

12"X12" CORAL STONE
 CONCRETE PAVERS,
 GRAY COLOR



FRONT DOOR

SIW BRONZE
 HINGED DOOR



PAVERS
 POOL DECK

12"X24" NATURAL STONE
 OR PORCELAIN TILE

REVISIONS

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ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS
 FORMULATED OR REPRODUCED BY THIS OFFICE ARE
 OWNED BY AND PROPERTY OF THIS OFFICE, AND
 SHALL REMAIN THE PROPERTY OF THIS OFFICE,
 AND NO CONSTRUCTION SHALL BE MADE FROM
 THESE IDEAS, DESIGNS, ARRANGEMENTS, AND
 PLANS WITHOUT THE WRITTEN PERMISSION
 OF R.W.B. LINARES ARCHITECTURE, INC.

EASTMAN RESIDENCE
 69 SPANISH RIVER DRIVE
 OCEAN RIDGE, FLORIDA

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 EMAIL: mail@rwb-linarch.com

RWB
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 ARCHITECTURE

PROJECT # 20-045

DATE February 7, 2024

SHEET #

A1.6

EXTERIOR MATERIAL

REVISIONS

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HADDLESTON ART STUDIO, INC.

EASTMAN RESIDENCE ARTISTIC RENDERING - FRONT

EASTMAN RESIDENCE
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 ARCHITECTURE

PROJECT # 20-045

DATE February 7, 2024

SHEET #

A0.1

RENDERING

AA26000640



Huddleston Art Studio, Inc.

EASTMAN RESIDENCE ARTISTIC RENDERING - REAR LEFT

REVISIONS

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PROJECT # 20-045

DATE February 7, 2024

SHEET #

A0.2

RENDERING

AA26000640

REVISIONS

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HIDDLESTON ART STUDIO, INC.

EASTMAN RESIDENCE ARTISTIC RENDERING - REAR RIGHT

EASTMAN RESIDENCE
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PROJECT # 20-045

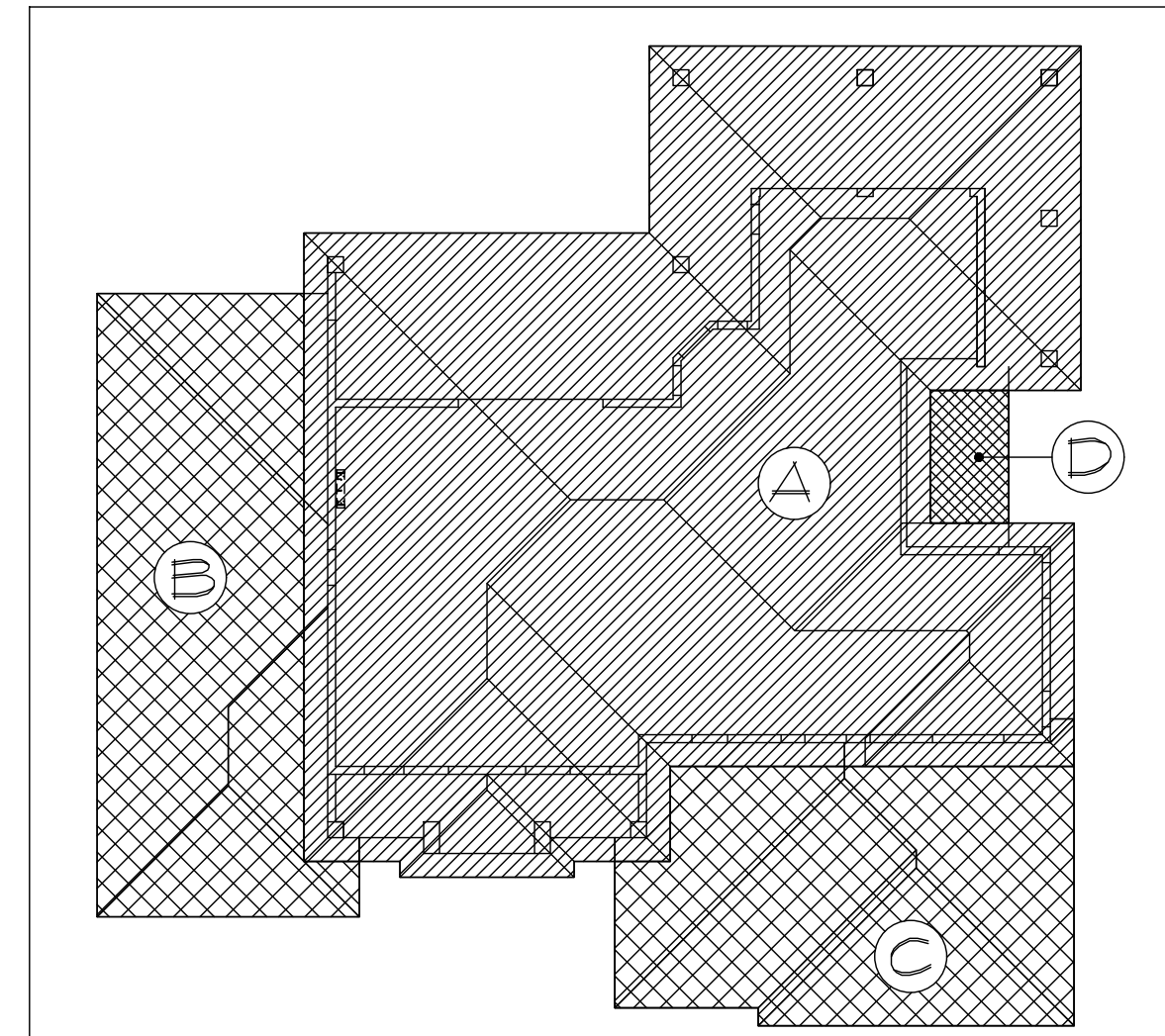
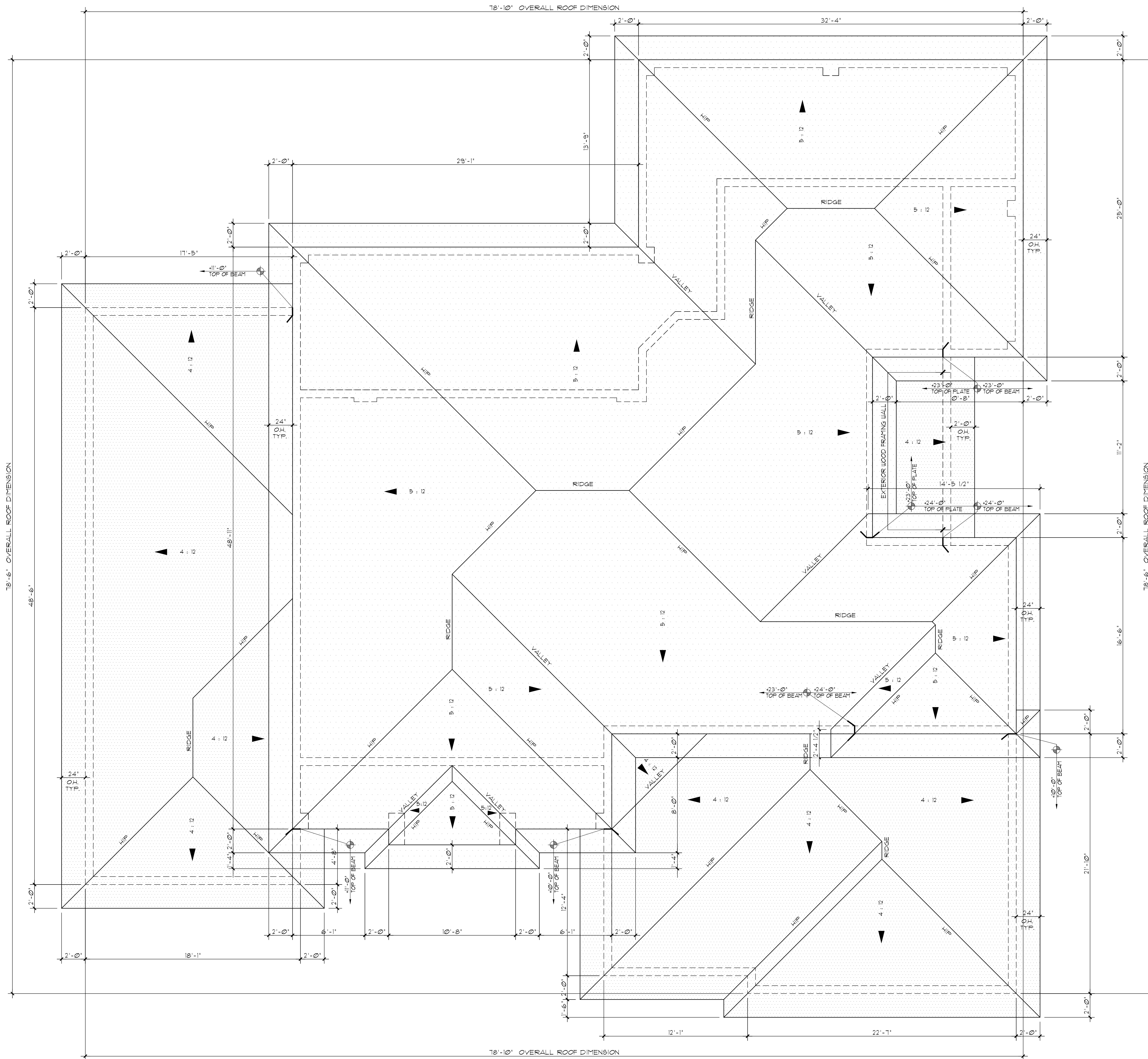
DATE February 7, 2024

SHEET #

A0.3

RENDERING

AA26000640



ROOF AREA CALCULATION

SYMBOL	PITCH ROOF AREA	PERCENT OF TOTAL ROOF AREA
(A)	AREA A = 3,623.00 SQ FT	66.82 %
(B)	AREA B = 936.00 SQ FT	17.26 %
(C)	AREA C = 189 SQ FT	3.55 %
(D)	AREA D = 74.00 SQ FT	1.37 %
TOTAL ROOF AREA		5,422.00 SQ FT

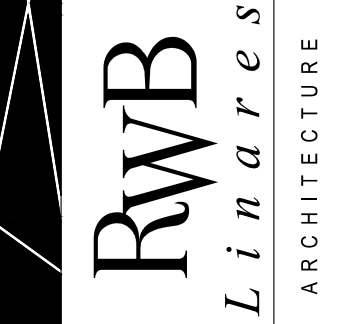
REVISIONS

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PROJECT # 20-045
 DATE February 7, 2024
 SHEET #

A2.0
 ROOF PLAN

ROOF PLAN
 SCALE: 1/4"=1'-0"

AA26000640

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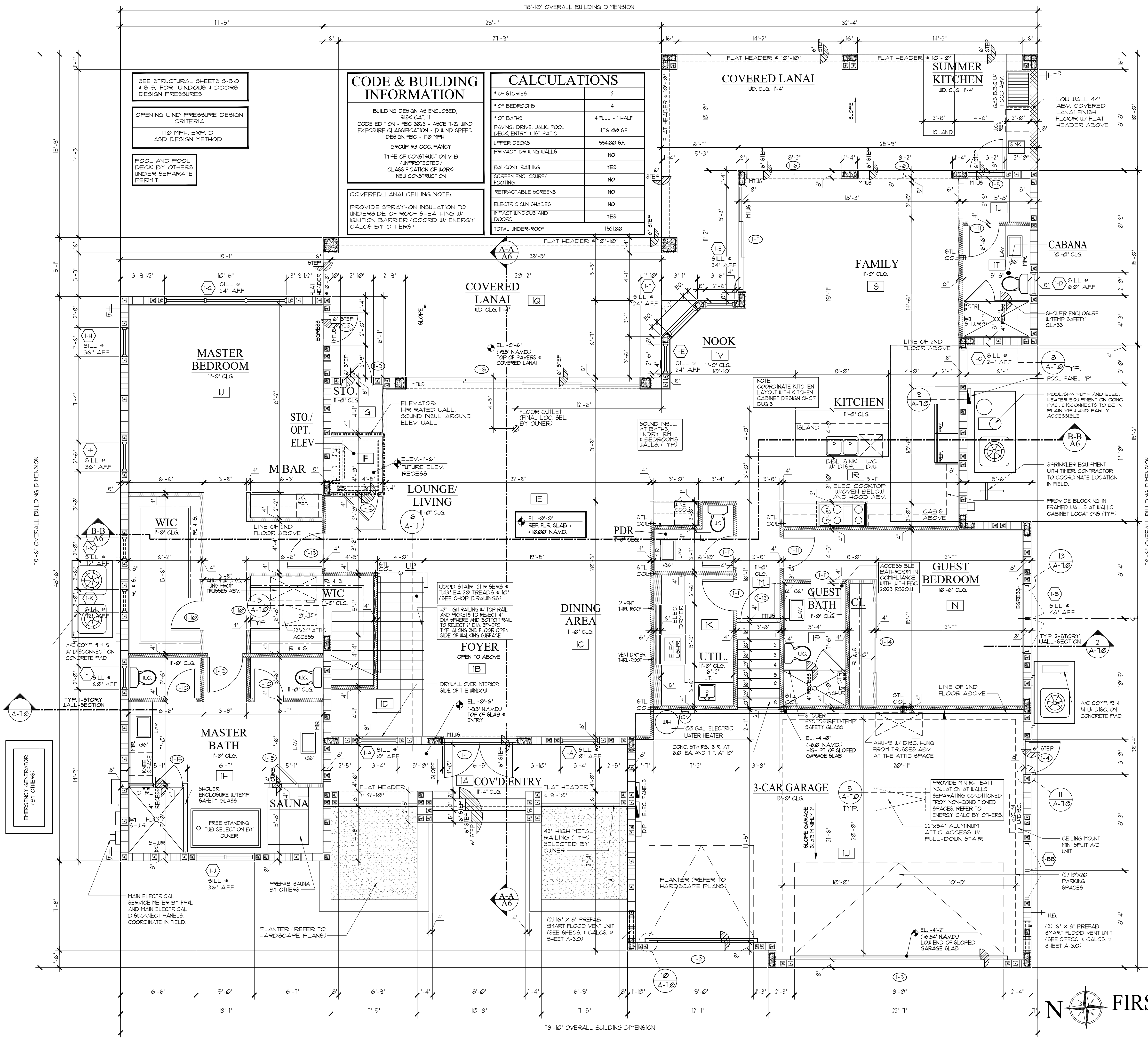
PROJECT # 20-045

DATE February 7, 2024

SHEET #

A3.0
 FIRST FLOOR PLAN

AA26000640



CODE & BUILDING INFORMATION

BUILDING DESIGN AS ENCLOSED, RISK CAT. II
 CODE EDITION - FBC 2023 - ASCE 1-22 WIND EXPOSURE CLASSIFICATION - D WIND SPEED DESIGN FBC - 110 MPH
 GROUP R3 OCCUPANCY
 TYPE OF CONSTRUCTION V-B (UNPROTECTED)
 CLASSIFICATION OF WORK: NEW CONSTRUCTION

COVERED LANAI CEILING NOTE:
 PROVIDE SPRAY-ON INSULATION TO UNDERSIDE OF ROOF SHEATHING W/ IGNITION BARRIER (COORD W/ ENERGY CALCS BY OTHERS)

CALCULATIONS

* OF STORIES	2
* OF BEDROOMS	4
* OF BATHS	4 FULL - 1 HALF
TRAVEL DRIVE WALK POOL DECK ENTRY 4:1ST RATIO	4,76,100 SF.
UPPER DECKS	994,000 SF.
FRIVACT OR WING WALLS	NO
BALCONY RAILING	YES
SCREEN ENCLOSURE/ FOOTING	NO
RETRACTABLE SCREENS	NO
ELECTRIC SUN SHADES	NO
IMPACT WINDOWS AND DOORS	YES
TOTAL UNDER-ROOF	1,521,000

FLOOR AREA CALCULATIONS
 PER SEC. 64-1 (1)

FIRST FLOOR:	
EX. COVID ENTRY	150.00 SF.
FOYER	141.00 SF.
DINING	146.00 SF.
STAIR/HALLWAY	134.00 SF.
LOUNGE/LIVING	370.00 SF.
ELEVATOR	21.00 SF.
STORAGE	24.00 SF.
MASTER BATH	22.00 SF.
MASTER BEDROOM	97.00 SF.
UTILITY	88.00 SF.
POUNDER	37.00 SF.
BEDRM. HALL	38.00 SF.
GUEST BEDROOM	278.00 SF.
GUEST BATH	63.00 SF.
COVERED LANAI	146.00 SF.
KITCHEN	298.00 SF.
FAMILY	54.00 SF.
CABANA BA	61.00 SF.
CABANA FOYER	28.00 SF.
NOOK	66.00 SF.
GARAGE	112.00 SF.
TOTAL 1ST FLOOR	4,726.00 SF.
TOTAL 1ST FLOOR (EXCLUDES COV. LANAI)	3,985.00 SF.
SECOND FLOOR:	
COVID BALCONY #1	157.00 SF.
BEDROOM #5	275.00 SF.
BATH #5	67.00 SF.
2ND FLR LIV. RM	308.00 SF.
MECL	47.00 SF.
ELEVATOR/HALLWAY	10.00 SF.
BEDRM HALLWAY & LINEN	13.00 SF.
VIP BEDROOM/SITTING	482.00 SF.
VIP BATH #3	163.00 SF.
BEDROOM #4	281.00 SF.
BATH #4	24.00 SF.
COVID BALCONY #2	837.00 SF.
TOTAL 2ND FLOOR + LOFT	2,790.00 SF.
SECOND FLOOR (EXCLUDES COVID LANAI)	10% OF FIRST FLOOR
TOTAL FAR FLOOR AREA (EXCLUDES COVID LANAI, COVID ENTRY AND BALCONIES)	5,632.00 SF.

WALL LEGEND :

- INTERIOR FRAME WALLS WITH SOUND INSULATION
- INTERIOR FRAME WALLS
- EXTERIOR CONCRETE BLOCK WALLS
- 1 HOUR FIRE RATED WALL

NOTE: STAIR TREADS REQUIRED TO BE 10 INCHES PLUS 1 INCH FINISH AS PER FBCR 301.5

NOTE: FLOOR AND PATIO SLAB FINISHED SURFACES TO BE SLOPED 1/8" PER FOOT MIN.

NOTE: AS PER FBC 107.9: RAILINGS, STAIR RAILINGS AND OTHER SIMILAR SAFEGUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 POUNDS PER LINEAR FOOT OR A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION.

NOTE: PROVIDE SONOGLARD WATERPROOFING SYSTEM OR EQUAL, TYP. FOR CONC. ROOFS, OVERHANGS, AND DECKS.

ROUGH OPENINGS: VERIFY ALL ROUGH OPENINGS AND MASONRY OPENING SIZES WITH MANUFACTURER'S PRODUCT SPECIFICATIONS.

NOTE: ALL EQUIPMENT CONCRETE PADS TO BE AT BASE FLOOD ELEVATION, TYP.

GARAGE NOTES: AS PER FBC 2023 SECTION R307.6: THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT. GARAGE BENEATH HABITABLE ROOMS TO HAVE SPRAY-ON FOAM INSULATION OF R20 AT CEILING PER ENERGY CODE FORK. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS.

GARAGE FLOOD PROTECTION: 1 SQ. IN. OF OPENING FOR EVERY 1 SQ. FEET OF GARAGE AREA BELOW THE FEMA BASE FLOOD ELEVATION, PER PALM BEACH COUNTY REGULATION, BASE FLOOD ELEVATION 9'-0" N.A.V.D. (+1'-0" AT COASTAL ZONES); 10'-0" N.A.V.D. SITE UNDER FEMA FIRMED ZONE AE, PER FLOOD INSURANCE RATE MAP / DEC. 2019 2-CAR GARAGE (112 SF. = 112 SQ. IN. REQUIRED) 112 SQ. INCHES OF FLOOD VENT PROVIDED, EACH PREFAB. VENT = 200 SQ. FT. OF FLOOD VENT PROTECTION USE (4) 16" X 8" SMART VENT MODEL: B-40-920 (SEE SPEC.)

ELEVATOR NOTE: ELEVATOR COMPONENTS LOCATED BELOW DESIGN FLOOR ELEVATION (BASE FLOOD ELEVATION +1) SHOULD BE CONSTRUCTED OF FLOOD-DAMAGE-RESISTANT MATERIALS AND BE DESIGNED TO RESIST PHYSICAL DAMAGE DURING FLOODING, ACCORDANCE WITH FEMA TECHNICAL BULLETIN.

NOTE: FLOORING TO BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.

CLOSET DESIGN BY OTHERS, VERIFY WITH INTERIOR DESIGNER.

NOTE: PROVIDE SOUND INSULATION AT BEDROOMS, BATHROOMS, LAUNDRY, ELEVATOR AND MECHANICAL WALLS.

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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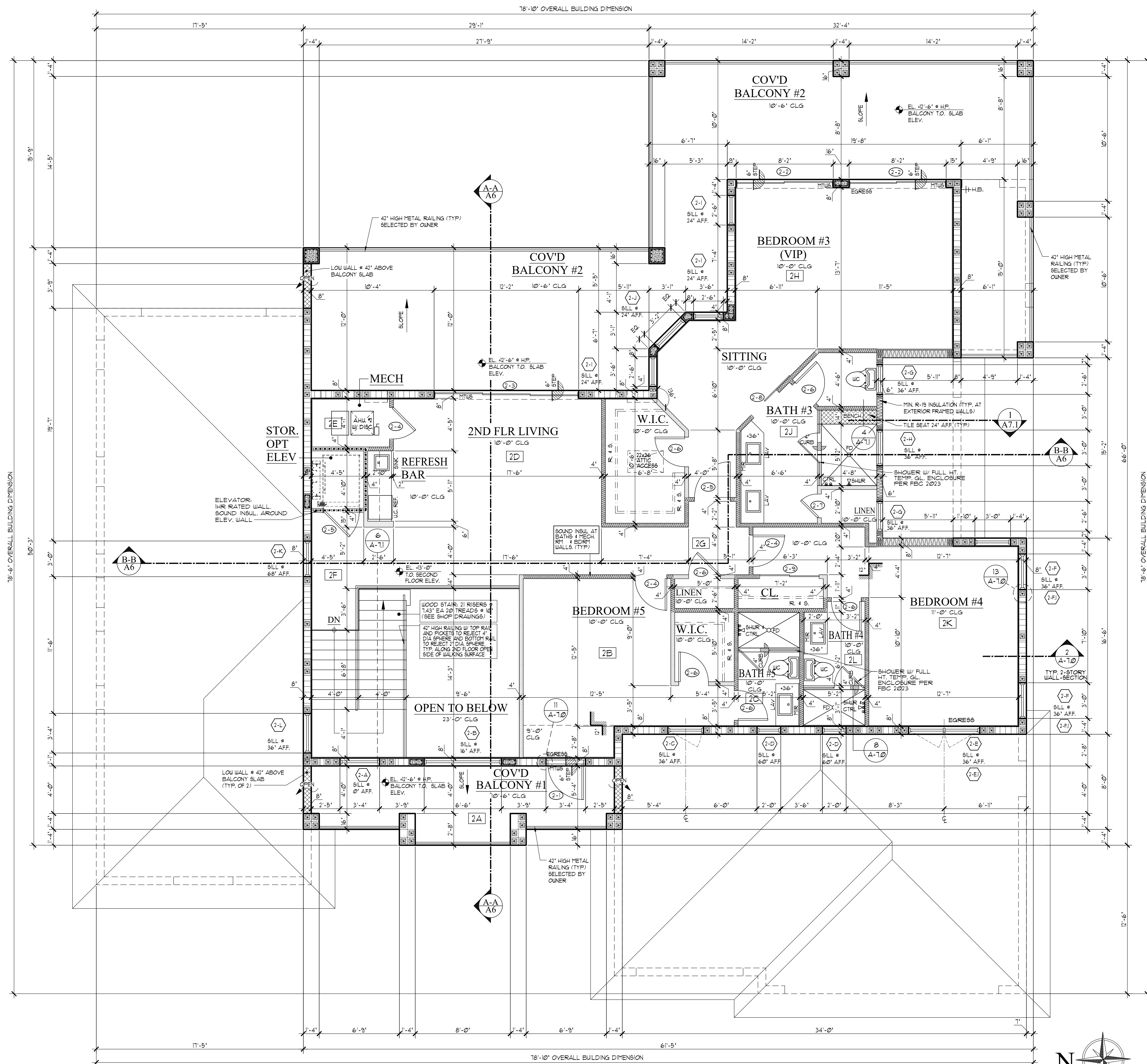
PROJECT # 20-045

DATE February 7, 2024

SHEET #

A4.0
 SECOND FLOOR PLAN

AA26000640



FLOOR AREA CALCULATIONS	
PER SEC. 64-1 (1)	
FIRST FLOOR:	
1A EX. COVD ENTRY	= 150.00 SF.
1B FOYER	= 141.00 SF.
1C DINING	= 146.00 SF.
1D STAIR/HALLWAY	= 124.00 SF.
1E LOUNGE/LIVING	= 310.00 SF.
1F ELEVATOR	= 21.00 SF.
1G STORAGE	= 24.00 SF.
1H MASTER BATH	= 22.00 SF.
1I MASTER BEDROOM	= 97.00 SF.
1J UTILITY	= 88.00 SF.
1K POWDER	= 37.00 SF.
1L BEDRM. HALL	= 38.00 SF.
1M GUEST BEDROOM	= 279.00 SF.
1N GUEST BATH	= 63.00 SF.
1O COVERED LANAI	= 746.00 SF.
1P KITCHEN	= 298.00 SF.
1Q FAMILY	= 54.00 SF.
1R CABANA BA.	= 67.00 SF.
1S CABANA FOYER	= 28.00 SF.
1T NOOK	= 66.00 SF.
1U GARAGE	= 712.00 SF.
TOTAL 1ST FLOOR	= 4726.00 SF.
TOTAL 1ST FLOOR (EXCLUDES COVD. LANAI)	= 3,985.00 SF.
SECOND FLOOR:	
2A COVD BALCONY #1	= 157.00 SF.
2B BEDROOM #5	= 275.00 SF.
2C BATH #5	= 62.00 SF.
2D 2ND FLR LIVIN	= 308.00 SF.
2E MECH	= 42.00 SF.
2F ELEVATOR/HALLWAY	= 70.00 SF.
2G BEDRM HALLWAY 4 LINEN	= 73.00 SF.
2H VIP BEDROOM/SITTING	= 482.00 SF.
2I VIP BATH #3	= 163.00 SF.
2J BEDROOM #4	= 287.00 SF.
2K BATH #4	= 24.00 SF.
2L COVD BALCONY #2	= 837.00 SF.
TOTAL 2ND FLOOR + LOFT	= 2,790.00 SF.
SECOND FLOOR (EXCLUDES COVD LANAI)	= 70% OF FIRST FLOOR
TOTAL F.A.R. FLOOR AREA (EXCLUDES COVD LANAI, COVD ENTRY AND BALCONES)	= 5,631.00 SF.

WALL LEGEND :	
	INTERIOR FRAME WALLS WITH SOUND INSULATION
	INTERIOR FRAME WALLS
	EXTERIOR CONCRETE BLOCK WALLS
	1 HOUR FIRE RATED WALL



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

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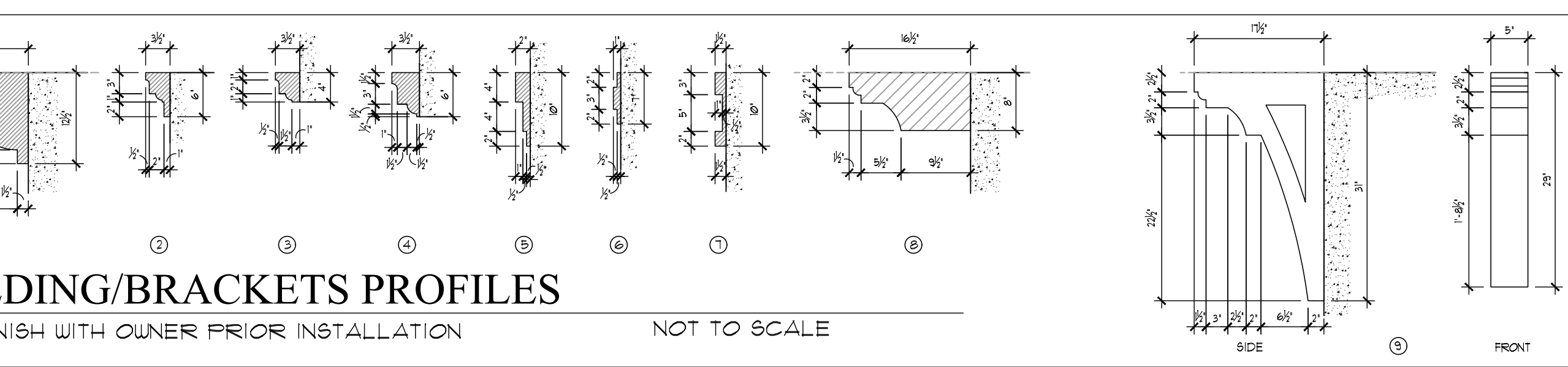
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ELEVATIONS

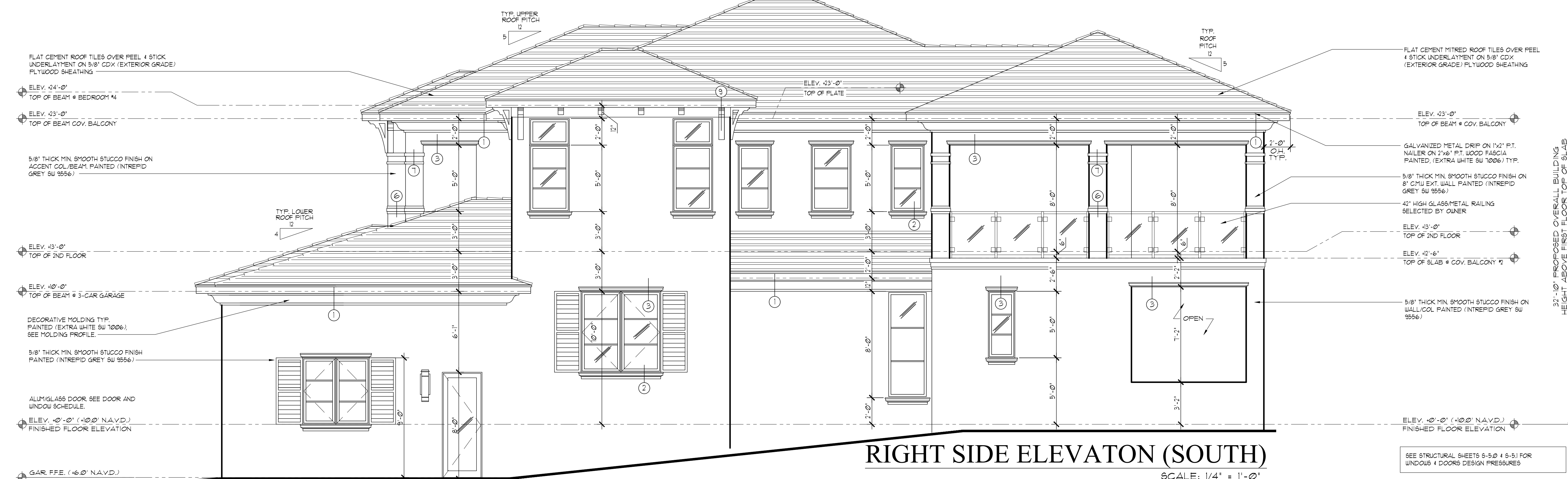
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FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



MOULDING/BRACKETS PROFILES
VERIFY FINISH WITH OWNER PRIOR INSTALLATION



RIGHT SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

FLAT CEMENT ROOF TILES OVER PEEL & STICK UNDERLAYMENT ON 5/8" CDX (EXTERIOR GRADE) PLYWOOD SHEATHING

5/8" THICK MIN. SMOOTH STUCCO FINISH ON COL. WALL PAINTED (INTREPID GREY SW 9556)

ELEV. +23'-0" TOP OF BEAM # COV. BALCONY

42" HIGH GLASS/METAL RAILING SELECTED BY OWNER (TYP.)

FLAT CEMENT ROOF TILES OVER PEEL & STICK UNDERLAYMENT ON 5/8" CDX (EXTERIOR GRADE) PLYWOOD SHEATHING

ELEV. +13'-0" TOP OF 2ND FLOOR

ELEV. +2'-6" TOP OF COV. BALCONY #1

ELEV. +11'-0" TOP OF BEAM # M. BATH

GALVANIZED METAL DRIP ON 1/2" P.T. NAILER ON 2x6" P.T. WOOD FASCIA PAINTED (TYP.)

WALL MOUNTED EXTERIOR LIGHT FIXTURE SELECTED BY OWNER/G.C.

ALUM/GLASS WINDOW TYP. SEE WINDOW SCHEDULE

5/8" THICK MIN. SMOOTH STUCCO FINISH ON ACCENT WALL PAINTED (INTREPID GREY SW 9556)

ELEV. +0'-0" (+10'0" N.A.V.D.) FINISHED FLOOR ELEVATION

ELEV. +0'-6" TOP OF SLAB # COV. ENTRY

ELEV. +33'-0" MAX. ALLOWABLE BLDG HEIGHT AFF.

FLAT CEMENT ROOF TILES OVER PEEL & STICK UNDERLAYMENT ON 5/8" CDX (EXTERIOR GRADE) PLYWOOD SHEATHING

GALVANIZED METAL DRIP ON 1/2" P.T. NAILER ON 2x6" P.T. WOOD FASCIA PAINTED (EXTRA WHITE SW 1006) TYP.

ELEV. +24'-0" TOP OF BEAM # BEDROOM #4

ELEV. +23'-0" TOP OF BEAM # BEDROOM #5

5/8" THICK MIN. SMOOTH STUCCO FINISH ON ACCENT COL./BEAM PAINTED (INTREPID GREY SW 9556)

ALUM/GLASS WINDOW SEE WINDOW SCHEDULE

DECORATIVE WINDOW SHUTTER PAINTED (EXTRA WHITE SW 1006) SELECTED BY GC/ OWNER

ELEV. +13'-0" TOP OF 2ND FLOOR

ELEV. +10'-0" TOP OF BEAM # 3-CAR GARAGE

DECORATIVE MOLDING TYP. PAINTED (EXTRA WHITE SW 1006) SEE MOLDING PROFILE

5/8" THICK MIN. SMOOTH STUCCO FINISH ON 8" CMU EXT. WALL PAINTED (INTREPID GREY SW 9556)

WALL MOUNTED EXTERIOR LIGHT PER OWNER (TYP.)

9'-0" H. OVERHEAD GARAGE DOOR PER OWNER (TYP.)

ELEV. +0'-0" (+10'0" N.A.V.D.) FINISHED FLOOR ELEVATION

GAR. F.F.E. (+6'0" N.A.V.D.)

SEE STRUCTURAL SHEETS S-5.0 & S-5.1 FOR WINDOWS & DOORS DESIGN PRESSURES

32'-10" PROPOSED OVERALL BUILDING HEIGHT ABOVE FIRST FLOOR TOP OF SLAB

33'-0" ALLOWABLE BUILDING HEIGHT ABOVE FINISH FLOOR

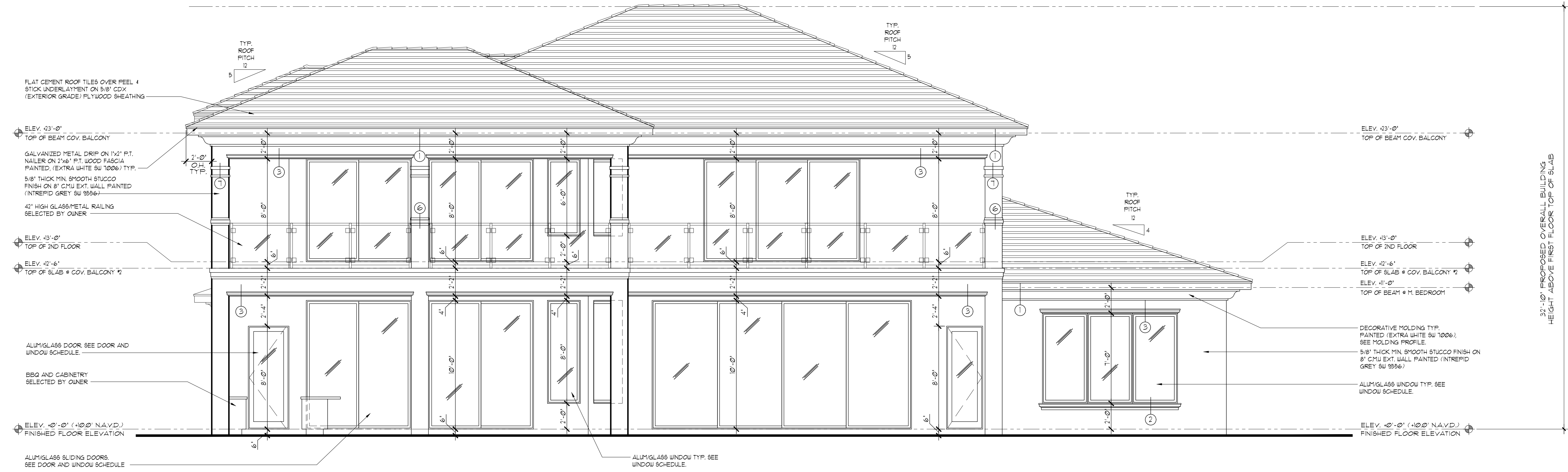
32'-10" PROPOSED OVERALL BUILDING HEIGHT ABOVE FIRST FLOOR TOP OF SLAB

REVISIONS

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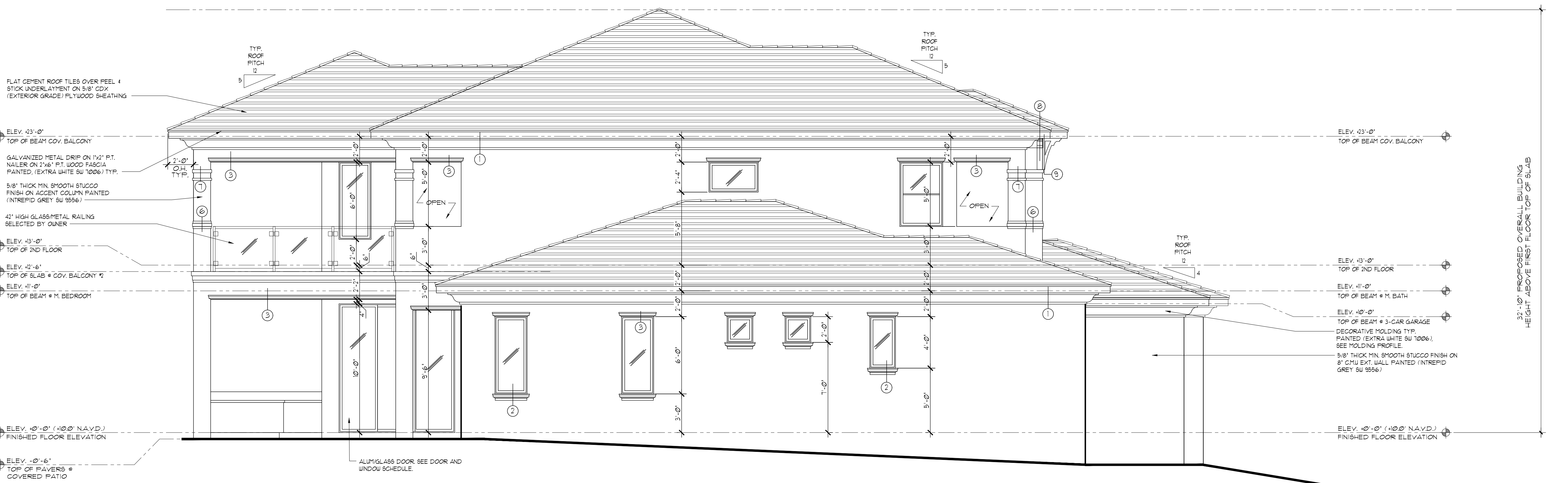
EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA



REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

SEE STRUCTURAL SHEETS 9-5.0 & 9-5.1 FOR WINDOWS & DOORS DESIGN PRESSURES



LEFT SIDE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"

SEE STRUCTURAL SHEETS 9-5.0 & 9-5.1 FOR WINDOWS & DOORS DESIGN PRESSURES

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PROJECT # 20-045

DATE February 7, 2024

SHEET #

A5.1

ELEVATIONS

AA26000640

REVISIONS

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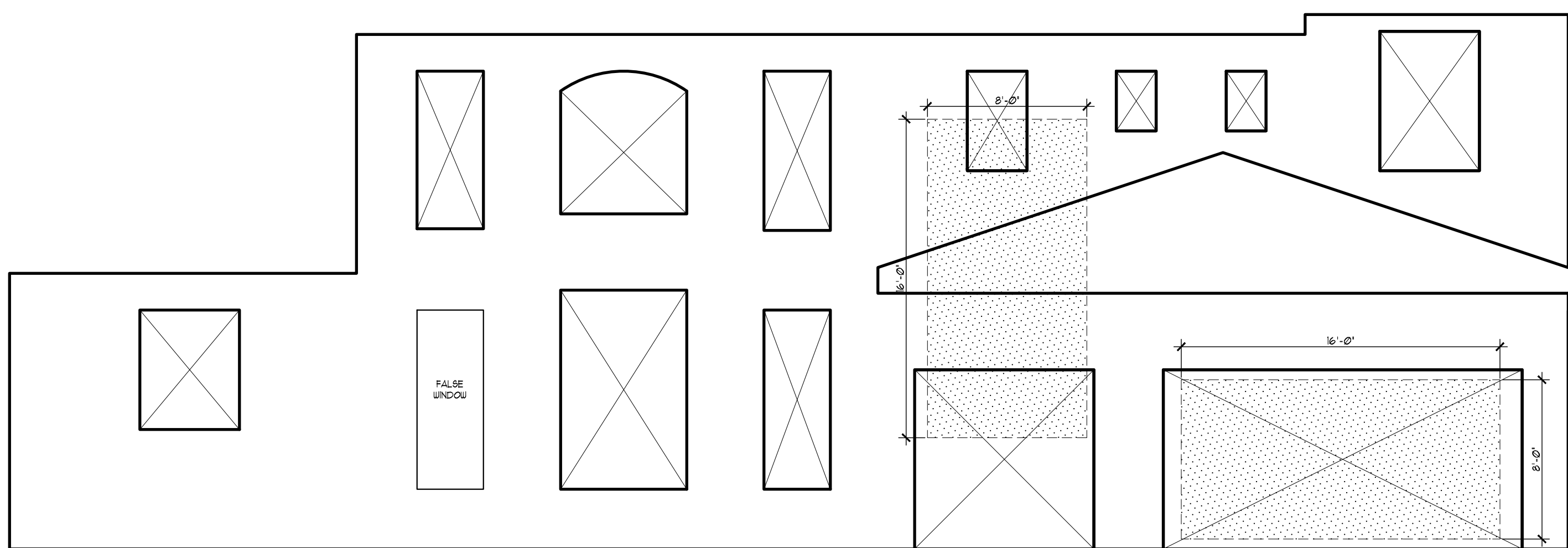
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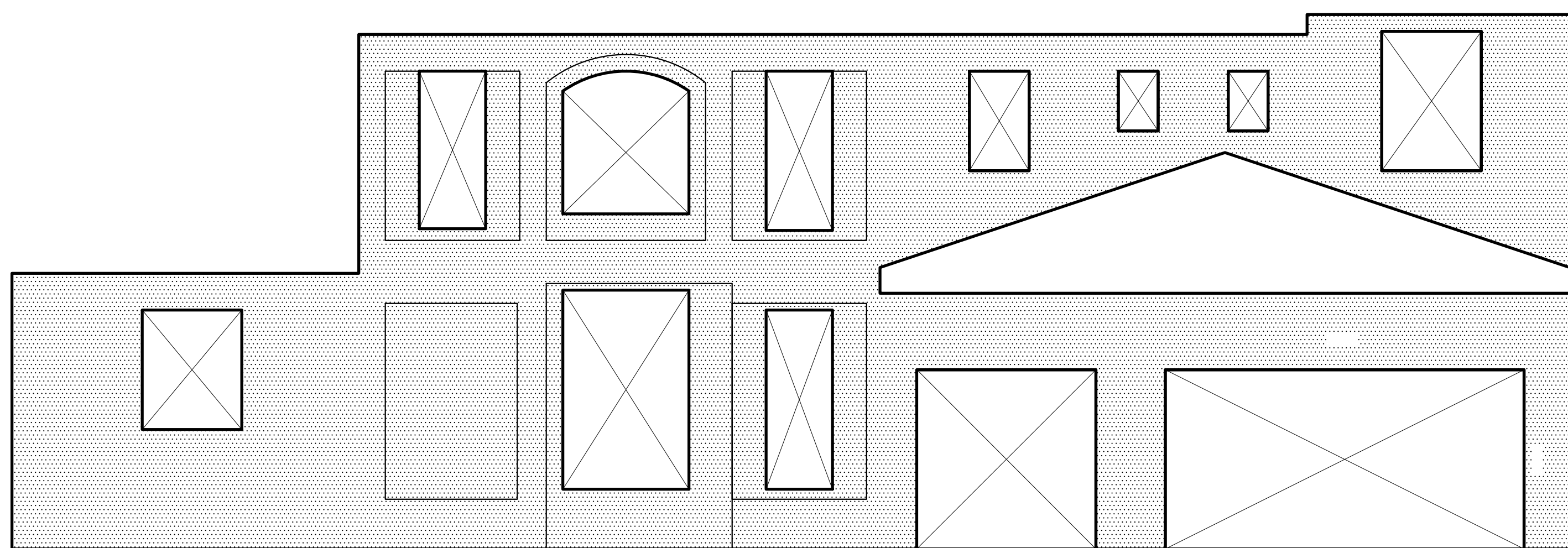
FRONT ELEVATION (WEST)
 SCALE: 1/4" = 1'-0"

SEE STRUCTURAL SHEETS S-5.0 & S-5.1 FOR WINDOWS & DOORS DESIGN PRESSURES



FRONT ELEVATION (NORTH)
 SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)



FRONT ELEVATION (NORTH)
 SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)
 AREA OF WINDOWS AND DOORS: 26.3 + 39 + 26.6 + 15 + 6 + 6 + 35 + 81 + 162 = 396.9 S.F.
 AREA OF FRONT ELEVATION: 1,682 S.F.
 WINDOWS AND DOOR COVERAGE (FRONT ELEVATION ONLY):
 396.9 S.F./1,682 S.F = 21.7% PROVIDED (15% MINIMUM REQUIRED)

3000 N. MILITARY TRAIL, SUITE 209
 BOCA RATON, FLORIDA 33432
 PHONE: 561-391-0051 FAX: 561-391-0055
 EMAIL: mail@rwb-arch.com

RWB
Linars
 ARCHITECTURE

PROJECT # 20-045
 DATE February 7, 2024
 SHEET #

WD-1

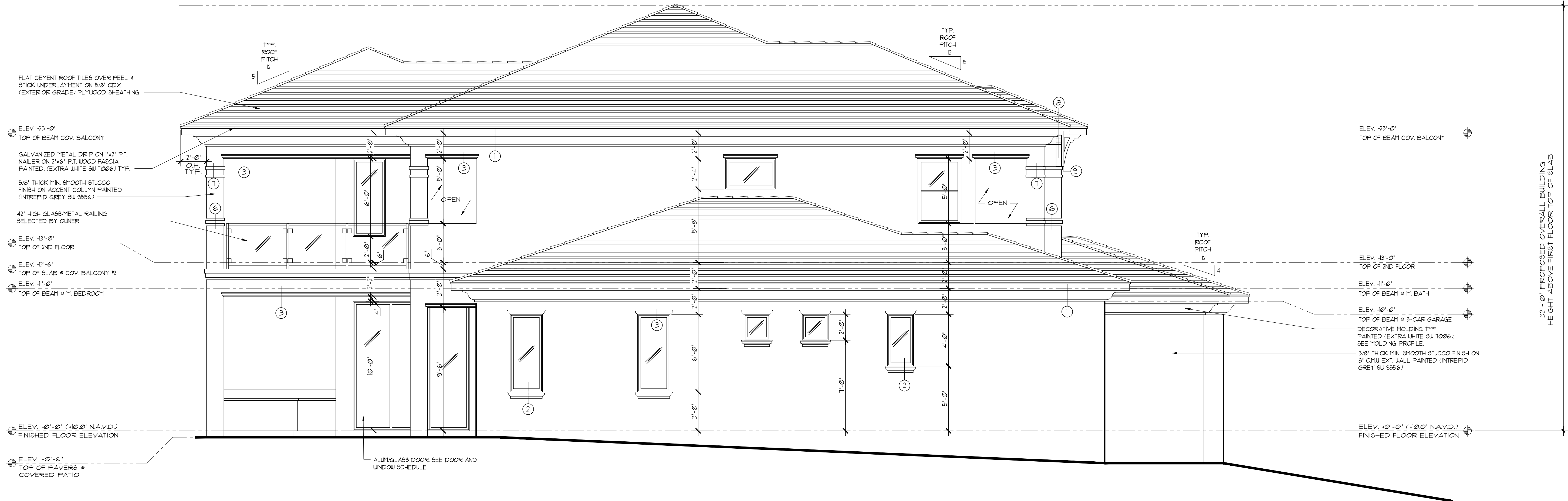
PROPOSED WALL/WINDOW/DOOR COVERAGE

REVISIONS

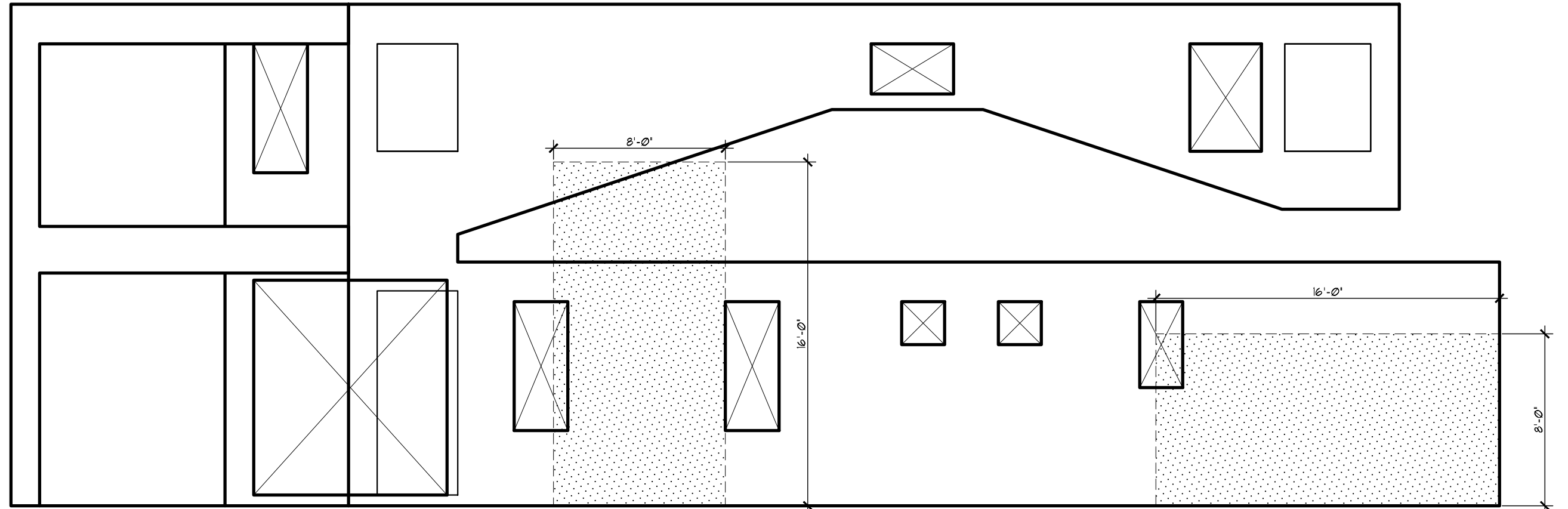
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EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

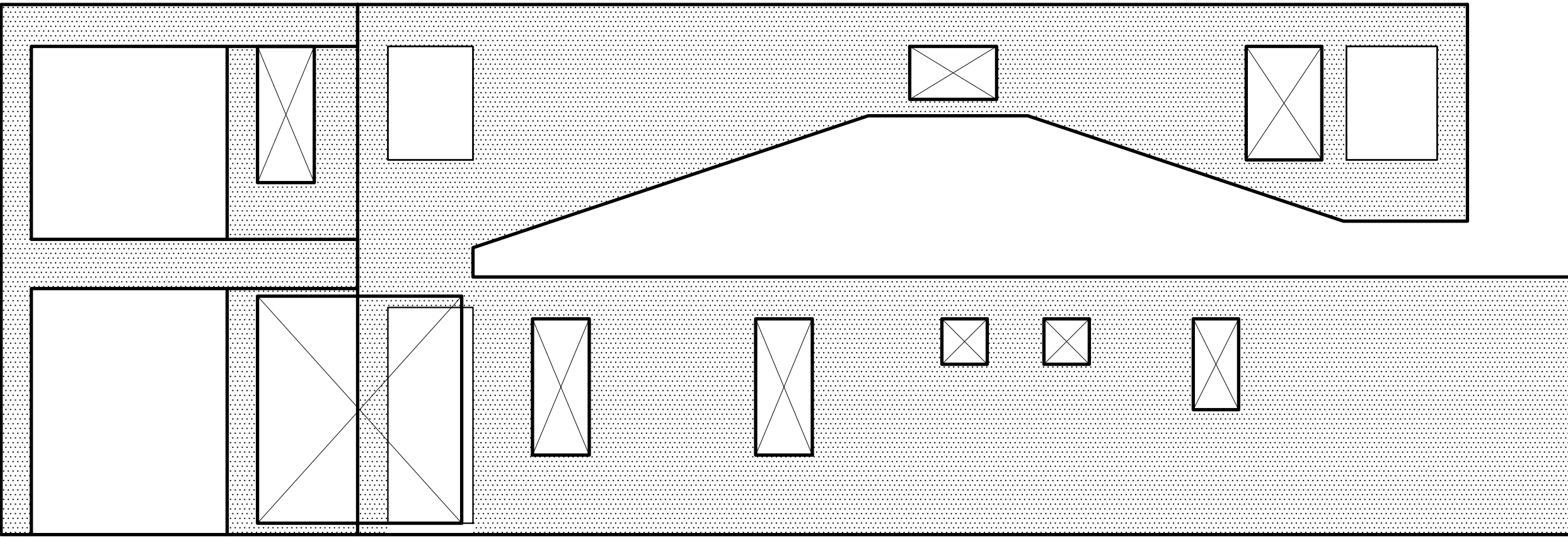


LEFT SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)



LEFT SIDE ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)
AREA OF WINDOWS AND DOORS: 90 + 15 + 15 + 4 + 4 + 8 + 9 + 17 + 16 = 176 S.F.
AREA OF LEFT SIDE ELEVATION; 1,040 S.F.
WINDOWS AND DOOR COVERAGE (LEFT ELEVATION ONLY):
176 S.F./1,040 S.F = 16.9% PROVIDED (15% MINIMUM REQUIRED)

3000 N. MILITARY TRAIL - SUITE 209
BOCA RATON, FLORIDA 33432
PHONE: 561-391-0051 FAX: 561-391-0055
EMAIL: mail@rwb-arch.com

RWB
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ARCHITECTURE

PROJECT # 20-045
DATE February 7, 2024
SHEET #

WD-2

PROPOSED
WALL/WINDOW/DOOR
COVERAGE

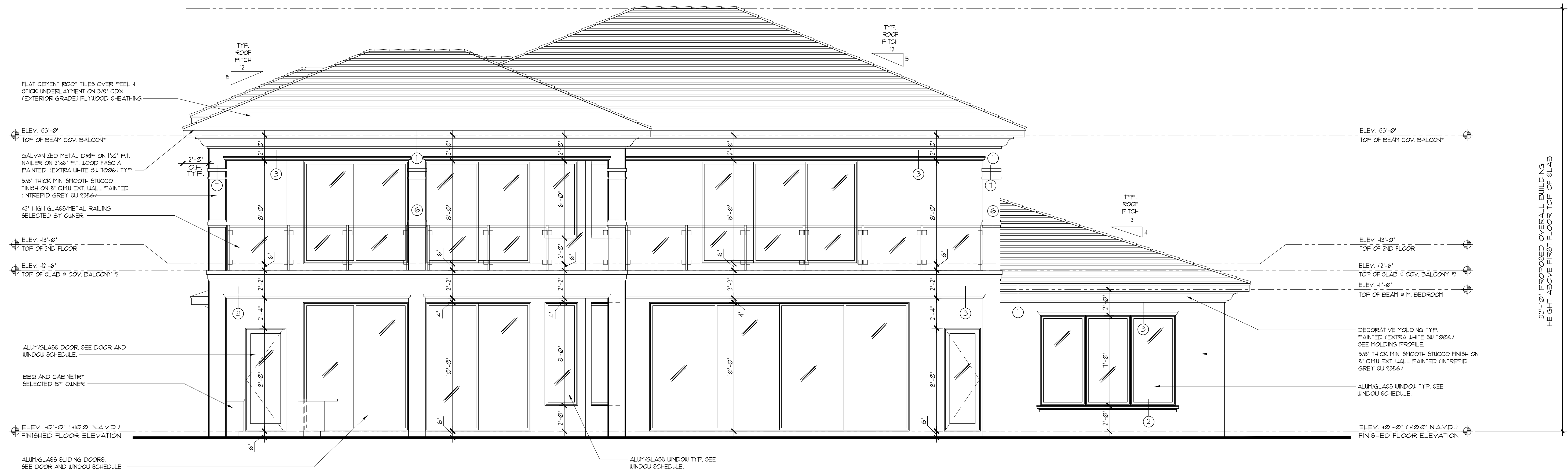
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REVISIONS

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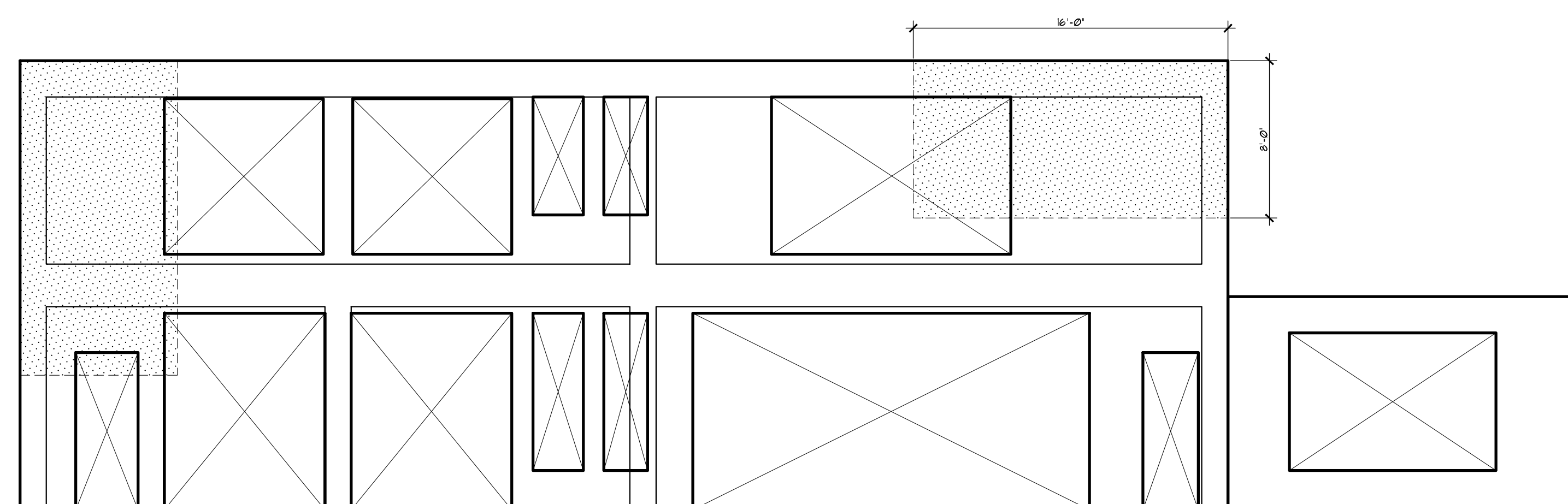
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EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA



REAR ELEVATON (EAST)

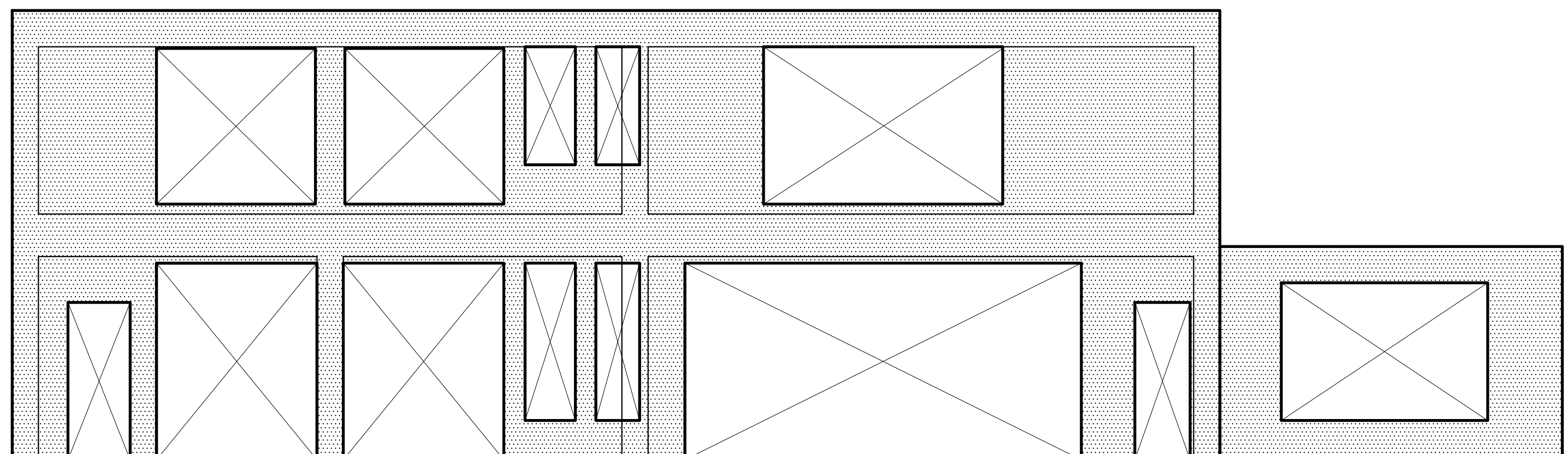
SCALE: 1/4" = 1'-0"



REAR ELEVATON (EAST)

SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)



REAR ELEVATON (EAST)

SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)
 AREA OF WINDOWS AND DOORS: 25 + 82 + 82 + 20 + 20 + 202 + 23 + 74 + 64 + 64 + 16 + 16 + 98 = 786 S.F.
 AREA OF REAR ELEVATION; 1,631 S.F.
 WINDOWS AND DOOR COVERAGE (REAR ELEVATION ONLY):
 786 S.F./1,631 S.F = 48.2% PROVIDED (15% MINIMUM REQUIRED)

3000 N. MILITARY TRAIL - SUITE 209
BOCA RATON, FLORIDA 33432
PHONE: 561-391-0051 FAX: 561-391-0055
EMAIL: mail@rwb-arch.com

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ARCHITECTURE

PROJECT # 20-045
DATE February 7, 2024
SHEET #

WD-3

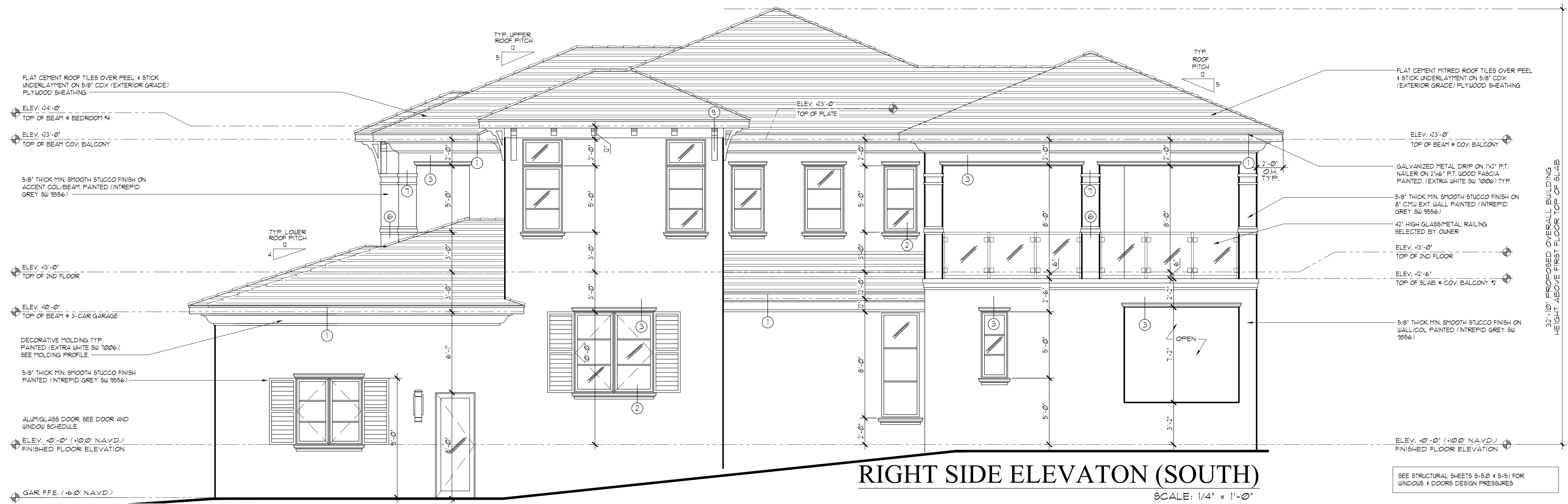
PROPOSED WALL/WINDOW/DOOR COVERAGE

AA26000640

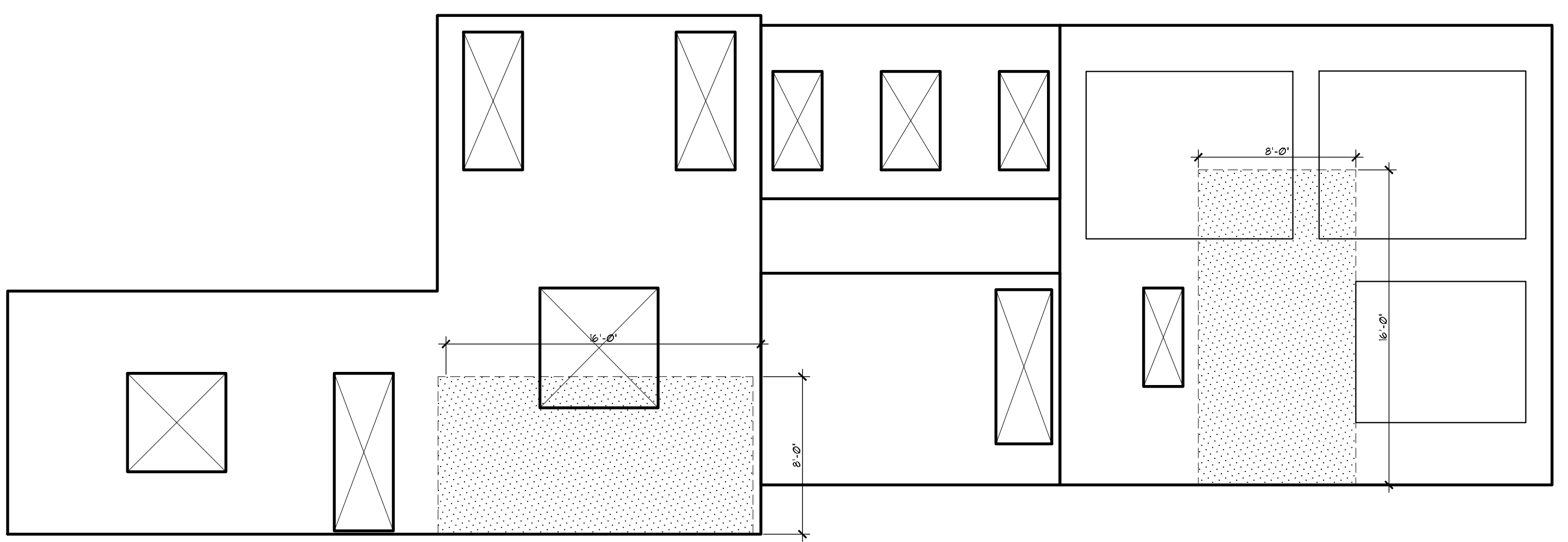
REVISIONS

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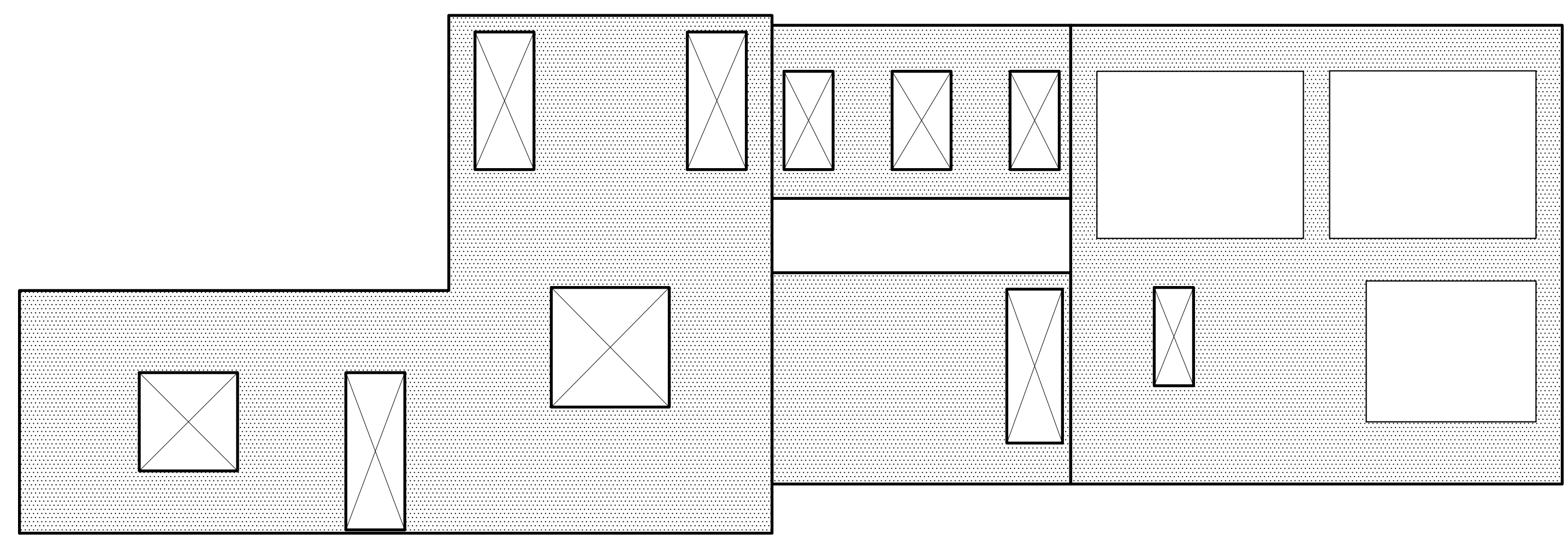


RIGHT SIDE ELEVATON (SOUTH)
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATON (SOUTH)
SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)



RIGHT SIDE ELEVATON (SOUTH)
SCALE: 3/16" = 1'-0"

SOLID WALLS (TOWN CODE SEC. 64 - 2 FIGURE)
 AREA OF WINDOWS AND DOORS: 25 + 24 + 37 + 23 + 10 + 21 + 21 + 13 + 15 + 13 = 202 S.F.
 AREA OF REAR ELEVATION; 1,340 S.F.
 WINDOWS AND DOOR COVERAGE (REAR ELEVATION ONLY):
 202 S.F./1,340 S.F. = 15.1% PROVIDED (15% MINIMUM REQUIRED)

EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

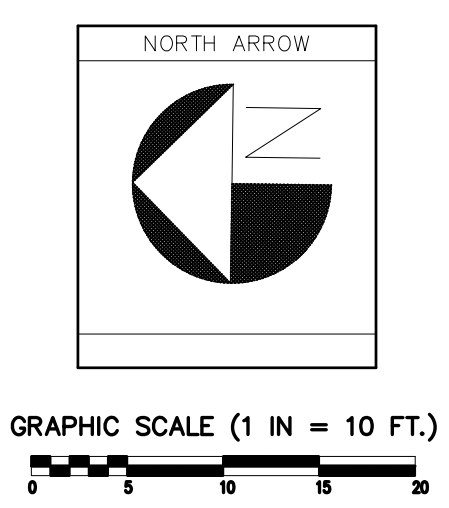
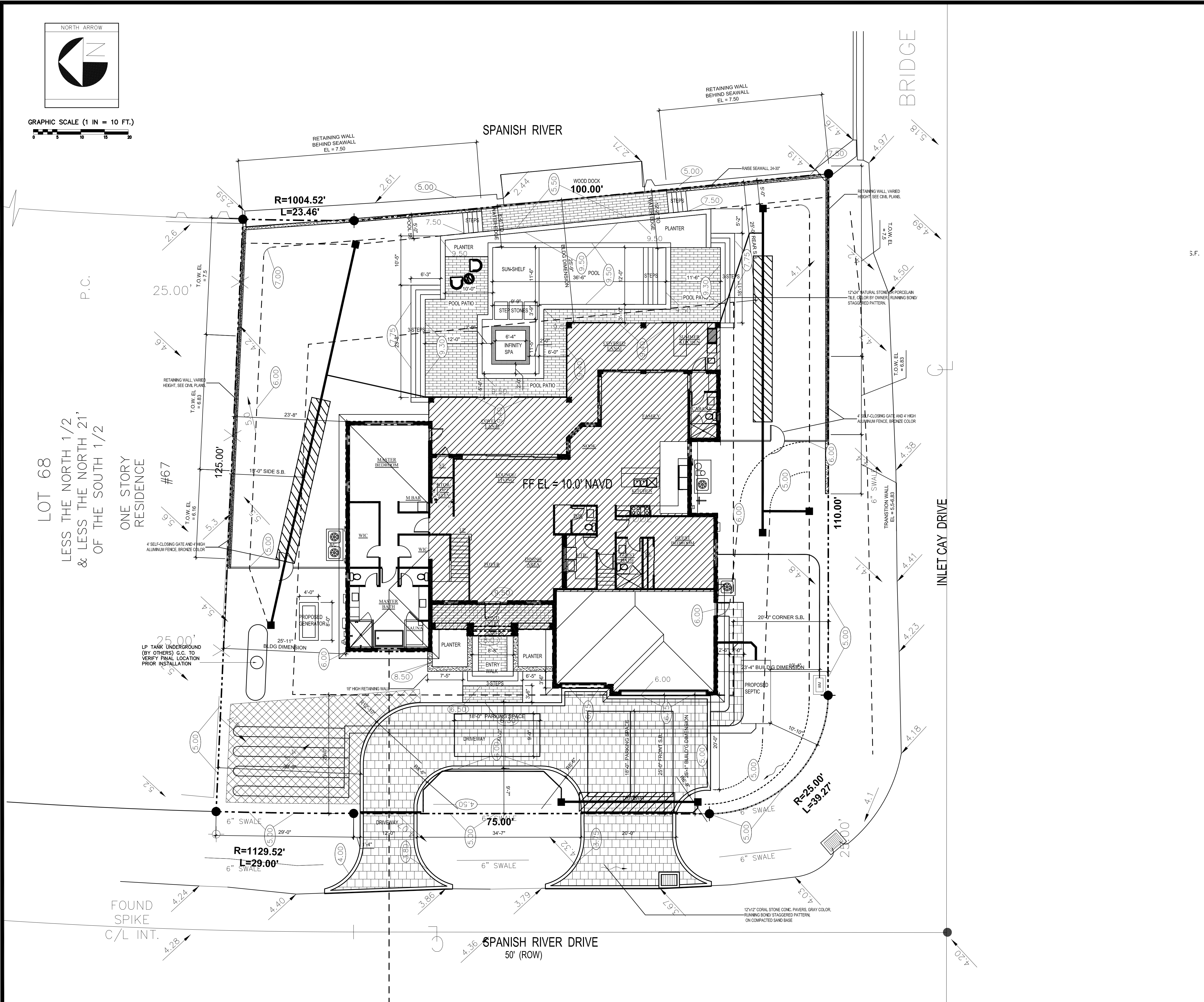
3000 N. MILITARY TRAIL SUITE 209
BOCA RATON, FLORIDA 33432
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EMAIL: mail@rwb-arch.com

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ARCHITECTURE

PROJECT # 20-045
DATE February 7, 2024
SHEET #

WD-4

PROPOSED
WALL/WINDOW/DOOR
COVERAGE



OCEAN RIDGE SITE DATA CALCULATIONS	
DESCRIPTION	AREA
TOTAL SITE AREA	16,144 S.F.
BASE FLOOD ELEVATION	AE - 9' (1") (BY FEMA FLOOD ZONE MAP)
PANEL NUMBER	12099C 0791F
FINISHED FLOOR ELEVATION	10.00 N.A.V.D.
AVERAGE CROWN OF ROAD	4.30 N.A.V.D.

DESCRIPTION		PROPOSED	
	SQ. FT.	PERCENTAGE	
FLOOR AREA RATIO (MAXIMUM 36%, 5812 S.F.)	5,602 S.F. (INCLUDES GARAGE)	34.70%	
LOT COVERAGE (MAXIMUM 35%, 5650 S.F.)	3,245 S.F.	20.10%	

FLOOR AREA CALCULATIONS:			
FIRST FLOOR:		SECOND FLOOR:	
1ST FLOOR A/C	= 3058 SF.	2ND FLOOR A/C	= 1172 SF.
COVERED PATIO	= 745 SF	COVERED BALCONY	= 995 SF
COV. ENTRY	= 150 SF	TOTAL 2ND FLOOR	= 2167 SF.
TOTAL 1ST FLOOR	= 3953 SF	OR 65% OF 1ST FLOOR.	

	SQ. FT.	PERCENTAGE
FIRST FLOOR A/C	3,058 S.F.	13.80%
SECOND FLOOR A/C	1,172 S.F.	7.25%
TOTAL A/C	4,230 S.F.	26.20%
GARAGE	748 S.F.	4.63%
COVERED PATIO	745 S.F.	4.61%
COVERED ENTRY	150 S.F.	0.92%
COVERED BALCONY (FRONT)	157 S.F.	0.97%
COVERED BALCONY (REAR)	842 S.F.	5.21%
TOTAL UNDER ROOF	5,006 S.F.	31.0%
OPEN BALCONY (REAR PARTIAL)	N/A	N/A
TOTAL FLOOR AREA	5,602 S.F.	34.70%
BUILDING FOOTPRINT	4,701 S.F.	29.11%
SEPTIC TANK & DRAINFIELD	628 S.F.	3.88%
PAVED AREA	3,737 S.F.	23.14%
TOTAL IMPERVIOUS	8,438 S.F.	52.26%
TOTAL PERVIOUS	7,761 S.F.	48.07%

	REQUIRED	PROPOSED
BUILDING HEIGHT	36'-0"	32'-10"
BUILDING SETBACKS:		
FRONT	25'-0"	25'-1"
REAR	N/A	N/A
SIDE INTERIOR NORTH/LEFT	15'-0"	23'-9"
SIDE CORNER SOUTH/RIGHT	20'-0"	23'-4"
WATERWAY	25'-0"	25'-9"
DRIVEWAY	5'-0"	30'-0" / 24'-11"

- SITE PLAN NOTES**
- CONTRACTOR TO VERIFY ALL UTILITY CONNECTIONS.
 - ARCHITECTURAL AND STRUCTURAL DOCS BY OTHERS.
 - DRAINAGE AND GRADING BY OTHERS.
 - POOL CONSTRUCTION AND ENGINEERING BY OTHERS UNDER SEPARATE PERMIT.
 - PROVIDE SOD FOR ALL AREAS NOT LANDSCAPED.
 - PROVIDE AUTOMATIC IRRIGATION SYSTEM WITH RAIN SENSOR SHUTOFF.
 - EXTERIOR DECKS, DRIVEWAY, PORCH FLOORS AND WALKWAYS TO BE SLOPED AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 1/8" PER FOOT.
 - 6" CONC. SLAB EQUIP PAD FOR ALL EQUIP PADS. CONTRACTOR TO VERIFY SIZE AND LOCATION. EXTERIOR EQUIPMENT PADS TO BE AT OR ABOVE BASE FLOOD ELEVATION AS PER FBC M301.16.
 - SEE CIVIL PLANS FOR GRADING AND DRAINAGE.
 - FENCES AND GATES UNDER SEPARATE PERMIT BY OTHERS.
 - FUTURE GENERATOR PERMIT SHALL COMPLY W/ BUFFER SETBACK AND LOCATION CODE REQUIREMENTS.

LEGAL ADDRESS

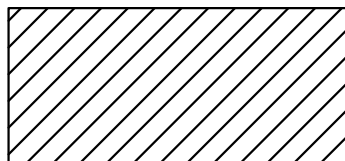
69 SPANISH RIVER DRIVE
 OCEAN RIDGE, FLORIDA. 33435
 PALM BEACH COUNTY.

PROPOSED 2-STORY CMU CUSTOM RESIDENCE.

THE MINIMUM FINISHED SLAB ELEVATION AT THE LOWEST LIVING AREA IS TO BE SET AT A MINIMUM HEIGHT OF 18" ABOVE HIGHEST POINT OF CROWN OF ROAD, MINIMUM 6" ABOVE BASE FLOOD ELEVATION OR ANY OTHER GOVERNING CODE.

LEGAL DESCRIPTION

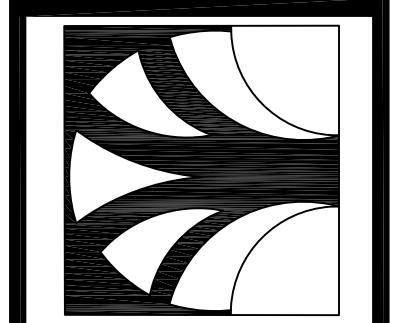
LOT 60, LESS THE NORTH 1/2 AND LESS THE NORTH 21 FEET OF THE SOUTH 1/2 THEREOF AND ALL OF LOT 69, INLET CAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 222, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

 DENOTES 2ND FLOOR STRUCTURE (INTERIOR AIR CONDITIONED AREAS AND EXTERIOR COVERED AREAS)

SITE HARDSCAPE PLAN

EASTMAN RESIDENCE
 69 SPANISH RIVER DRIVE, LOT 69, OCEAN RIDGE, FL.
VARGAS HOMES INC.

MAJESTIC VIEWS
 Landscape Architects, Inc.
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33436
 Phone (561) 752-9335 Fax (561) 752-4110
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LOUIS ILIAS VLAHOS
 LANDSCAPE ARCHITECT

DocuSigned by:
 Louis Ilias Vlahos
 LA #666677
 LC #26000319

REV. NO.	DATE

JOB NO:
 DRAWN BY: LIV
 DATE: 01.24.24
 SCALE: 1" = 10'-0"

SHEET NO.
SP-1

LANDSCAPE CALCULATIONS

TOTAL SITE AREA	16,144 S.F.
TREES REQUIRED (16144 SF/ 2500 SF)	7 TREES
TREES PROVIDED (10 TREES & 12 PALMS=6 TREES)	16 TREES
SHRUBS REQUIRED FOUNDATION (323 LF x .50/2 LF)	81 SHRUBS
SHRUBS PROVIDED FOUNDATION	600+ SHRUBS
60% OF REQUIRED TREES AND 100% OF REQUIRED SHRUBS ARE NATIVE SPECIES	

PLANT LIST

EXISTING TREES AND PALMS (see sheet LP-2)

1	Tabebuia Chrysostricha/Yellow Trumpet	20'OA, shape clean, relocate.
1	Conocarpus Erectus/Green Buttonwood	18'OA, shape/clean, remain.
2	Phoenix Canariensis/Canary Island Date Palm	10'WD, 24'OA, relocate.
1	Phoenix Sylvestris/Sylvestris Date Palm	14'WD, 22'OA, relocate.

TREES AND PALMS

*CAL	4	Calophyllum Antillanum/Beauty Leaf	14' OA, 5-6'CT, 3"CAL, full
*SEA	1	Coccoloba Vivifera/Seagrape	16'OA, 5'CT, multi, full
JAP	2	Elaeocarpus Decipiens/Japanese Blueberry	7'X4'OA, 3'CT, match, full
GAR	6	Garcinea Spicata/Garcinia Tree	4' OA, 2' CT, match
AP1	7	Ptychosperma Elegans/Alexander Palm	14-16' OA, SGL, match, full
MP2	2	Veitchia Montgomeriana/Montgomery Palm	14'OA, DBL, match, full
AD2	1	Veitchia Merrillii/Adonidia Palm	12'OA, DBL, match, full
PR3	1	Phoenix Roebellenii/Pygmy Date Palm	8-10'OA, TRPL, full
LP	5	Rhapis Excelsa/Lady Palm	4-5'OA, 7-10 GAL, multi, full

ACCENTS, SHRUBS, AND GROUNDCOVERS

AGV	4	Agave Angustifolia/Variiegated Agave	30"OA, 7GAL, full
AGA	20	Agave Attenuata/Softtip Agave	18"OA, 3GAL, full
BRI	6	Alcantera Imperialis/Imperial Bromeliad Green	7GAL, 24"OA, full
ALC	21	Alocasia Regal Shield/Regal Shield	3 GAL, 18" OA, 2' OC, full
CRO	22	Codiaeum Stoptlight/Stoplight Croton yellow	7 GAL, 36"OA, 30"OC, full
*CL4	56	Clusea Guttifera/Small Leaf Clusea	7GAL, 3-4'OA, 30"OC, full
PO4	192	Podocarpus Maki/Yew Podocarpus	7 GAL, 4'OA, 24"OC, full
PV	64	Pittosporum Variiegatum/Variiegated Pittosporum	3 GAL, 24"OA, 24"OC, full
PP	64	Podocarpus Pringles/Dwarf Pringles Podocarpus	3 GAL, 20"OA, 20"OC, full
FGI	166	Ficus Green Island/Green Island Ficus	3 GAL, 12"OA, 18"OC, full
*CAR	80	Carissa Emerald Blanket/Dwarf Natal Plum	3 GAL, 12"OA, 18"OC, full
LIR	40	Liriope Blue/Blue Lillyturf	1 GAL, 10" OA, 12"OC, full
MON	130	Ophiopogon Japonicus/Mondo Grass	1 GAL, 6" OA, 6"OC, full

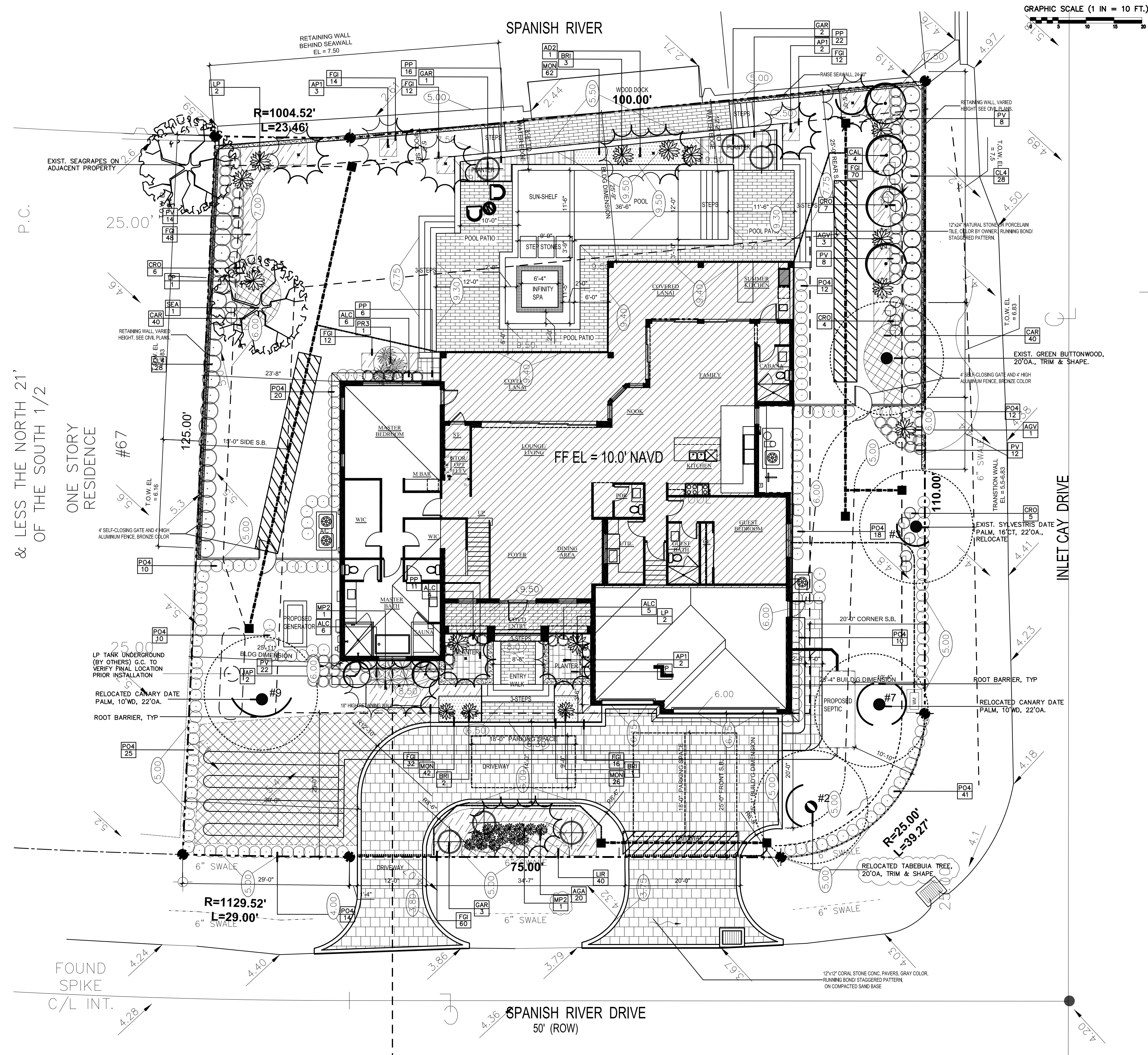
SOD As Req'd St Augustine Palmetto Sod SQ. FT.

NOTES

* Indicates native plant species.

GENERAL PLANTING NOTES

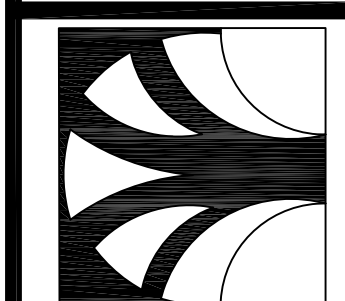
- All planting notes to be Florida #1 grade or better as stated in "grades and standards for nursery plants" part I and part II (2012), State of Florida, Department of Agriculture, Tallahassee.
- All prohibited plant species shall be eradicated from the site.
- All plant material to be handled and planted in accordance with standard nursery practices.
- All plant material to be guaranteed for a period of ninety (90) days from date of installation.
- All planting beds to receive three (3) inches of maleluca, recycled bark or other mulch, type "B", or better. (no cypress mulch)
- All planting areas must be irrigated to provide (100% coverage & 50% overlap) by an automatic irrigation w/water sensor system installed by certified irrigation contractor.
- Sod and irrigation will be provided within all the unpaved areas including the R.O.W.
- All mechanical equipment must be screened on three sides w/a hedge, solid fence or wall to a height minimum 6" above the item.
- All underground utilities should be located 48 hours prior to commencement of landscape construction. The Landscape and/or Irrigation contractor is responsible to call toll free 1.800.432.4770 SUNSHINE STATE ONE CALL OF FLORIDA, INC.
- The general contractor is responsible for rough grade within two-three (2-3) inches of final grade.
- In case of discrepancies, the landscape plan takes precedence over the plant list.
- All existing trees to remain will be trimmed, pruned and protected with an appropriate construction barrier.
- A minimum distance of 15 ft. separates all trees from pole lights and overhead utility lines.
- Within all site triangles there shall be unobstructed visibility within 2.5' and 6' above pavement level.
- No generator is proposed, any future proposal shall comply with buffer, setback and locational code requirements at time of permitting.



SITE LANDSCAPE PLAN

EASTMAN RESIDENCE
 69 SPANISH RIVER DRIVE, LOT 69, OCEAN RIDGE, FL.
VARGAS HOMES INC

MAJESTIC VIEWS
 Landscape Architects, Inc.
 Landscape Architecture - Construction Management
 4711 Cypress Drive South, Boynton Beach, FL 33436
 Phone (561) 752-9835 Fax (561) 752-4110
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LOUIS ILIAS VLAHOS
 LANDSCAPE ARCHITECT

DocuSigned by:
 LA #6666677
 LC #26000319

REV. NO.	DATE

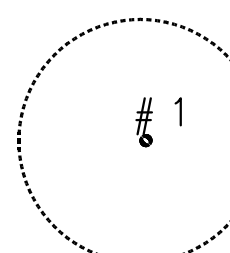
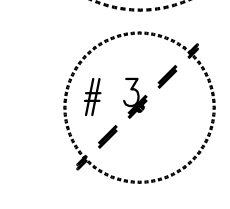

JOB NO:
 DRAWN BY: LIV
 DATE: 01.24.24
 SCALE: 1" = 10'-0"

SHEET NO.
LP-1

TREE SURVEY DATA SHEET

Item#	Species Common Name	Species Scientific Name	Qty	Height	Spread	DBH	Condition	Notes	Disposition
#1	Mimusops	Mimusops Roxburghiana	1	22'oa	18'	20"	70%	damaged under utilities and within ROW	remove
#2	Golden Trumpet Tree	Tabebuia Chrysotrycha	1	20'oa	20"	24"	70%	root prune clean and shape to move	relocate
#3	Sylvestris Date Palm	Phoenix Sylvestris	1	22'oa	16'	14"	70%	In way of new construction/ NAVD elevation	relocate
#4	Green Buttonwood	Conocarpus Erectus	1	18'oa	20"	14"	65%	clean, shape and fertilize	remain
#5	Areca Palm	Chrysalidocarpus Lutescens	3	20'oa	16'multi	12"	60%	In the ROW by bridge, remove as required	remove
#6	Adonidia Palm	Veitchia Merrillii	2	18'oa	12'trpl	9"	60%	In way of new construction/ NAVD elevation	remove
#7	Canary Date Palm	Phoenix Canariensis	1	22-24'oa	20"	20"	75%	In way of new construction/ NAVD elevation	relocate
#8	Areca Palm	Chrysalidocarpus Lutescens	1	20'oa	16'multi	12"	50%	In way of new construction/ NAVD elevation	remove
#9	Canary Date Palm	Phoenix Canariensis	1	22-24'oa	20"	20"	75%	In way of new construction/ NAVD elevation	relocate

EXISTING TREE LEGEND

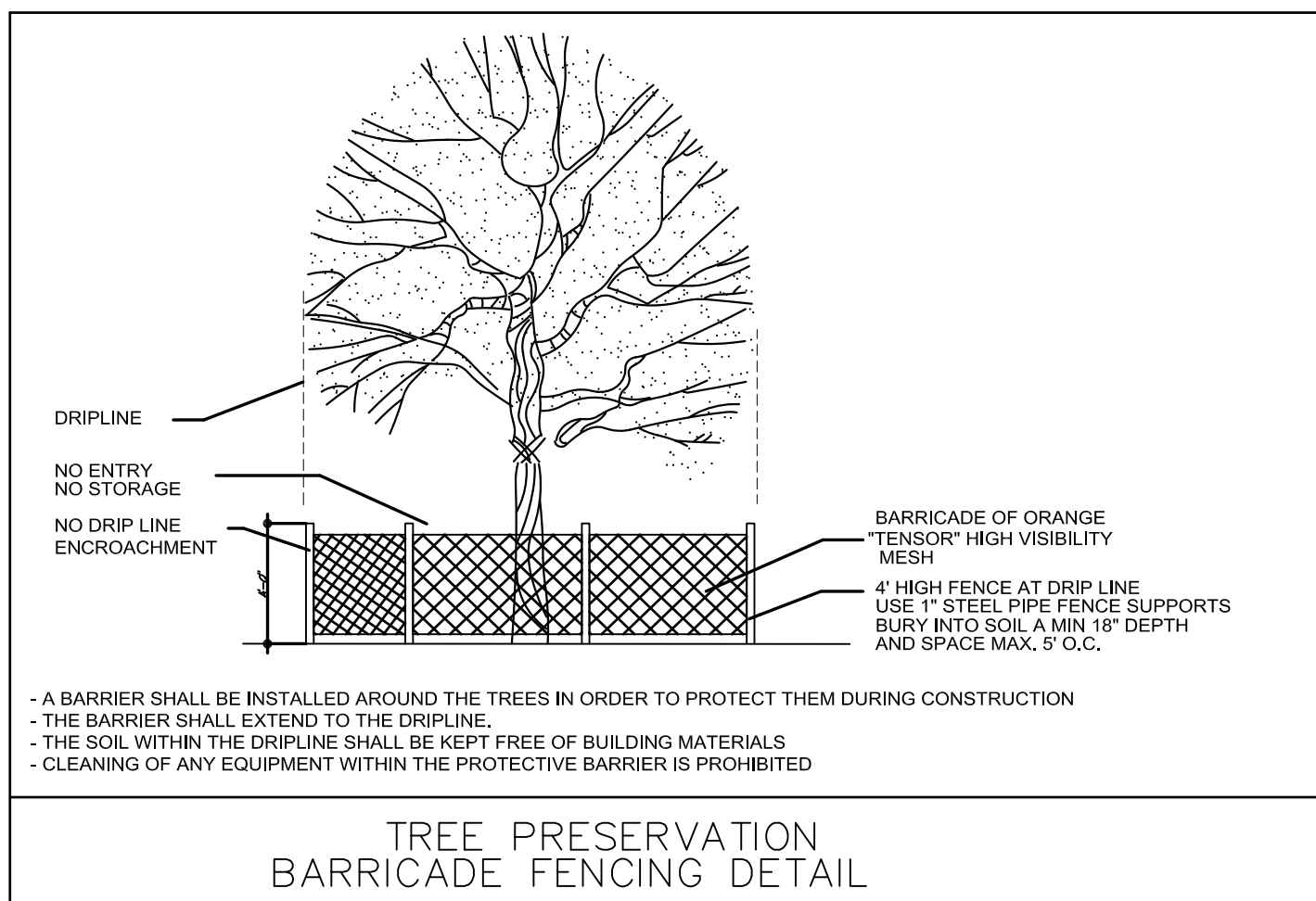
-  EXISTING SPECIMEN TREES TO REMAIN/ PRESERVE
-  EXISTING TREES TO BE RELOCATED/APPAISED
-  EXISTING TREES TO BE REMOVED/APPAISED

All existing trees to be appraised by licensed arborist per ANSI standards.

All existing trees/ palms to remain or relocate must be protected by approved tree barrier. See tree barrier detail.

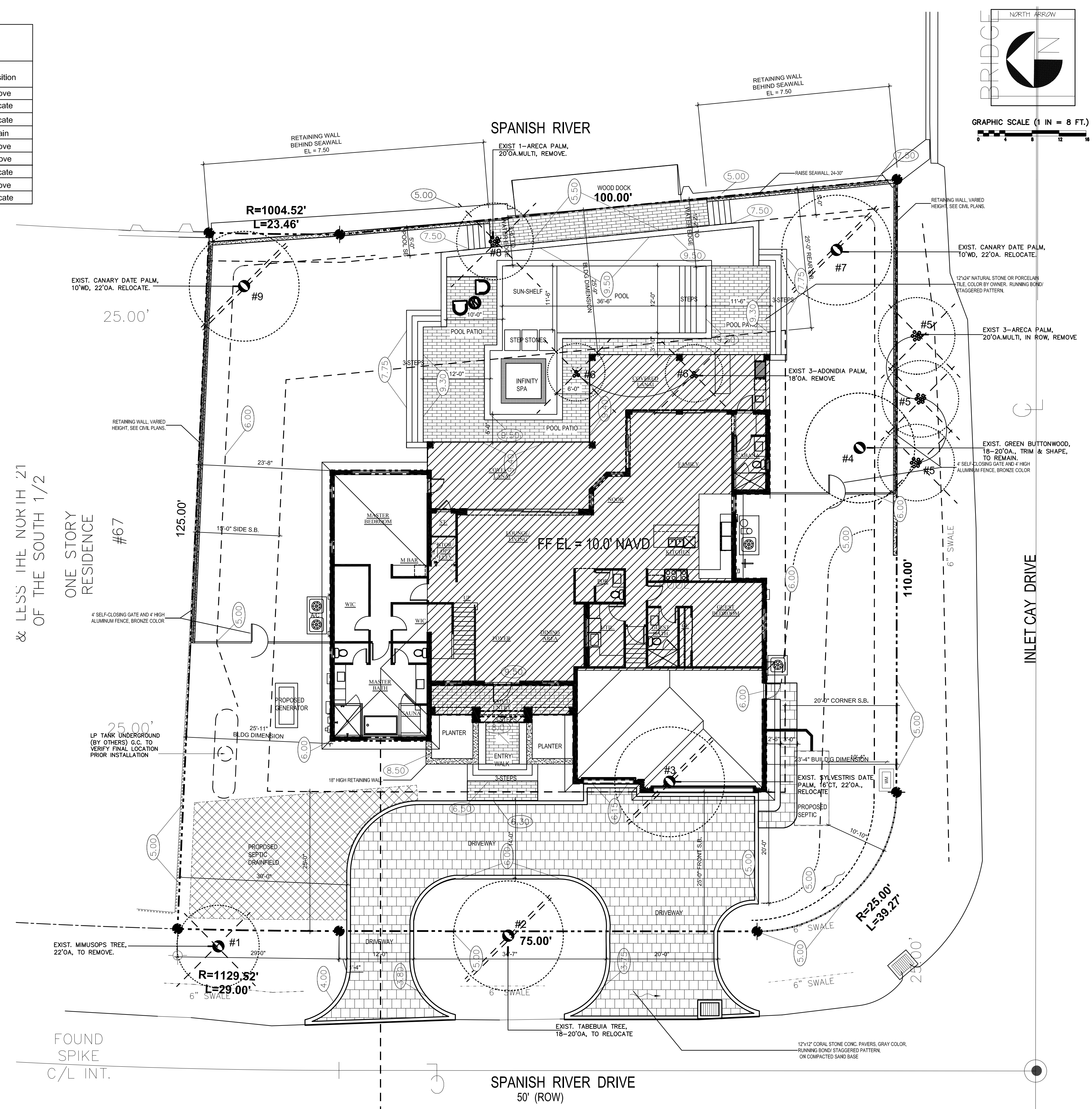
All trees/ palms to remain or relocated must be trimmed by licensed arborist per ANSI standards.

All trees/ palms to remain or relocate must be fertilized w/ an all purpose time release fertilizer.



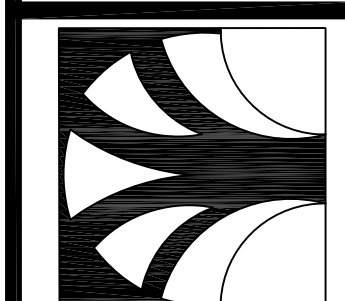
ONE STORY RESIDENCE #67
& LESS THE NORTH 1/2 OF THE SOUTH 1/2

SITE DISPOSITION PLAN



EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE, LOT 69, OCEAN RIDGE, FL.
VARGAS HOMES INC

MAJESTIC VIEWS
Landscape Architects, Inc.
Landscape Architecture - Construction Management
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LOUIS ILIAS VLAHOS
LANDSCAPE ARCHITECT

Designed by
[Signature]
CEBA1869730866
LA #6666677
LC #26000319

REV. NO.	DATE

JOB NO:
DRAWN BY: LIV
DATE: 01.24.24
SCALE: 1" = 10'-0"

SHEET NO.
LP-2

IRRIGATION NOTES:

NOTES

Automatic Irrigation System
Water Demand Zone 3/4" water meter, 22-24 GPM @ 45-50 psi w/ backflow preventor/ vacuum breaker, and ET manager Inground moisture sensing device

GENERAL

System shall be installed in accordance with local codes, Contract drawings and Contract specifications.

Irrigation design based on Majestic Views, dated 01.24.24 Contractor shall refer to the landscape plan to coordinate sprinkler location and pipe routing with new and existing landscaping.

The purpose of this irrigation plan is to show sprinkler locations for new location s for new landscaping. The Contractor considering the size of the source, the location and size of piping, and the size of existing valves shall zone system in the field.

Contractor shall adjust sprinkler locations to insure proper coverage in common areas between new and existing landscaping.

Irrigation contractor to provide 100 % coverage with a 50% overlap and as built drawings.

Irrigation plan is for bid, permit purposes, and shall not be utilized as a construction document.

Irrigation contractor will provide shop drawings and product specifications (cut sheets) and Installation documents, to the Landscape Architect for review, comment and approvals.

A licensed contractor who installs or performs work on an automatic landscape irrigation system must install system per manufacturers specifications and test for the correct operation of each initiating or interrupting device or switch on the system. If such devices are not installed, or are not functioning properly, the contractor must install new devices or repair the existing ones and insure that each is operating properly before completing other work on the system.

All contractors performing work on irrigation systems within the town shall be licensed or registered under F.S. ch. 489, and shall hold a municipally-issued license or business tax certificate that permits work on irrigation systems.

PIPING

Pipe shall be installed in accordance with local codes and pipe manufacturer's recommendations.

Pipe routed under pavement and patio shall be sleeved in SCH 40 PVC. Contractor shall utilize existing sleeves.

Main line shall be scheduled 40 PVC.

All pipes shall be type 1120 PVC. Lateral sized 1" and larger shall be SDR 26, Class 160. Laterals sized 3/4" shall be SDR 21, Class 200.

Pipe shall be installed so backfill depths are maintained at 18" for the main line and all lateral routed under pavement, and at 12" for all other laterals.

Backfill shall be of suitable material free of rocks, stones, or other debris that would damage irrigation systems components.

SPRINKLERS

Sprinkler locations shall be adjusted for wind, landscaping and mounding to insure proper coverage with minimal undesirable overthrow. In order to prevent overthrow, low trajectory heads or low volume water distributing devices shall be used when irrigating confined areas. No more than ten percent of spray radius shall be allowed onto impervious areas.

Sprinkler heads irrigating lawns or other high water requirement landscape areas shall be circled so that they are on a separate sector from those irrigating trees, shrubbery or other reduced water requirement areas.

Pop-up rotors Rainbird 5000-PRS series w/ adjustable nozzles or equivalent, 25'-50' radius.

Pop-up mistheads Rainbird 1800-SAM-P45 series w/ R-13-18 rotary nozzles or equivalent, 12'-24' radius. Shrub type mistheads shall be installed a uniform height of 6" above plant material and shall be located to be concealed from view and inaccessible from traffic.

Rainbird XPCN- Xeri PCN series nozzle, 2.5' & 4' 1/4, 1/2 or full spray on Xeri-pop 4-6" pop-up or SCH 80 riser as required.

Rainbird Xeri Bubblers shall be installed on SCH 80 risers to the best height for the most effective irrigation of the plants to be watered. Bubblers are required for trees and palms.

All SCH 80 PVC risers shall be painted green to blend in with plant material.

All sprinklers located adjacent to pavement, walkways, patios, etc., shall be installed from the edge to minimize the chance of damage to vehicles, pedestrian and lawn maintenance personnel. Pop-up heads shall be installed in 6" and shrub type heads shall be installed in 18".

Adjustment features of sprinklers specified shall be utilized to insure proper coverage while minimizing overthrow.

VALVES

Rainbird 100-PGA 1" angle electric valve w/ pressure regulator or equivalent, with timer and rain sensor device.

WATER SOURCE

3/4" water meter, 22-24 GPM @ 45-50 psi w/ backflow preventor/ vacuum breaker, and ET manager inground moisture sensing device and pressure regulator as required and approved by City of Ocanan Ridge. All connections and installation of backflow shall be made by a licensed plumber.

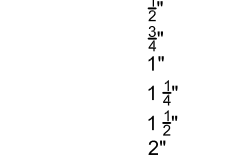
CONTROL SYSTEM

Rainbird ESP-MC series automatic outdoor controller will be exterior wall mount or equivalent w/ Rainbird ET-Manager in ground soil moisture sensor. Verify location on site. Rainfall or moisture sensing devices shall be used to avoid operation of the system during periods of increased rainfall. Evapotranspiration-based (ET) controllers are recommended but optional on any automatic landscape irrigation system will be installed per manufacturers specifications. All electrical connections to be made by a licensed electrician.

FLOW

0-3
3-9
10-16
17-26
27-40
40-60

PIPE DIAMETER (INCH)



Automatic underground irrigation with Rainbird ET-Manager in ground soil moisture sensor shall be designed and installed in compliance with the South Florida Building Code and city code requirements. The system shall provide a minimum coverage of 100% with 50% overlap.

IRRIGATION LEGEND:

- Rainbird 100-PGA, 1" electric valve or equivalent.
- Rainbird ESP-MC series ET controller exterior w/ Rainbird ET-Manager in ground soil moisture sensor sutoff device as required.
- Sleeves, SCH 40.
- Rainbird 1800-SAM-P45 pop-up, w/ appropriate R-13-18 rotary series nozzle, 12'-24' radius, low trajectory or equivalent.
- Rainbird XPCN-XERI PCN series nozzle, 2' & 4' 1/4, 1/2 or full spray on Xeri-pop 4" pop-up or SCH 80 riser as required.
- Rainbird Xeri Bubblers, install 1-4 per size of ball of tree or palm if required, verify after trees and palms have been installed. Bubblers are not indicated on plan.
- Main water line, 1 1/4" schedule 40 pvc.
- Indicates Zone/ GPM.
- 3/4" water meter, 20-24 GPM @ 45-50 psi w/ backflow preventor/ vacuum breaker, and ET manager inground moisture sensing device and pressure regulator as required and approved by City of Delray Beach

GENERAL NOTES:

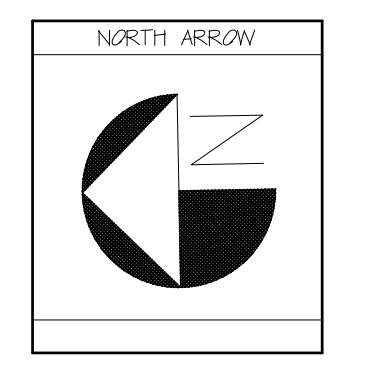
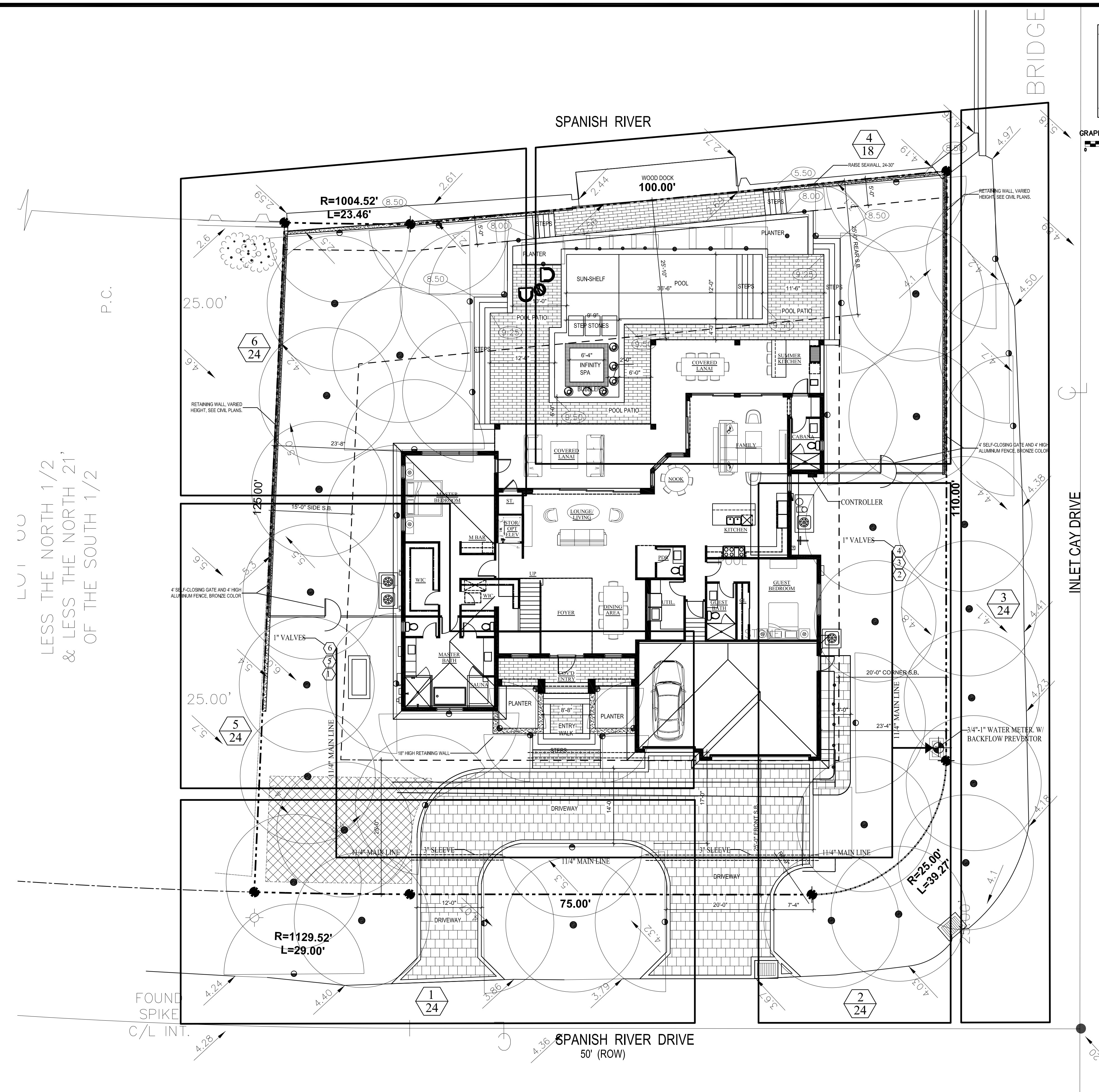
All landscaped areas shall be provided with an automatic water supply system as approved through a land development permit. Proposed irrigation system is 70% xeri/ drip irrigation system justifying use of city water as water source.

Irrigation contractor to provide seasonal operating schedule and average precipitation rates for each zone by system controller.

Nozzle precipitation rates for all heads within each valve circuit must be matched to within 20% of one another.

A regular irrigation maintenance schedule shall include but not be limited to checking, adjusting, and repairing irrigation equipment; and resetting the automatic controller according to the season.

Irrigation system plans and specifications shall under go final testing and adjustments to achieve design specifications prior to completion of the system and acceptance by the owner's representative and the City. An as built plan shall be submitted if different than irrigation plan;

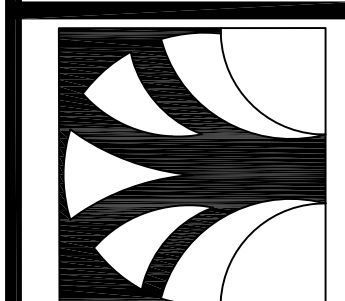


GRAPHIC SCALE (1 IN = 10 FT.)

SITE IRRIGATION PLAN

EASTMAN RESIDENCE
69 SPANISH RIVER DRIVE, LOT 89, OCEAN RIDGE, FL.
VARGAS HOMES INC

MAJESTIC VIEWS
Landscape Architects, Inc.
Landscape Architecture - Construction Management
4711 Cypress Drive South, Boynton Beach, FL 33436
Phone (561) 752-9835 Fax (561) 752-4110
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LOUIS ILIAS VLAHOS
LANDSCAPE ARCHITECT

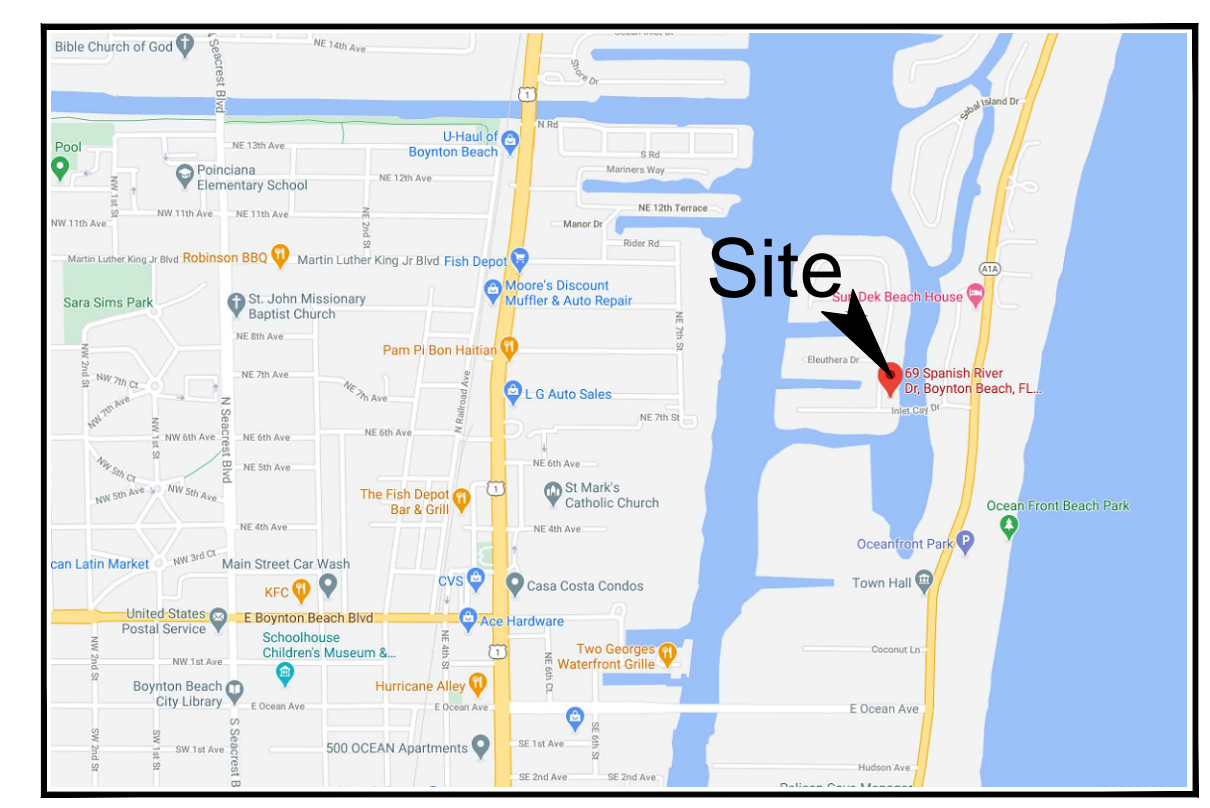
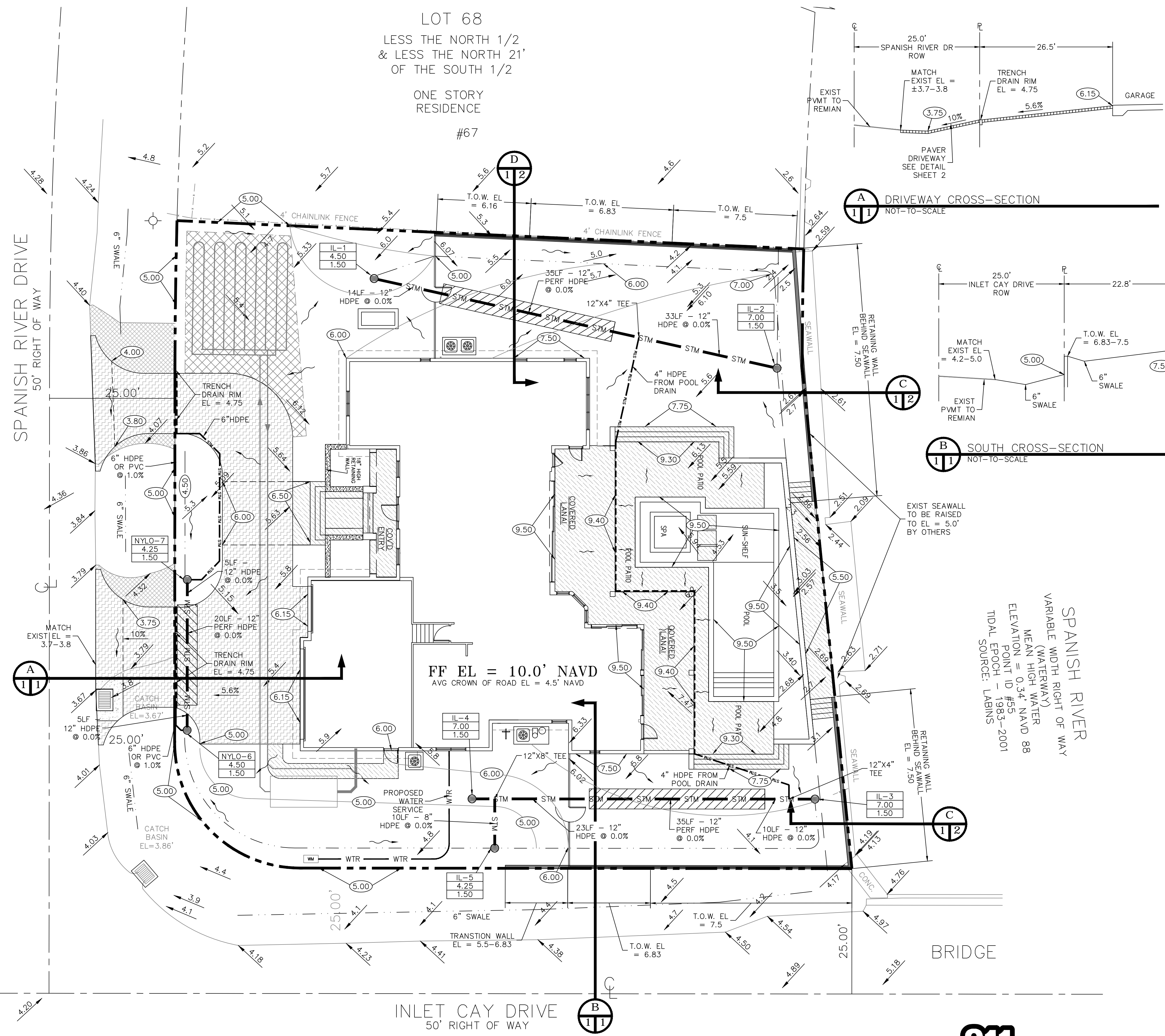
Designed by
Louis Ilias Vlahos
CEBA1800730868

LA #666677
LC #26000319

REV. NO.	DATE

JOB NO:
DRAWN BY: LIV
DATE: 01.24.24
SCALE: 1" = 10'-0"

SHEET NO.
IR-1



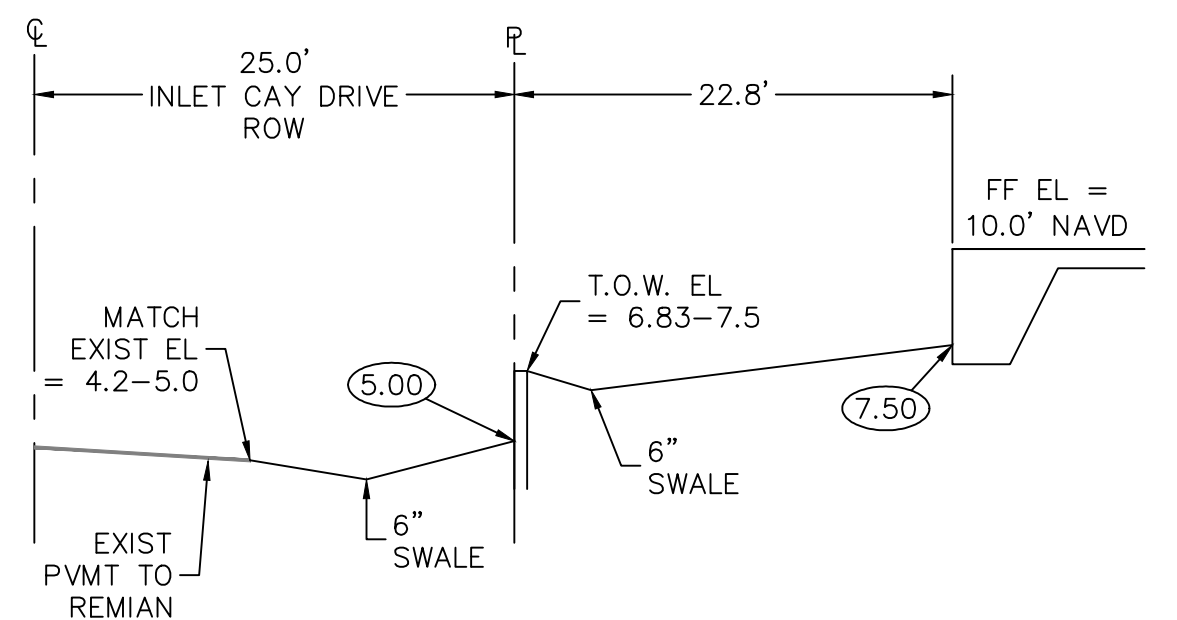
LOCATION MAP
N.T.S.

LEGEND:

- PROPERTY LINE
- SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE
- PROPOSED ELEVATION
- DIRECTION OF FLOW
- EXISTING ELEVATION
- DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
- DENOTES AREA OF PROPOSED HARDSCAPE BY OTHERS - SEE LANDSCAPE PLANS FOR DETAILS
- DENOTES AREA OF EXISTING PAVEMENT AND BASE TO BE REMOVED & REPLACED WITH CLEAN FILL
- PROPOSED NYLO/IL CATCH BASIN
- DENOTES 12" PERF HDPE PIPE IN 4' WIDE X 3' DEEP ROCK TRENCH (BOTTOM EL = 0.5' NAVD)
- STRUCTURE TYPE-NUMBER
RIM ELEVATION
INVERT ELEVATION
- NYLO NYLOPLAST YARD DRAIN OR APPROVED EQUAL
- IL INLINE YARD DRAIN
- HDPE HIGH-DENSITY POLYETHYLENE PIPE
- PROPOSED WATER METER
- PROPOSED WATER METER WITH BACKFLOW PREVENTER
- EXISTING GATE VALVE
- EXISTING MANHOLE
- SANITARY SEWER CLEANOUT
- SINGLE SANITARY SERVICE WITH CLEANOUT



DRIVEWAY CROSS-SECTION
NOT-TO-SCALE



SOUTH CROSS-SECTION
NOT-TO-SCALE

SPANISH RIVER
VARIABLE WIDTH RIGHT OF WAY
(WATERWAY)
MEAN HIGH WATER
ELEVATION = 0.34' NAVD 88
POINT ID #55
TIDAL EPOCH - 1983-2001
SOURCE: LABRINS

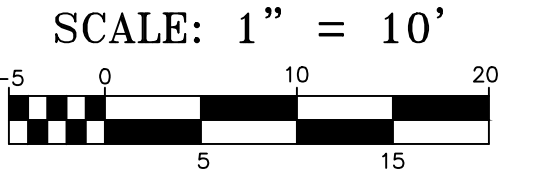
NOTE: SEE LANDSCAPE PLANS FOR HARDSCAPE MATERIALS & SPECIFICATIONS

NOTE: SEE LANDSCAPE PLANS FOR BRICK PAVER PATTERNS

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



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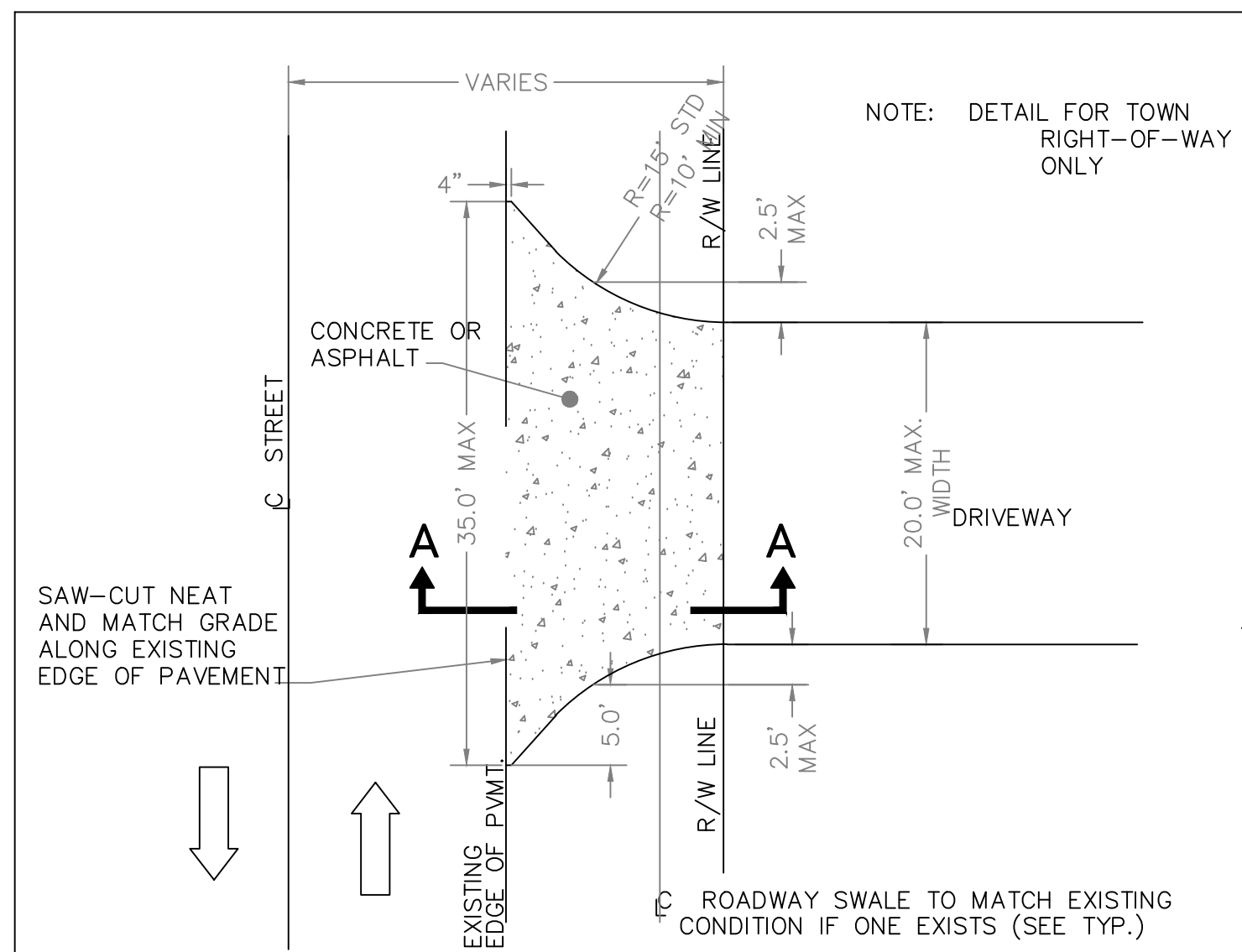
CIVIL SITE IMPROVEMENTS PLAN FOR:
SINGLE FAMILY RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

ENVIRODESIGN ASSOCIATES, INC.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
1855 Dr. Andres Way, Delray Beach, Florida 33445
Phone: (561) 274-6500 Fax: (561) 274-8558

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CHECKED: J.A.P.
DATE: 02/22/24
JOB NO.: 21002-ENG
SHEET NO.: 1 OF 5

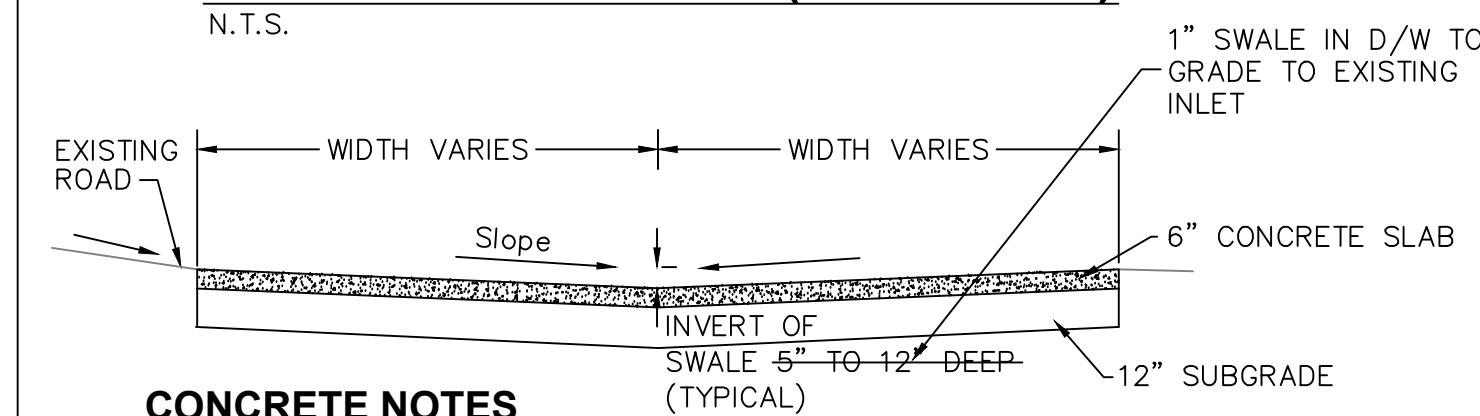
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JOSEPH A. PIKE, P.E.
FL REG # 42696

REVISIONS:
NO. DATE BY



DRIVEWAY TURNOUT (PLAN VIEW)

N.T.S.



CONCRETE NOTES

- (1) SUBGRADE SHALL BE THOROUGHLY COMPACTED BY MECHANICAL TAMP TO 100% MAXIMUM DENSITY PER A.A.S.H.T.O. T-180 SPECIFICATIONS.
- (2) SEE PLAN FOR SLOPE AND WIDTH INFORMATION.
- (3) SEE SWALE AND STREET CROSS SECTION FOR SWALE INFORMATION.

SECTION A-A

N.T.S.

DRIVE CONNECTIONS & SWALE DETAILS

N.T.S.

NOTES

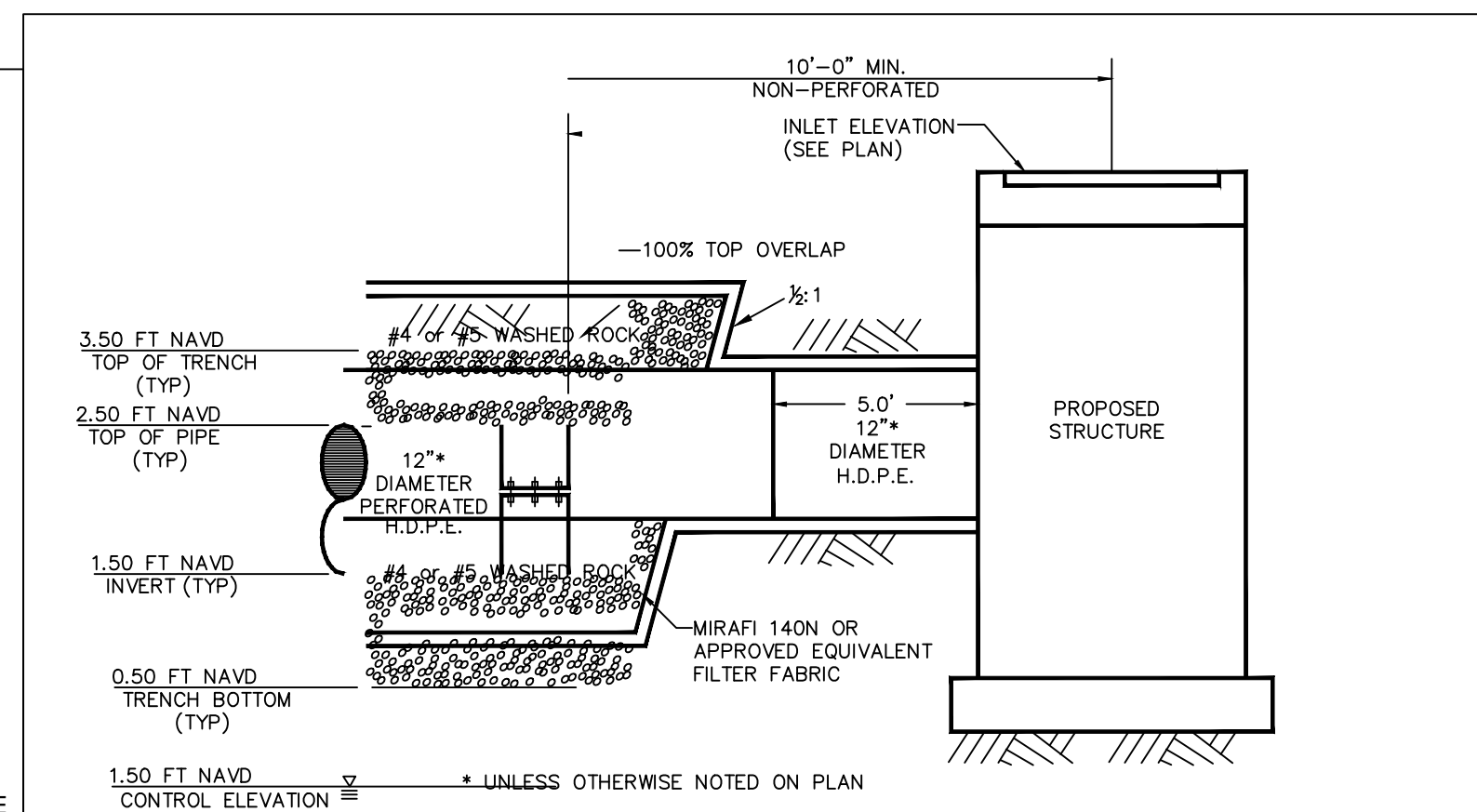
- NEW 1 1/2" THICK, TYPE S-I, ASPHALTIC CONCRETE SURFACE COURSE.
- EXISTING BASE MATERIAL TO BE USED, ALL EXISTING BASE SHALL BE 8" MINIMUM THICKNESS. ALL NEW BASE MATERIAL SHALL BE 16" OF LIMEROCK OR 8" LIMEROCK BASE OVER 12" OF STABILIZED SUBGRADE.
- STABILIZED SHOULDER IS 8' WIDE AND 6" THICK. STABILIZE TO A FLORIDA BEARING VALUE OF 50 P.S.I. AND COMPACTED TO 90% OF THE MAXIMUM DENSITY OBTAINABLE PER A.A.S.H.T.O. T-180.
- SWALE IS TO BE SOLID SODDED WITH BAHIA SOD. JOINTS ARE TO BE LAPPED AND ROLLED TO INSURE COMPLETE AND UNIFORM COVERAGE.
- WHERE DRIVEWAYS INTERSECT SWALES, THE DRIVEWAYS SHALL CONFORM TO THE SWALE SECTION.

ASPHALT NOTES

- (1) BASE MATERIAL SHALL BE THOROUGHLY COMPACTED BY MECHANICAL TAMP IN LIFTS NOT TO EXCEED 4" THICKNESS. COMPACT TO 98% MAXIMUM DENSITY PER A.A.S.H.T.O. T-180 SPECIFICATIONS.
- (2) THE BASE SHALL BE PRIMED WITH A BITUMINOUS PRIME COAT PRIOR TO PAVING.
- (3) REPLACEMENT WEARING SURFACE MATERIAL WILL MATCH EXISTING SURFACE, MINIMUM STANDARD OF REPLACEMENT WILL BE 1 1/2" THICK TYPE S-I ASPHALTIC CONCRETE.

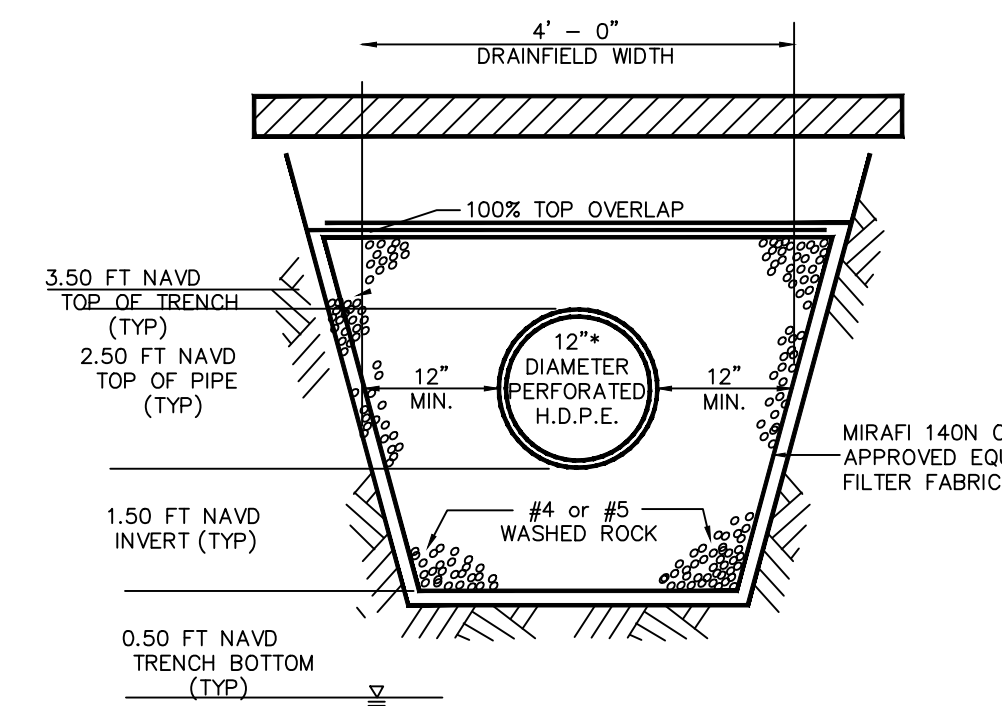
SECTION A-A

N.T.S.



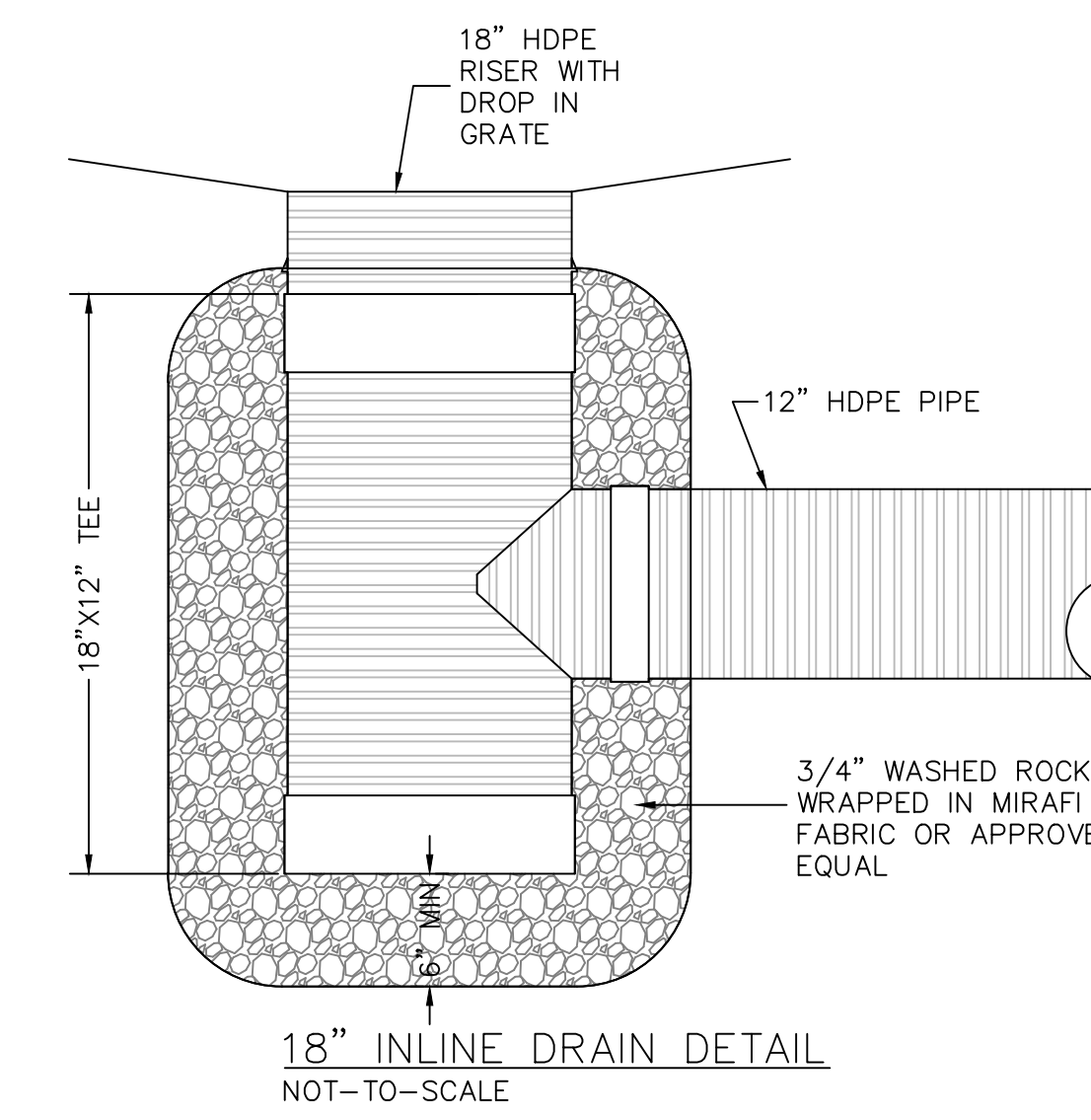
PERFORATED PIPE TRENCH

N.T.S.



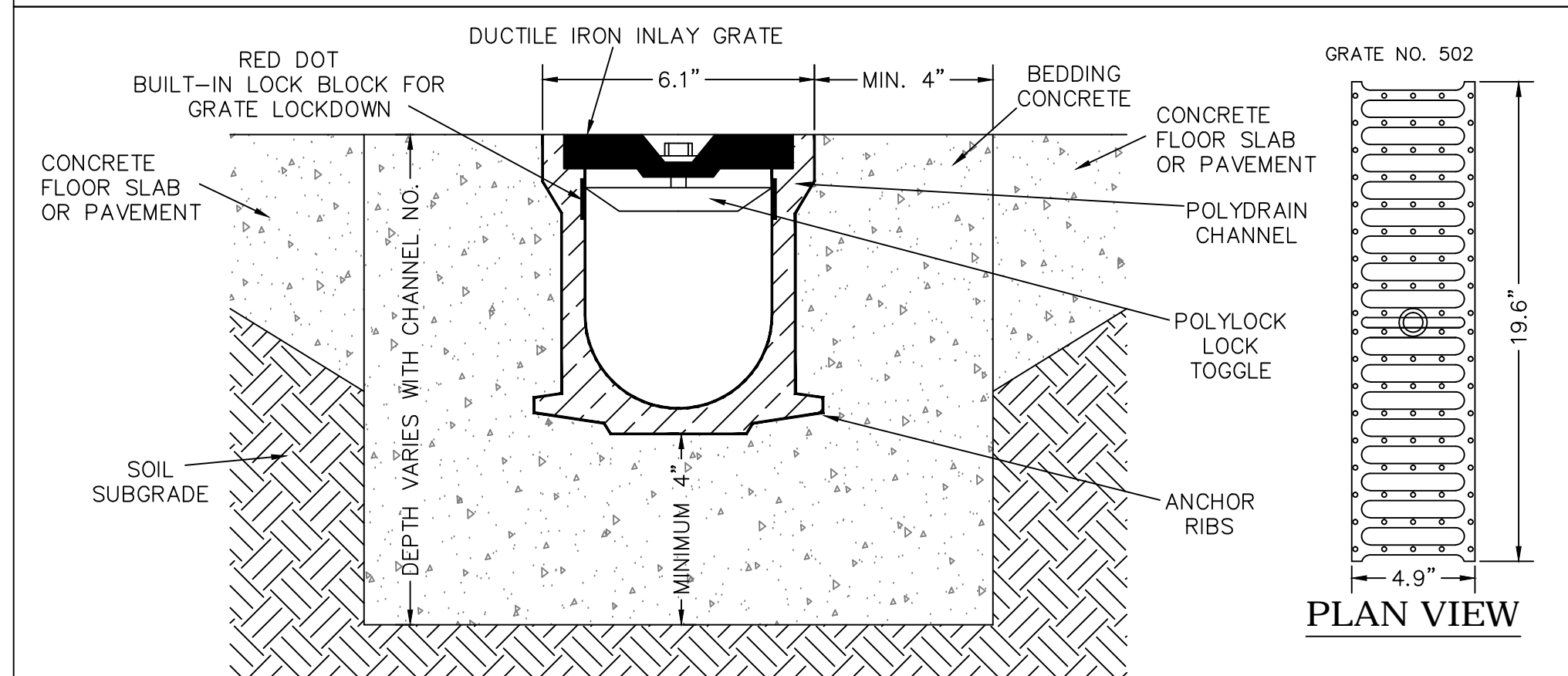
PERFORATED PIPE TRENCH

N.T.S.



18" INLINE DRAIN DETAIL

NOT-TO-SCALE



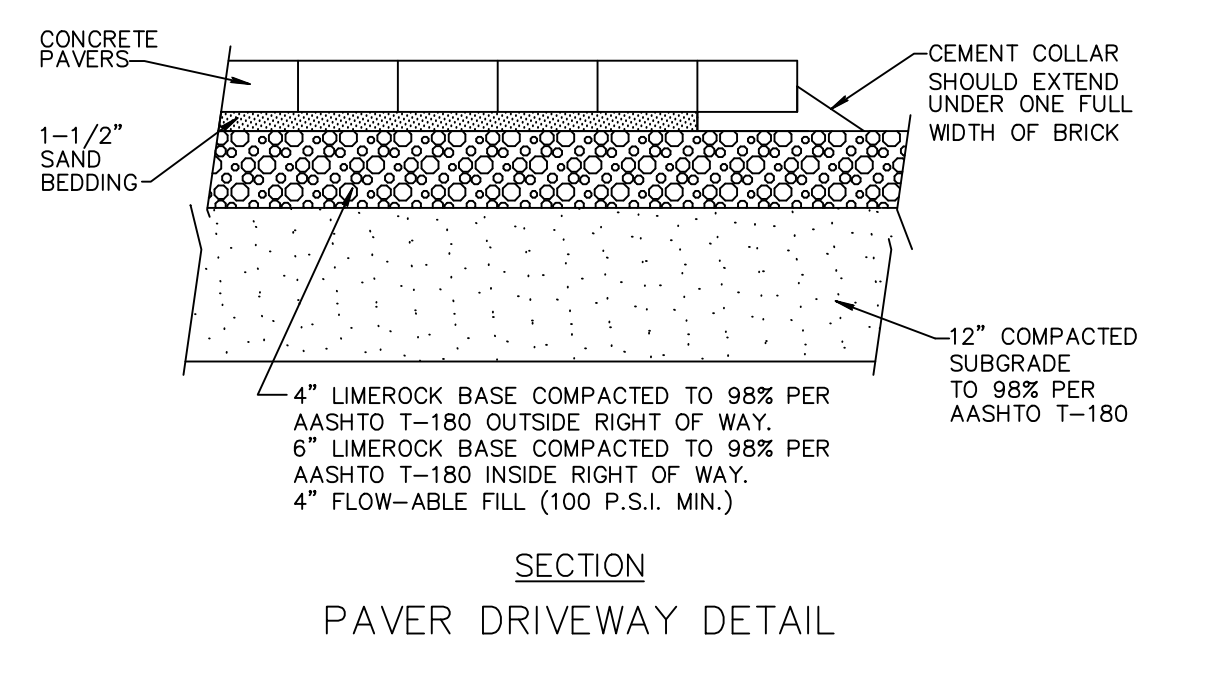
CROSS SECTIONAL VIEW

TRENCH DRAIN

N.T.S.

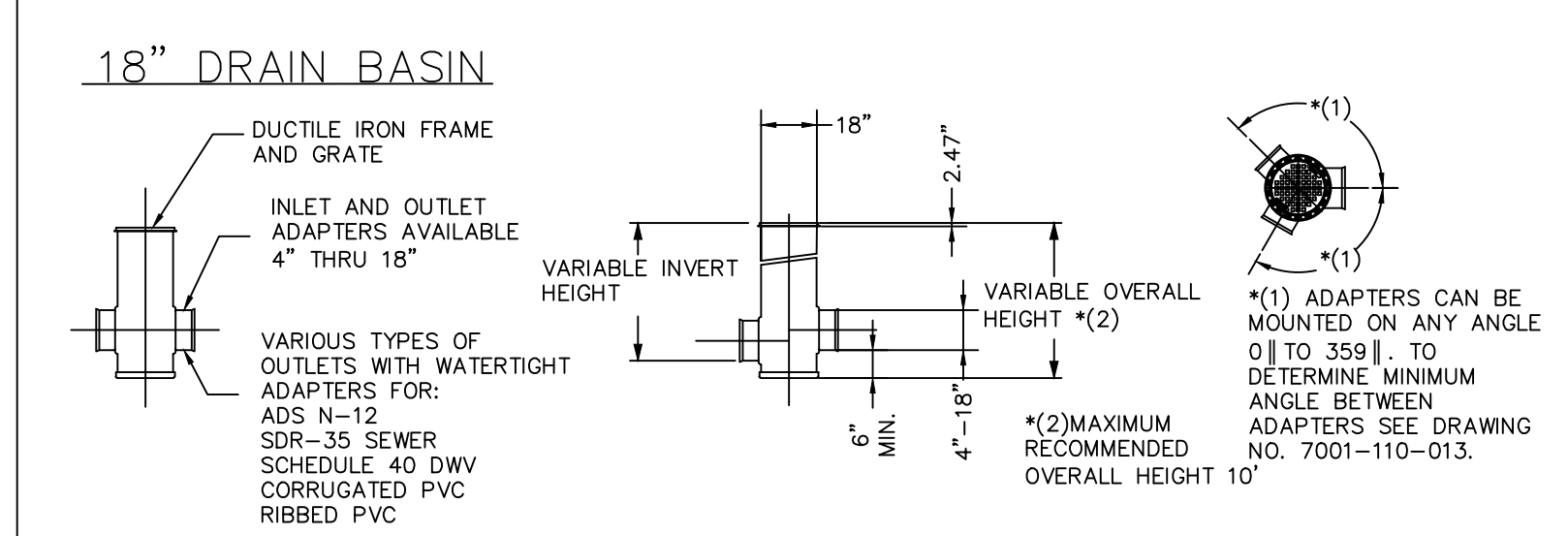
ABT, INC. P.O. Box 837/259 Murdock Road/Troutman, N.C. 28166
800-438-6057 (U.S., Canada and Mexico) or (704) 528-9806
Fax: (704) 528-5478

PLAN VIEW



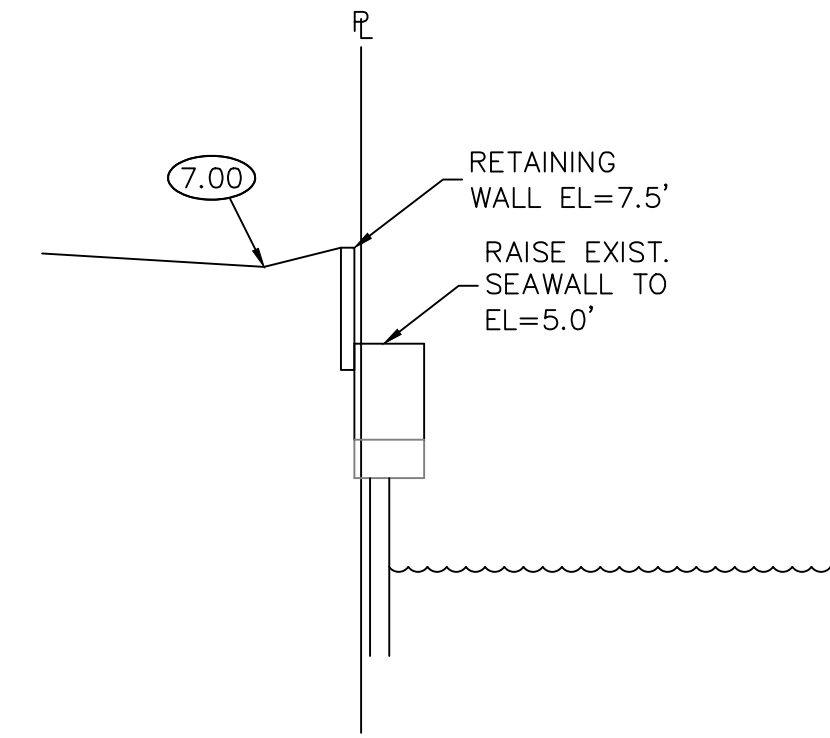
SECTION

PAVER DRIVEWAY DETAIL



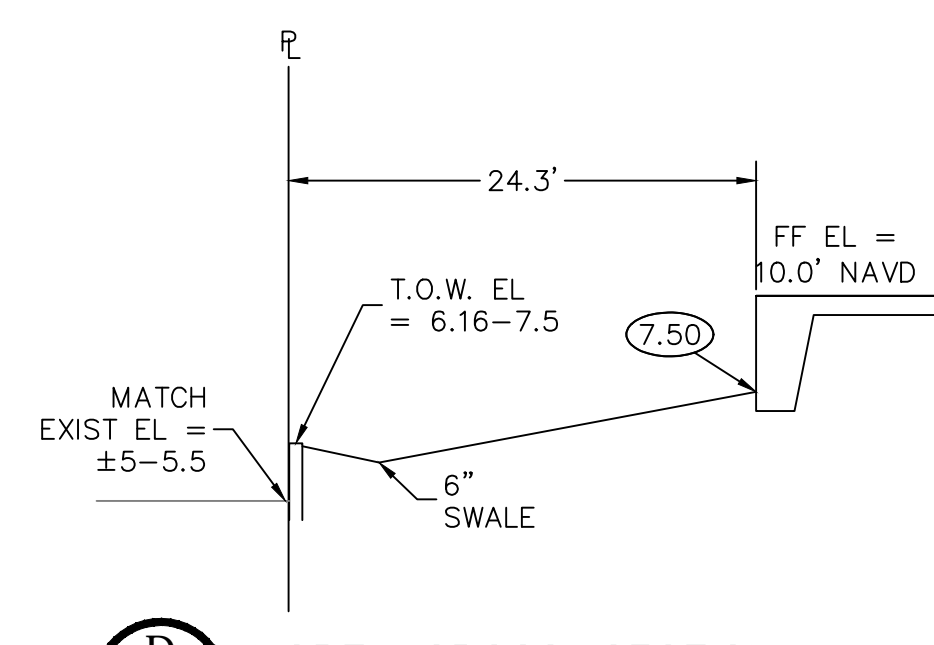
18" DRAIN BASIN

N.T.S.



WEST CROSS-SECTION

NOT-TO-SCALE



NORTH CROSS-SECTION

NOT-TO-SCALE



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JOSEPH A. PIKE, P.E.
FL REG # 42696

PAVING & DRAINAGE DETAILS FOR:
SINGLE FAMILY RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

EnviroDesign Associates Inc.
www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
298 Pineapple Grove Way Delray Beach, Florida 33444
Phone: (561) 274-6500 Fax: (561) 274-8558

DRAWN:
B.A.B.
CHECKED:
J.A.P.
DATE:
01/18/24
JOB NO.
21002-DTL
SHEET NO.
2 OF 5

Given:
1. Design for 4859 sf of AC living area as indicated on architectural plans
2. Per Soils Engineer, Maximum Trench Loading Rate = 0.8 GPD/sf

Type of System: DRIP IRRIGATION or Absorption Bed
 HOOT-1000 PBTS
 HOOT-600 PBTS

Flow Rate: (Per Table 1 of 62-6, single family residences with either 4 bedrooms or between 2,251 sf and 3,300 sf of living area must provide for flows of 400 GPD plus another 60 gpd for every add'l 750 sf or fraction thereof)
 $(4859 - 3300) \div 750 = 1.99 \Rightarrow 2$
 \Rightarrow Flow Rate = $400 \text{ gpd} + (2 \times 60) = 520 \text{ GPD}$

Therefore, Flow Rate = 580 GPD
APPLICATION AREA REQ'D = $(580 \text{ GPD} \div 0.8) \times 60\% = 435 \text{ Square Feet of Drainfield}$

** DRAINFIELD AND UNOBSTRUCTED AREA HAS BEEN REDUCED BY 40% THROUGH THE USE OF A HOOT H-600 'AND' AEROBIC TREATMENT UNIT AND DRIP IRRIGATION.

PROPOSED HOOT H-600 'AND' SYSTEM
Minimum 435 Square Feet of Drainfield 1 Zone(s) of Drip Irrigation
Minimum 653 Square Feet of Unobstructed Area
No Separate Trash Tank Req'd (Integral to Hoot 600)
H-600 'AND' HOOT Aerobic Treatment Unit with Min. 218 LF of 0.9 gph subsurface drip irrigation line.
HOOT BLASTER Model H-20EB105 Pump

INSTALL: 225 LF of drip irrigation line with 1 zone(s), with a total of 225 drip heads (0.9 gph each)
Resulting Flow Rate = 202.5 gph or 3.375 gpm total (202.5 gph or 3.375 gals PER ZONE)

DOSING SCHEDULE: (24 EQUAL DOSES PER DAY)
Pump On Time: 7.17 Minutes (0.17 mins x 3.375 gpm x 24 Equal Doses Per Day)
Pump Off Time: 52.83 Minutes TOTAL: 580.8 GPM PER DAY

Drip Irrigation Calculation Outputs

Total System Information

Application Area Required (square feet)	435
Emitter Discharge Rate (GPH)(Maximum = 1.5GPH)	0.90
Emitter Spacing (inches)	12
Space between Dripperline (feet)	2
Total Amount of Bioline [®] Required (feet)	218
Total Number of Emitters in the Dripfield	218
Total Amount of Bioline [®] Provided (feet)	225
Total Number of Emitters Provided in the Dripfield	225
Flush Velocity	2.5
Inlet Pressure (psi)	25
Minimum Operating Pressure at Emitter Head (psi)	10
Maximum Operating Pressure at Emitter Head (psi)	45
Maximum System Operating Pressure (psi)	60
Estimated Pump Flow Rating (GPM)	20
Size of Supply & Manifold Pipe (inches)	1.25
Type of Supply & Manifold Pipe	PVC Sch80
Length of Supply Line & Supply & Flush Manifolds (feet)	170
Elevation Change from Pump to Dose Tank Outlet (feet)	0.2
Elevation Change from Dose Tank to Drip Field (feet)	1.0

Zone Information

Number of Zones	1
Number of Daily Dosing Per Zone	24
Total System Dosing Events Per Day	24
Amount of Bioline [®] Per Zone (feet)	225
Number of Emitters Per Zone	225
Minimum Number of Laterals Per Zone	2
Maximum Number of Laterals Per Zone	11
Number of Laterals That Will be Used	3
Maximum Length of Bioline [®] Laterals Based on Inlet Pressure	137
Flow Rate Per Zone (GPM)	3.38
Holding Capacity of Dripperline Per Zone (Gallons)	3.0
Additional Flow Requirement to Accommodate Flushing Velocity	6.0

Holding Capacity of Piping

Holding Capacity (Gallons) of Supply Line & Supply & Flush Manifolds	11.3
Holding Capacity (Gallons per Zone) of Bioline [®]	3.0
Holding Capacity (Gallons) of Supply Line, Manifolds and Dripperline	14.3

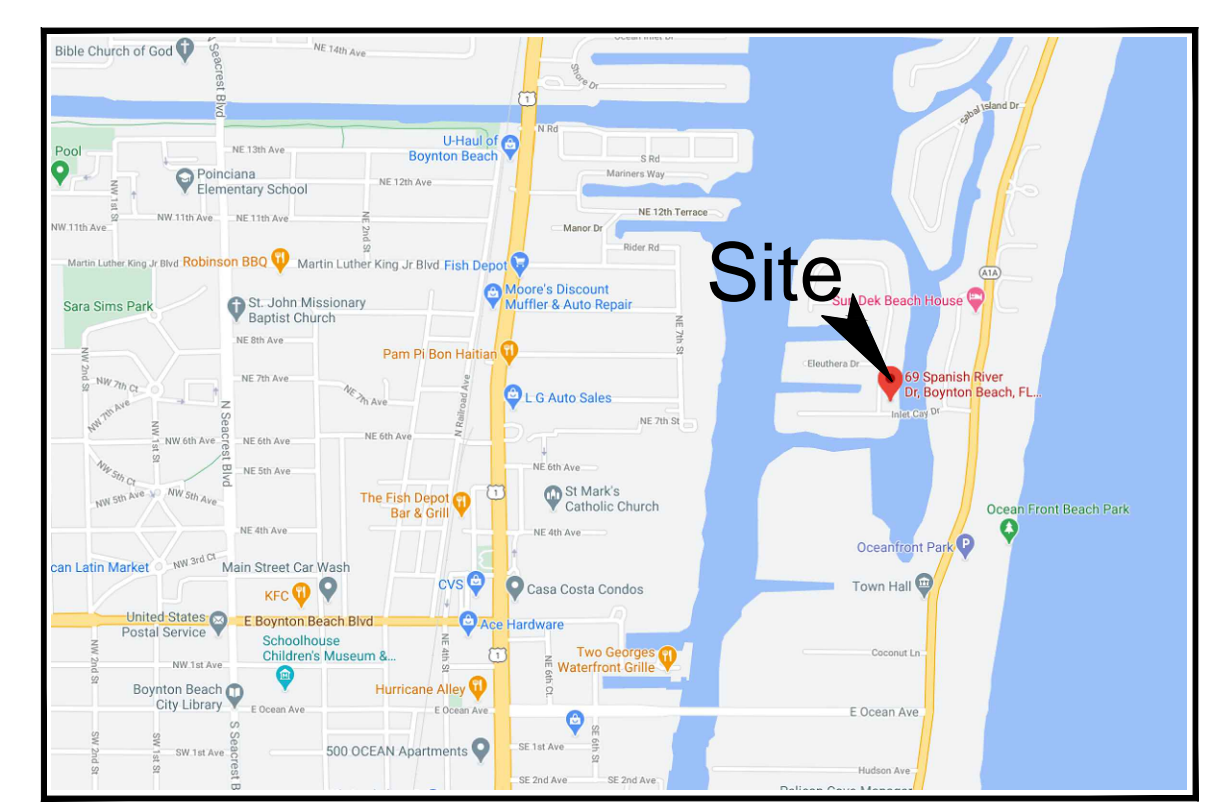
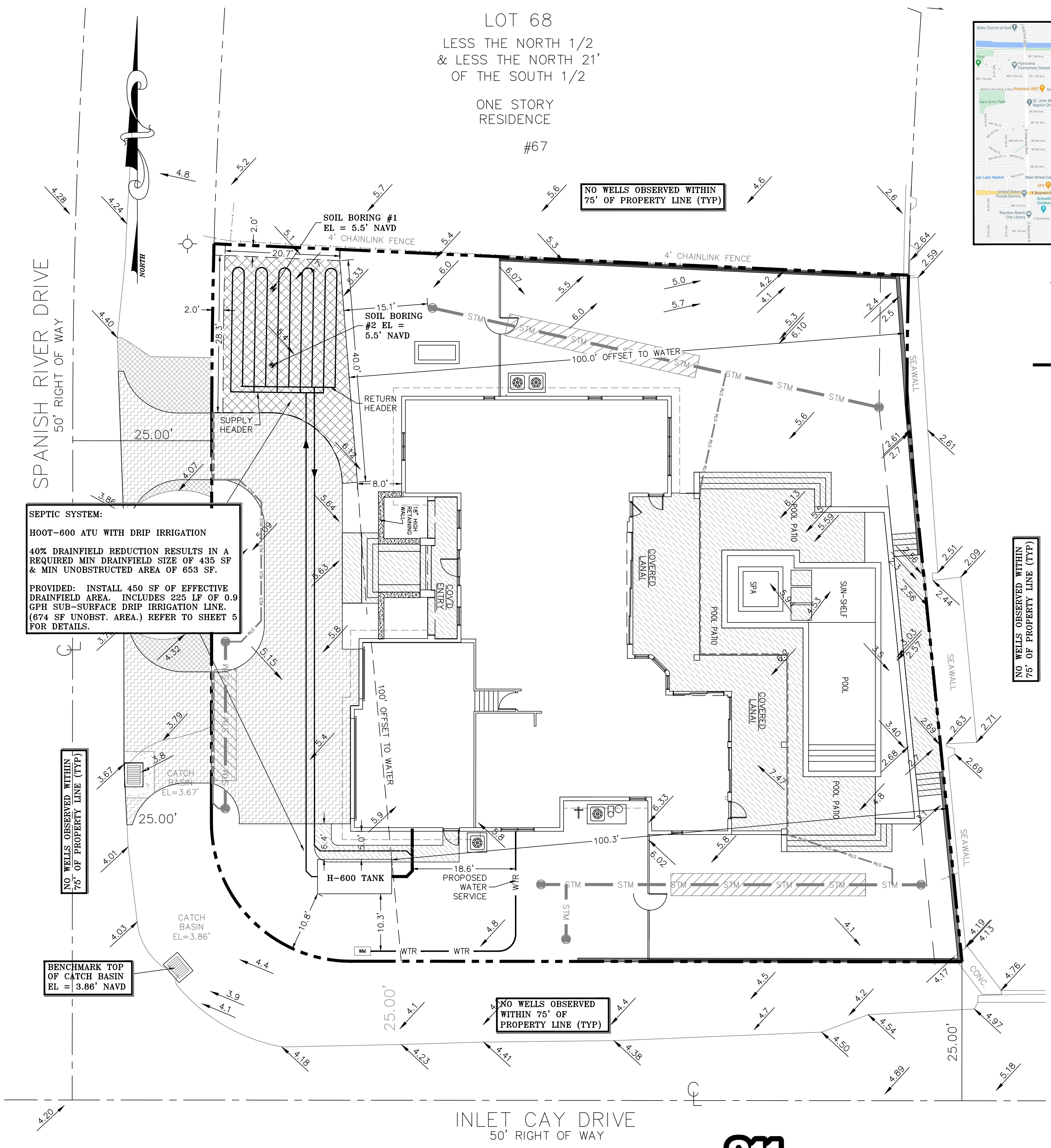
Head Loss Data - Flushing Cycle

Friction Loss per 100' (psi) in Supply Line & Manifolds	0.8
Velocity (fps)	2.3
Friction Loss in Supply Line & Supply Manifolds (psi)	1.4
Friction Loss in Supply Line & Supply Manifolds (Feet of Head)	3.2
Additional Pressure Required for Return Manifold and Piping to Tank (psi)	12.0
Additional Pressure Required for Return Manifold and Piping to Tank (Feet of Head)	27.7
TDH (Total Dynamic Head in Feet of Head)	89.9
TDH (Total Dynamic Head) in psi	39.0
Total System Dosing Events Per Day	24

Pump Selection

Pump Flow Rating (GPM)	9.4
TDH (Total Dynamic Head in Feet of Head)	89.9
Pump Manufacturer	HOOT
Pump Model	H-20EB105

NOTE: IN ACCORDANCE WITH THE CALCULATIONS ABOVE, THE SYSTEM MEETS THE OPERATIONAL PARAMETERS OF CHAPTER 94E-6.009 (6) 21, FOR DRIP IRRIGATION SYSTEMS. NAMELY, THE OPERATING PRESSURES AT THE EMITTER HEADS ARE BETWEEN 10 PSI AND 45 PSI. ADDITIONALLY, THE MAXIMUM SYSTEM OPERATING PRESSURE IS LESS THAN 60 PSI AND THE MAXIMUM DISCHARGE RATE PER EMITTER IS NO MORE THAN 1.5 GALLONS PER HOUR.



LOCATION MAP
N.T.S.

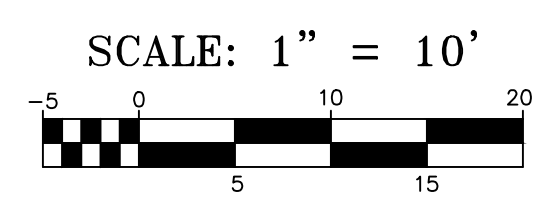
LEGEND:
--- PROPERTY LINE
4.7 EXISTING ELEVATION
[Hatched Box] DENOTES AREA OF PROPOSED BRICK PAVERS SEE DETAIL SHEET 2 - SEE LANDSCAPE PLANS FOR PATTERN
[Cross-hatched Box] DENOTES AREA OF SEPTIC DRAINFIELD UNOBSTRUCTED AREA
A SECTION IDENTIFIER
PLAN PAGE DETAIL PAGE

NO WELLS OBSERVED WITHIN 75' OF PROPERTY LINE (TYP)

NOTE: CONTRACTOR TO FIELD VERIFY EXACT LOCATION, SIZE, AND ELEVATION OF ALL IMPROVEMENTS AT TIME OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENVIRODESIGN ASSOCIATES, INC.



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SEPTIC SYSTEM PLAN FOR:
SINGLE FAMILY RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

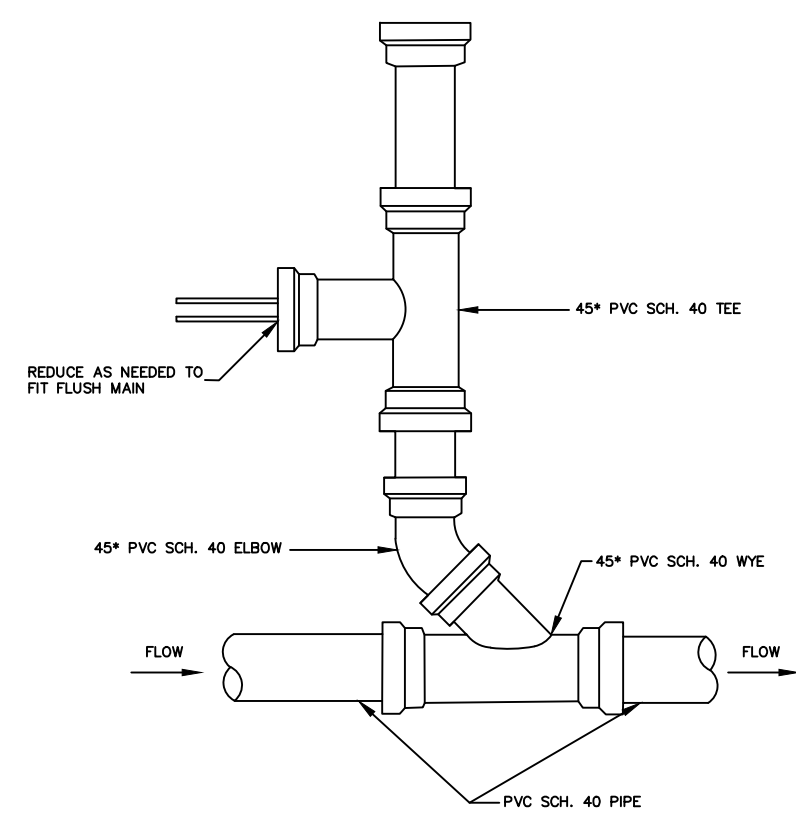
EnviroDesign Associates, Inc.
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1855 Dr. Andres Way, Delray Beach, Florida 33445
Phone: (561) 274-6500 Fax: (561) 274-8558

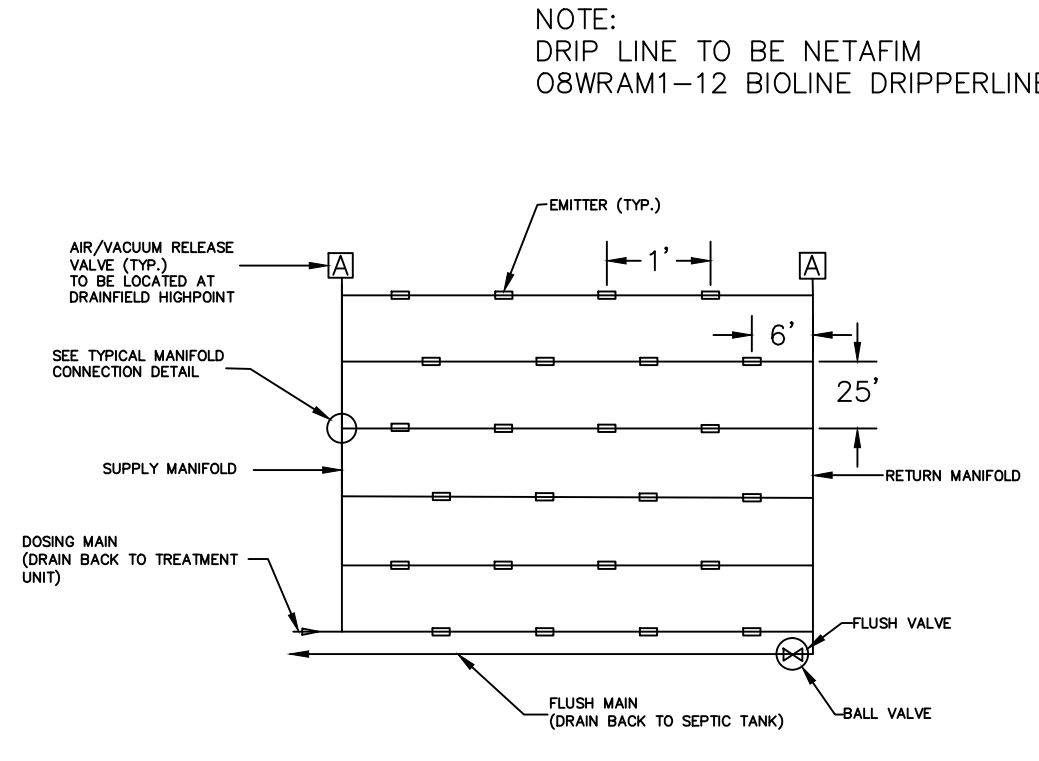
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NO. DATE:
BY:
JOB NO. 19143-SEPTIC
SHEET NO. 3 OF 5

DRAWN: M.T.J.
CHECKED: J.A.P.
DATE: 02/22/24
JOB NO. 19143-SEPTIC
SHEET NO. 3 OF 5

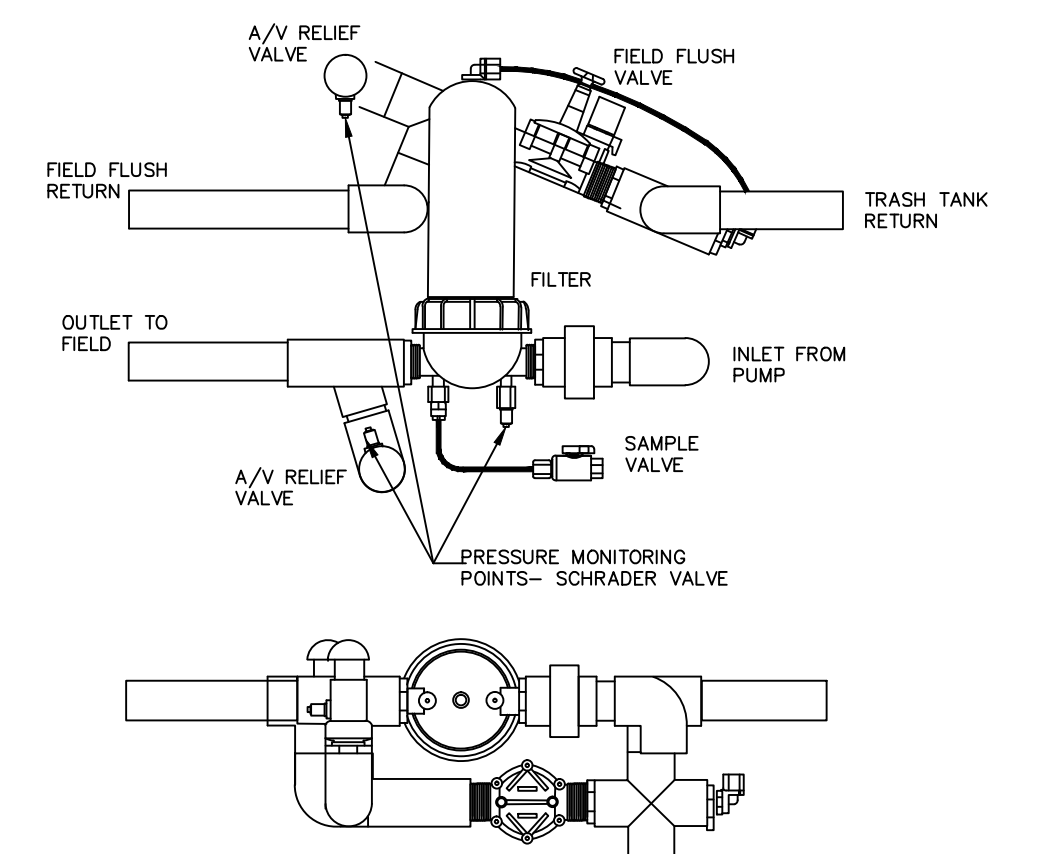
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2024\21002-69 Spanish River- Bremer\DWG\21002-ENG.dwg, 2/22/2024 1:02:03 PM
Page 58 of 60



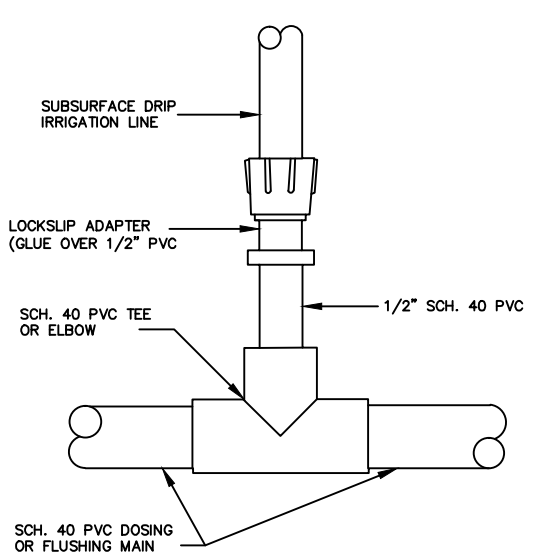
FLUSH MAIN CONNECTION DETAIL
N.T.S.



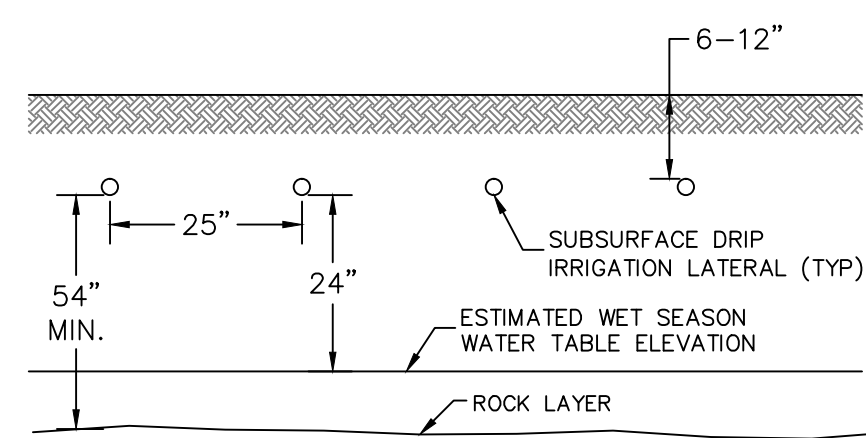
TYPICAL DRIP IRRIGATION FIELD LAYOUT
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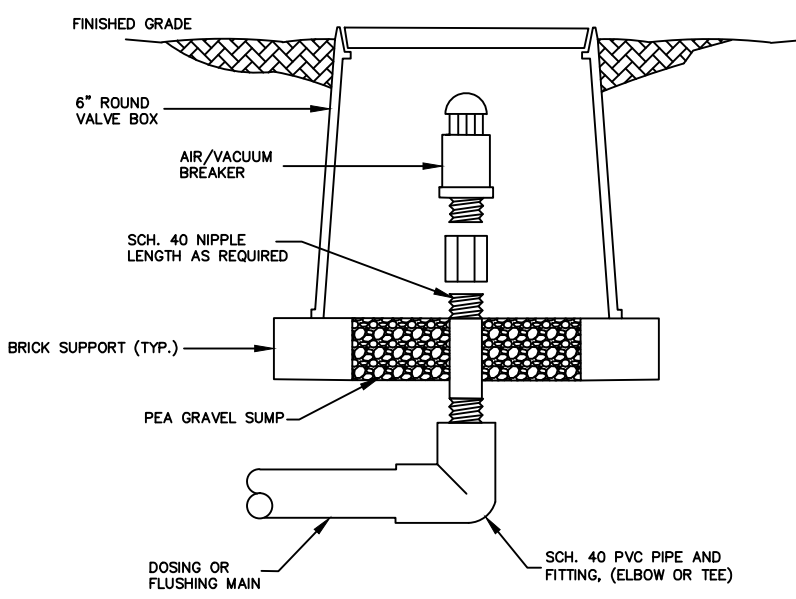
20" AUTO HOOT RISER CONNECTIONS DETAIL
N.T.S.



MANIFOLD CONNECTION DETAIL
N.T.S.

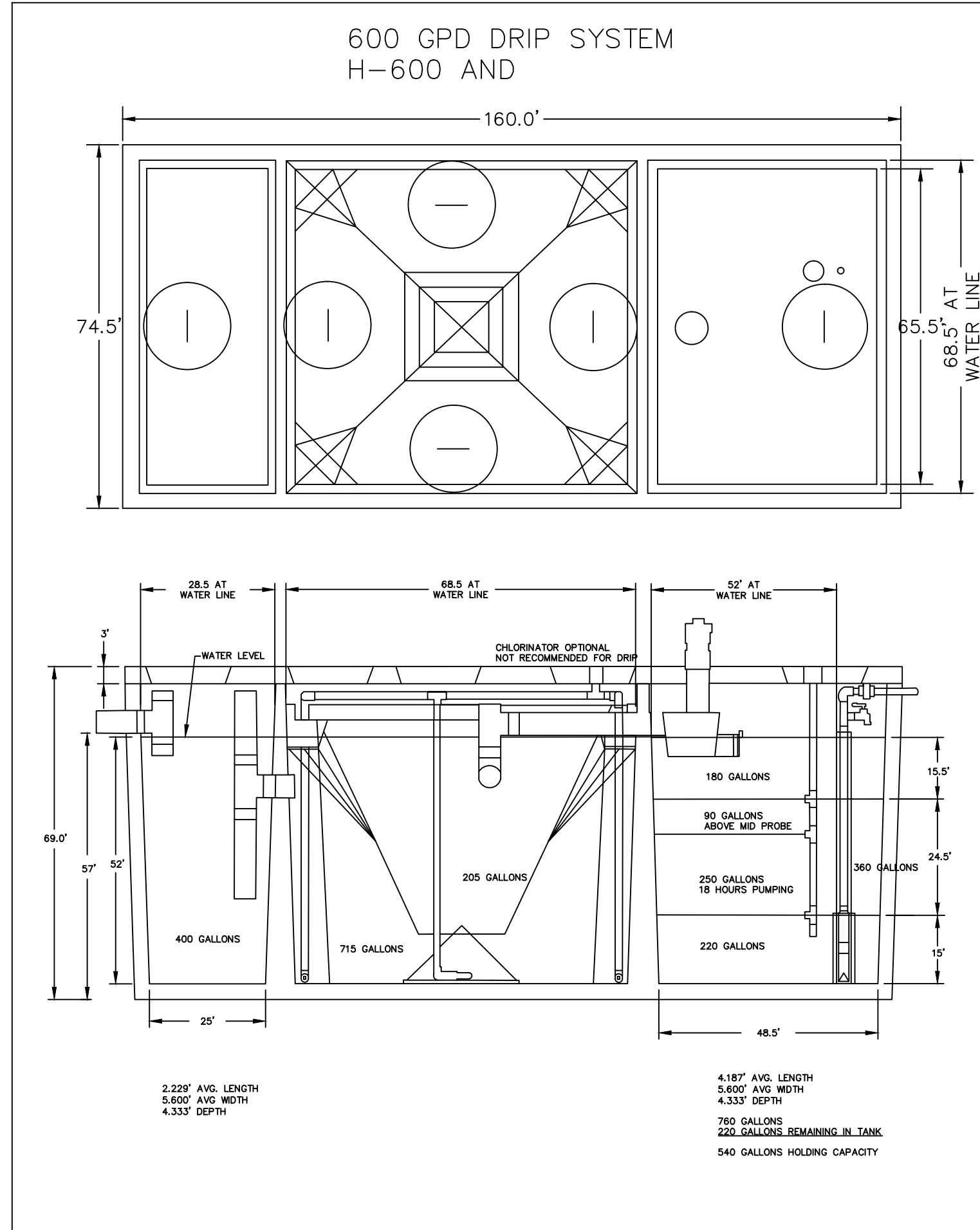
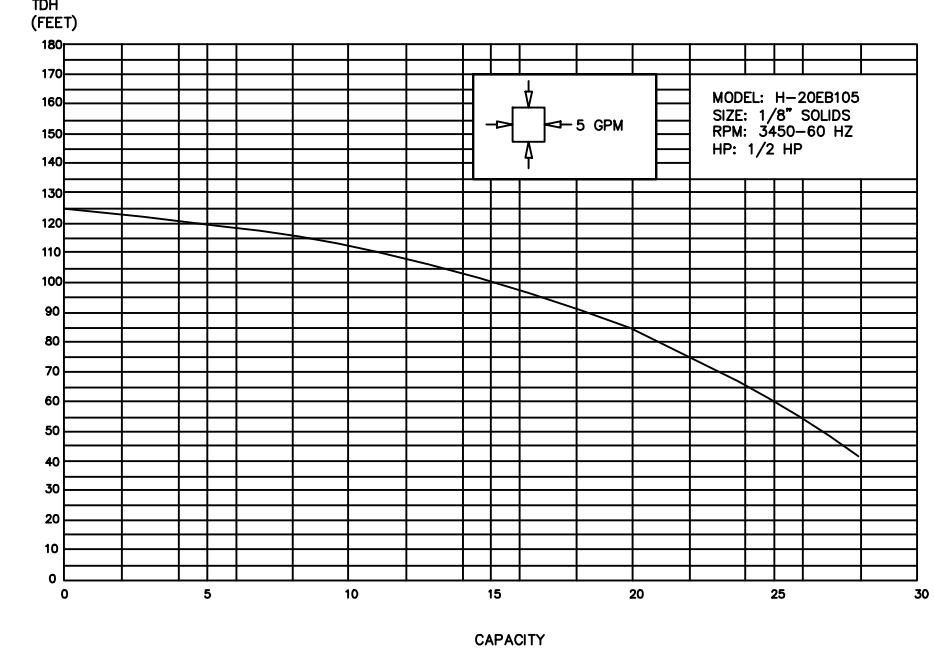


DRIP IRRIGATION FIELD CROSS-SECTION
N.T.S.



AIR/VACUUM RELEASE VALVE
N.T.S.

HOOT BLASTER MODEL: H-20EB105



SEPTIC SYSTEM DESIGN NOTES

- GENERAL NOTES:
- CONTRACTOR TO FIELD LOCATE ANY UNDERGROUND UTILITIES, CABLES, ETC., PRIOR TO CONSTRUCTION AND REPAIR ANY OF THE SAME DAMAGED DURING CONSTRUCTION.
 - SEED, SOD, MULCH, OR OTHERWISE STABILIZE ALL DISTURBED AREAS AFTER CONSTRUCTION.
 - BI-ANNUAL MAINTENANCE IS REQUIRED. THIS MAINTENANCE SHALL BE PROVIDED BY A CERTIFIED MAINTENANCE PROFESSIONAL.
 - SEPTIC TANK SHALL HAVE 900 GALLONS OF LIQUID RETENTION, UNLESS SPECIFIED OTHERWISE ON PLANS.
 - SEPTIC TANK TO BE FITTED WITH APPROVED TRAFFIC BEARING TOP AND MANHOLE COVERS IN ANY LOCATION WHERE THE TANK WILL BE UNDER VEHICLE LOADS.
 - SEPTIC TANK TO BE PUMPED ONCE EVERY TWO YEARS (MINIMUM) TO REMOVE SOLIDS.
 - ALL SEPTIC SYSTEM CONSTRUCTION TO BE IN ACCORDANCE WITH 64E-6, F.A.C.
 - A COPY OF THE SIGNED MAINTENANCE AGREEMENT IS REQUIRED BEFORE FINAL APPROVAL BY THE HEALTH DEPARTMENT.
 - AN ANNUAL OPERATING PERMIT MUST BE OBTAINED FROM THE HEALTH DEPARTMENT PRIOR TO FINAL SYSTEM APPROVAL.
 - EMERGENCY/CONTINGENCY PLAN: IN THE EVENT OF A SYSTEM FAILURE, WATER USE WILL IMMEDIATELY BE RESTRICTED TO MINIMUM USAGE AND THE SEPTIC TANK WILL BE PUMPED BY A LICENSED TANK PUMPING CONTRACTOR AS NEEDED AND THE SEPTAGE TAKEN TO A LICENSED DISPOSAL FACILITY. EACH COMPONENT OF THIS TREATMENT/PURIFICATION AND EFFLUENT DISPOSAL SYSTEM WILL BE EXAMINED FOR ITS CONTRIBUTION TO THE SYSTEM FAILURE. THE COMPONENT(S) THAT CONTRIBUTE TO FAILURE WILL BE REPAIRED OR REPLACED UNTIL SYSTEM OPERATION CAN BE RESTORED. SYSTEM ELEMENTS WILL BE REPLACED UNTIL THE CAUSE OF THE FAILURE IS ISOLATED AND CORRECTED. WITH PROPER INSPECTIONS AND MAINTENANCE, SYSTEM FAILURE SHOULD BE LIMITED TO MINOR COMPONENT FAILURE AND NOT OVERALL SYSTEM FAILURE. MECHANICAL AND ELECTRICAL COMPONENTS WILL BE REPLACED AS NEEDED.
 - PHYSICAL COMPONENTS SUCH AS PIPES, TANKS, EMITTERS AND FILTERS WILL BE INSPECTED AND CLEANED OR REPLACED AS NEEDED.
 - HOOT AEROBIC TREATMENT UNIT REQUIRES 230 VOLT, 30 AMP, SINGLE PHASE MINIMUM POWER SOURCE. ELECTRICAL COMPONENTS SHALL BE INSTALLED BY A LICENSED ELECTRICIAN.
 - ALL COMPONENTS OF THE HOOT AEROBIC TREATMENT SYSTEM AND SUBSURFACE DRIP IRRIGATION SYSTEM TO BE SUPPLIED BY GEORGE W. SHEPARD & SON, INC., P.O BOX 202, NAPLES, FL 34106. PHONE (239) 261-0607

I CERTIFY THAT ENGINEERING FEATURES OF THIS PERFORMANCE BASED TREATMENT SYSTEM HAVE BEEN SPECIFIED BY ME AND CONFORM TO THE ENGINEERING PRINCIPLES APPLICABLE TO SUCH PROJECTS. IN MY PROFESSIONAL JUDGMENT, THIS SYSTEM, WHEN PROPERLY CONSTRUCTED, OPERATED, AND MAINTAINED, WILL ACHIEVE THE ESTABLISHED PERFORMANCE STANDARDS AND COMPLY WITH APPLICABLE STATUTES OF THE STATE OF FLORIDA AND RULES OF THE HEALTH DEPARTMENT.

GENERAL NOTES

- CONTRACTOR SHALL PROTECT ALL PERMANENT REFERENCE MONUMENTS AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID SURVEY MARKERS DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF PERMANENT REFERENCE MONUMENTS DISTURBED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES WHETHER OR NOT SHOWN ON THE PLANS. UTILITIES SHOWN ON THE PLANS ARE FOR REFERENCE ONLY AND MAY NOT DEPICT ACTUAL LOCATIONS. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR LOCATION AND DEPTH OF THEIR LINES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE DEENERGIZING OF POWER LINES AND/OR HOLDING POWER POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE REPLACEMENT OF TRAFFIC LOOPS IF DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL ELEVATIONS REFER TO N.G.V.D. 1929. MINIMUM FINISHED FLOOR ELEVATION FOR ANY RESIDENTIAL STRUCTURE SHALL BE SET AT OR ABOVE ELEVATION THE MINIMUM 100-YR FLOOD STAGE AS PER FEMA FLOOD INSURANCE RATE MAP - REFER TO FINISHED FLOOR ELEVATION SHOWN ON PLANS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION OR INSTALLATION AS REQUIRED BY THE ENGINEER OR BY THE APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE AND PAY FOR, AT NO ADDITIONAL COST TO THE OWNER, ALL NECESSARY PERMITS, FEES AND LICENSES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE REQUIRED NOTICES AND COMPLYING WITH ALL PERMIT(S) CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND PAY FOR THE HOLDING OF OTHER UTILITY POLES DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONCRETE SHALL DEVELOP 2500 p.s.i. (MINIMUM) 28 DAY COMPRESSIVE STRENGTH OR GREATER WHERE NOTED ON PLANS. CLASS I CONCRETE SHALL CONFORM WITH THE FDOT SPECIFICATIONS, LATEST EDITION. CLASS I CONCRETE USED AS PAVING SHALL DEVELOP 3000 p.s.i. (MINIMUM) 28 DAYS COMPRESSIVE STRENGTH.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL UTILITY.
- ENVIRODESIGN ASSOC. INC. SHALL NOT BE RESPONSIBLE FOR THE SAFETY OF THE WORKERS OR THE GENERAL PUBLIC. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFETY TO THE WORKERS IN ACCORDANCE WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATIONS (OSHA) REQUIREMENTS AND THE SAFETY OF THE GENERAL PUBLIC.
- THE CONTRACTOR SHALL CALL SUNSHINE 1-800-432-4770 48 HOURS BEFORE DIGGING FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES (OR DIAL 811).
- CORRUGATED ALUMINUM PIPE USED BENEATH PAVEMENT SHALL BE IN CONFORMANCE WITH SEC. B.24.E.5.i
- NO DRAINAGE STRUCTURES OR IMPROVEMENTS ARE PERMITTED WITHIN REQUIRED PLANTER AREAS/ISLANDS INCLUDING FIRE HYDRANTS, BACKFLOW PREVENTION DEVICES AND/OR FIRE DEPARTMENT CONNECTIONS.
- ALL LIMEROCK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
- THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED MUNICIPAL PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED TESTS AND SHALL SUBMIT REPORTS BY AN INDEPENDENT AND DULY-LICENSED TESTING LABORATORY. SHOULD ANY TESTS FAIL TO MEET SPECIFICATION OF THE APPLICABLE CODES OR AS SHOWN HEREIN, THE CONTRACTOR SHALL, AT THEIR EXPENSE, CORRECT ALL DEFICIENT WORK AND SUBMIT LABORATORY TEST RESULTS SHOWING COMPLIANCE WITH THE APPROPRIATE SPECIFICATIONS.
- ALL WORK SHALL BE PERFORMED IN A SAFE AND WORKMANLIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES REQUIRED TO BEGIN THE WORK.
- THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERTY TEST AND INSPECT THE COMPLETED WORK.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF THE PROJECT ACCEPTANCE, DURING WHICH ALL FAULTY CONSTRUCTION AND/OR MATERIALS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL UNSUITABLE MATERIAL SUCH AS MUD, MARL, AND DEBRIS SHALL BE REMOVED FROM THE LIMITS OF CONSTRUCTION AND LEGALLY DISPOSED OF. AT THE ENGINEER'S DIRECTION, MUCH MAY BE STOCKPILED ON THE SITE AT DESIGNATED LOCATIONS FOR USE IN LANDSCAPING.
- RECORD DRAWINGS: THE CONTRACTOR SHALL COMPLETE "RECORD DRAWING" (AS-BUILT) INFORMATION RELATIVE TO PIPE LENGTHS, MATERIALS AND ANY DEVIATION FROM THE PLANS AND PROVIDE A COPY OF ANY SUCH DEVIATIONS TO THE OWNER AND ENGINEER FOR FINAL ACCEPTANCE OF THE CONTRACTOR'S WORK PRODUCT.

SEPTIC SYSTEM DETAILS FOR:
SINGLE FAMILY RESIDENCE
69 SPANISH RIVER DRIVE
OCEAN RIDGE, FLORIDA

EnviroDesign Associates Inc.
 www.envirodesign.com
ENGINEERS • ENVIRONMENTAL CONSULTANTS
 FLORIDA CERTIFICATE OF AUTHORIZATION No. 6506
 298 Pineapple Grove Way Delray Beach, Florida 33444
 Phone: (561) 274-6500 Fax: (561) 274-8558

JOSEPH A. PIKE, P.E.
 FL REG # 42696

NOT VALID WITHOUT ENGINEER'S SEAL

REVISIONS:
 NO. DATE:

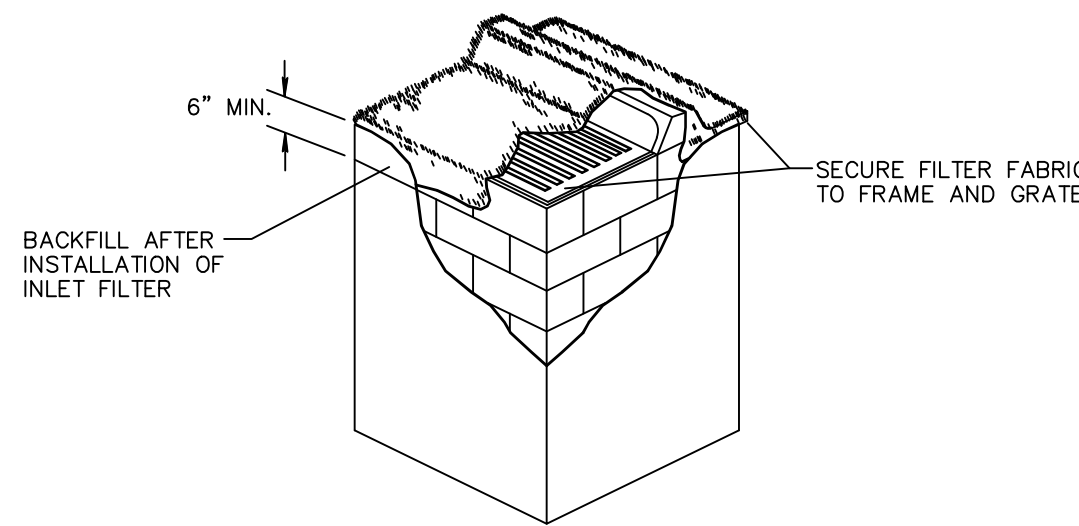
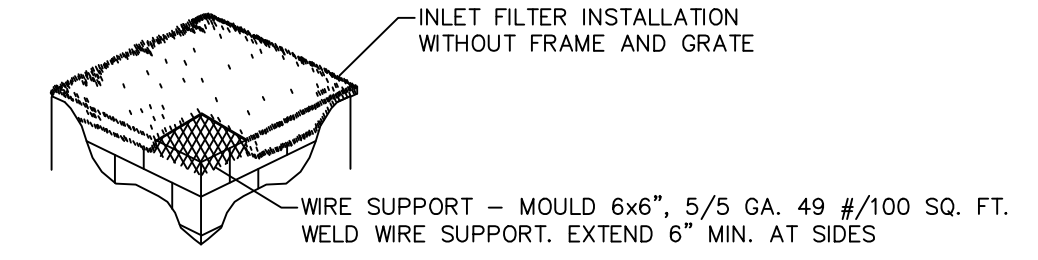
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 B.A.B.

CHECKED:
 J.A.P.

DATE:
 2/22/24

JOB NO.
 21002-DTL

SHEET NO.
 4 OF 5



NOTES:

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.

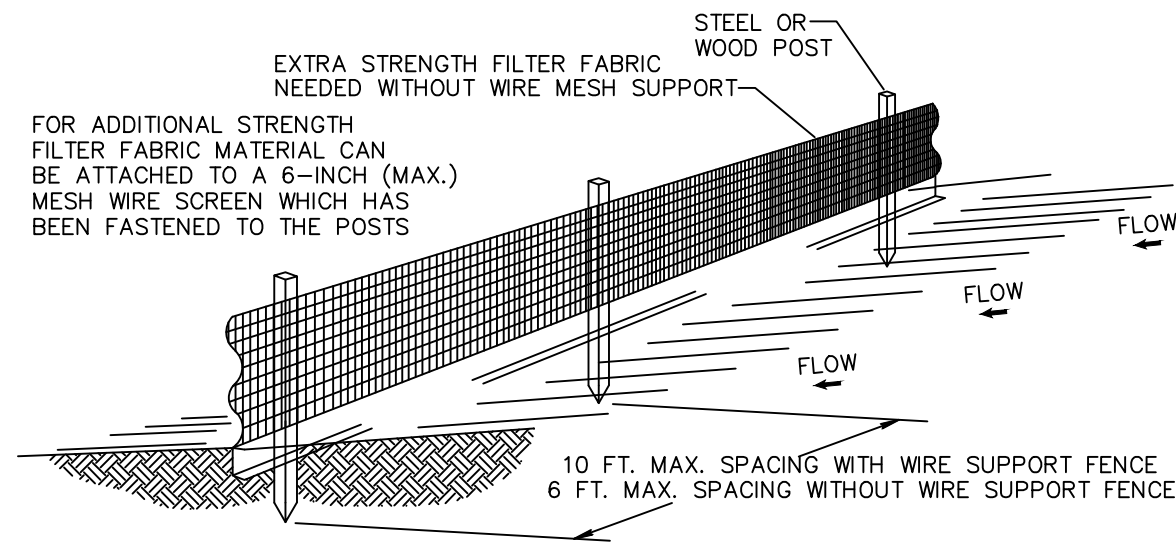
A SEDIMENT TRAP WILL BE EXCAVATED BEHIND THE CURB AT THE INLET. THE BASIN SHALL BE AT LEAST 12 TO 14 INCHES IN DEPTH, APPROXIMATELY 36 INCHES IN WIDTH, AND APPROXIMATELY 7 TO 10 FEET IN LENGTH PARALLEL TO THE CURB.

STORM WATER WILL REACH THE SEDIMENT TRAP VIA CURB CUTS ADJACENT TO EACH SIDE OF THE INLET STRUCTURE. THESE OPENINGS SHALL BE AT LEAST 12 INCHES IN LENGTH. STORM WATER MAY ALSO REACH THE BASIN VIA OVERLAND FLOW LAND AREA BEHIND THE CURB. THE CURB CUTS SHALL BE REPAIRED WHEN THE SEDIMENT TRAP IS REMOVED.

INLET FILTER DETAIL

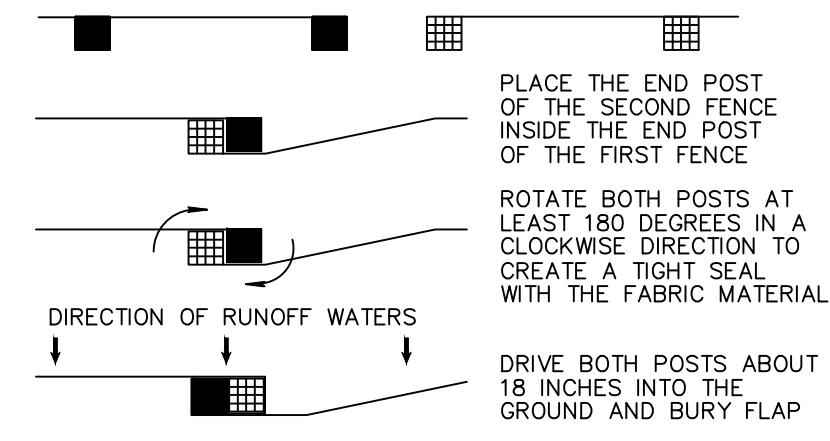
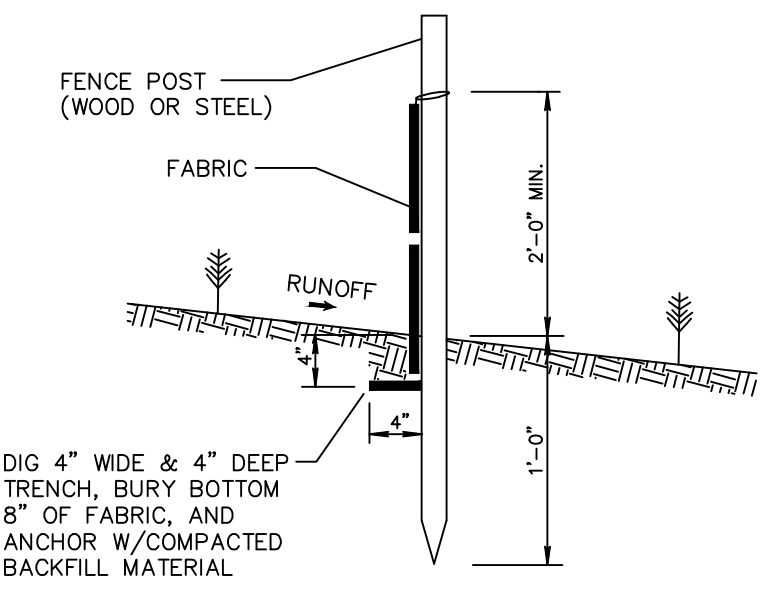
- THE INTENT OF EROSION CONTROL MEASURES INDICATED GRAPHICALLY ON PLANS IS TO PROVIDE A BARRIER TO CONTAIN SILT AND SEDIMENT ON THE PROJECT SITE. THIS REPRESENTATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE TEST OF EROSION CONTROL EFFECTIVENESS IS NOT TO BE DETERMINED BY ADHERENCE TO THE REPRESENT SET FORTH ON THE DRAWINGS AND SPECIFICATIONS, BUT BY MEETING THE REGULATIONS SET FORTH BY THE AUTHORITY HAVING JURISDICTION OVER WATER QUALITY CONTROL AND OTHER SEDIMENTATION RESTRICTION REQUIREMENTS IN THE REGION.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING, OR OTHER LAND DISTURBANCE ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES.
- INSPECTION OF ALL EROSION CONTROL MEASURES SHALL BE CONDUCTED WEEKLY, OR AFTER EACH RAINFALL EVENT, REPAIR, AND/OR REPLACEMENT OF SUCH MEASURES SHALL BE MADE PROMPTLY, AS NEEDED.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED IF DEEMED NECESSARY BY ONSITE INSPECTION.
- FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING HALTED.
- DRAINAGE INLETS SHALL BE PROTECTED BY FILTER AND GRADED ROCK AS PER INLET PROTECTION DETAIL.
- ANY ACCESS ROUTES TO SITE SHALL BE BASED WITH CRUSHED STONE, WHERE PRACTICAL.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
- ALL WORK IS TO BE IN COMPLIANCE WITH THE RULES AND REGULATIONS SET FORTH BY THE STATE OF FLORIDA, DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE CITY OF DELRAY BEACH.
- DISCHARGE FROM DEWATERING OPERATIONS SHALL BE RETAINED ONSITE IN A CONTAINMENT AREA.

EROSION CONTROL NOTES DETAIL



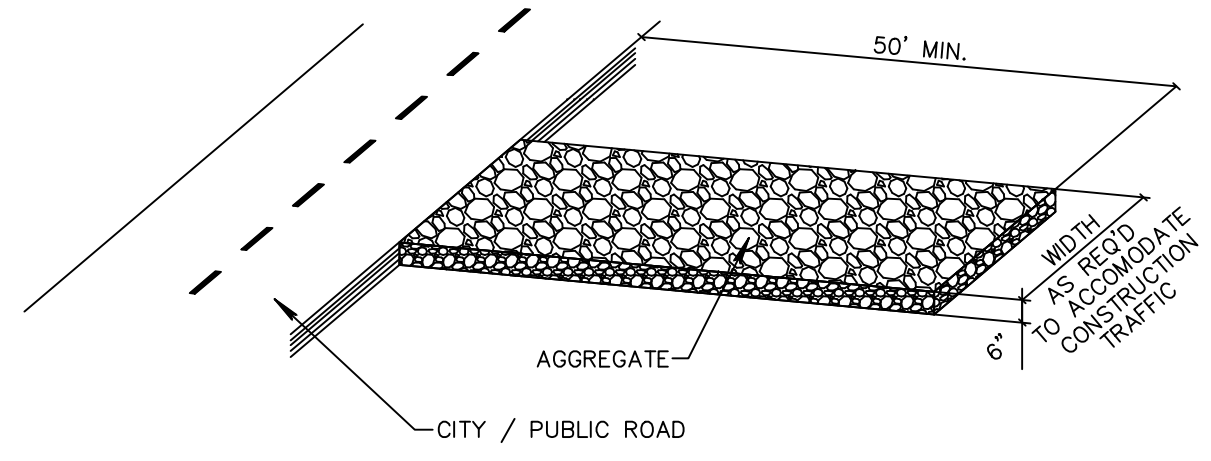
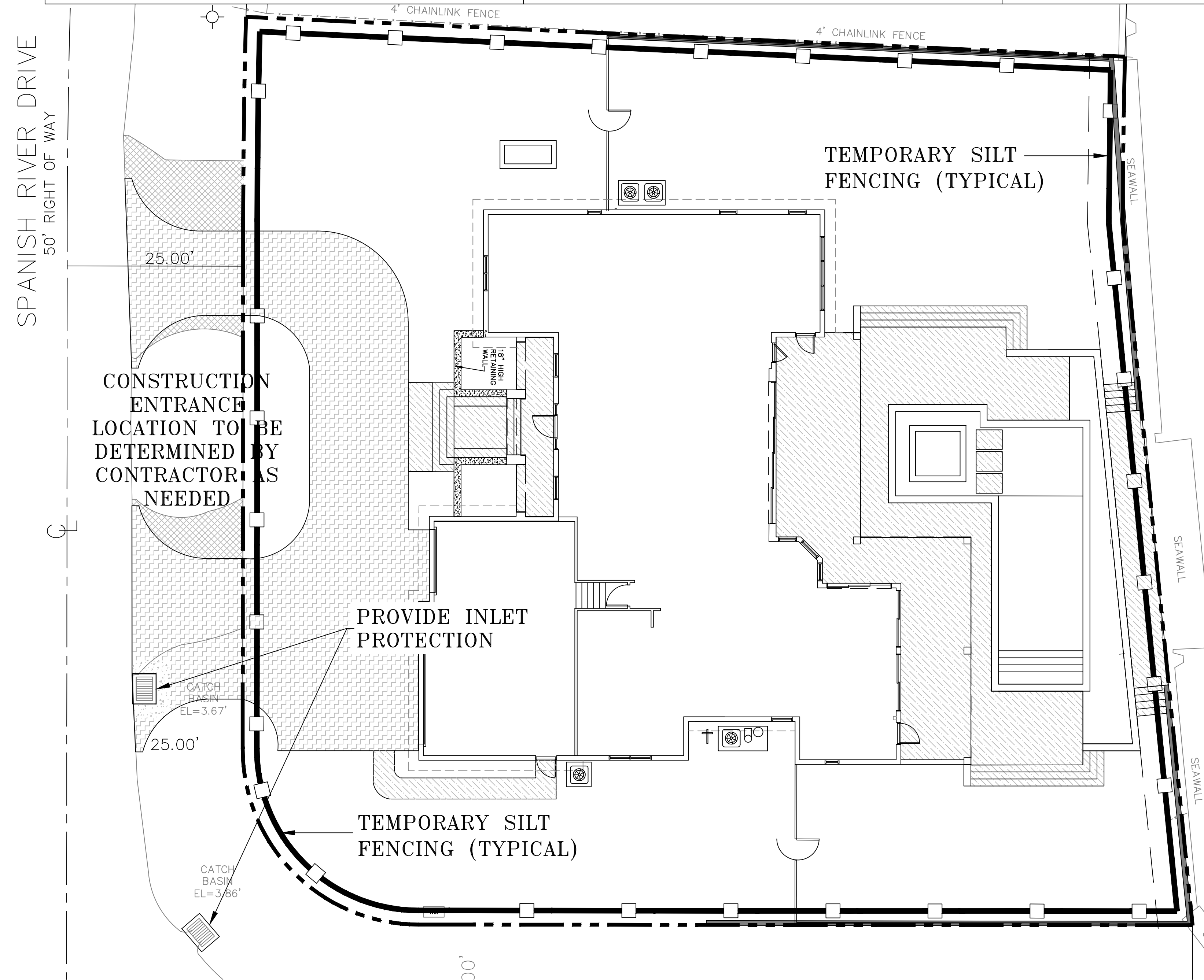
- NOTES:**
- THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
 - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
 - POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 - THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
 - THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 - ALL PROJECTS REQUIRE SUBMITTAL OF POLLUTION PREVENTION PLAN (PPP).
 - ALL PROJECTS 1 AC. OR MORE MUST SUBMIT NOTICE OF INTENT (NOI) TO FDP.

SILT FENCE INSTALLATION DETAIL
Sheet 1 of 2



ATTACHING TWO SILT FENCES
NOT TO SCALE

SILT FENCE INSTALLATION DETAIL
Sheet 2 of 2

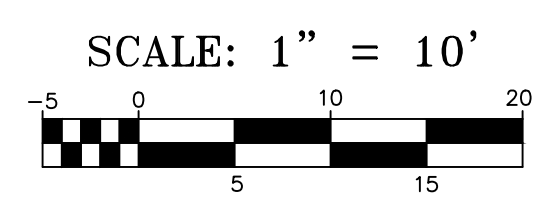


NOTE:
A CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AND CONTAIN AN AGGREGATE LAYER (FDOT AGGREGATE NO.1), AT LEAST 6-INCHES THICK. IT MUST EXTEND TO THE WIDTH OF THE VEHICULAR INGRESS AND EGRESS AREA.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

VARIABLE WIDTH RIGHT-OF-WAY (WATERWAY)
MEAN HIGH WATER
ELEVATION = 0.34 NAVD 88
POINT ID #55
TIDAL EPOCH - 1983-2001
SOURCE: LABINS

CALL 48 HOURS BEFORE YOU DIG.
IT'S THE LAW
1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



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POLLUTION PREVENTION PLAN FOR:
SINGLE FAMILY RESIDENCE
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5 OF 5