

**TOWN OF OCEAN RIDGE  
PLANNING & ZONING REGULAR MEETING  
AGENDA**



**December 17, 2024 at 9:00 AM  
Town Hall - Meeting Chambers**

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**COMMISSIONERS**

Chair P. Shields Ferber  
Vice Chair Kenneth Kaleel  
Member Neal Sigety  
Member Marc de Baptiste  
Member Fady Khairallah  
Alt. Member Polly Joa  
Alt. Member Jason Sutherland

**ADMINISTRATION**

Town Manager Lynne Ladner  
Town Attorney Christy Goddeau  
Town Clerk Kelly Avery  
Building Official Mike Crisafulle  
Town Planner Corey O'Gorman  
Town Engineer Tara Bamber  
Town Zoning Official Manual Palacios

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**CALL TO ORDER**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**PUBLIC COMMENT** – (3-minute individual limit for items not on the agenda)

**APPROVAL OF MINUTES**

1. Adopt Minutes of the November 19, 2024 Meeting.

**DISCUSSION / ACTION ITEMS**

2. Quasi-Judicial Hearing: Development Plan Review for 44 Bimini Cove Dr.

**WORKSHOP DISCUSSION ITEMS**

3. Required Comp Plan Updates

**COMMISSIONER COMMENTS**

This item is reserved for any Commissioner Comments that are not related to any item printed on the agenda.

**ADJOURNMENT**

**THE NEXT MEETING OF THE PLANNING & ZONING BOARD WILL BE HELD  
ON TUESDAY, JANUARY 21, 2025 AT 9:00 AM AT TOWN HALL.**

The Town of Ocean Ridge is holding all meetings in-person, with an additional option of listening to the

audio live. Any person wishing to listen to the audio live can access the feed on the date and time of the meeting by dialing +1 (571) 317-3122 and using 471-955-997 as the access code. You can join from your computer, tablet or smartphone. <https://meet.goto.com/471955997>

If a person decides to appeal any decision made by the Planning & Zoning Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons who need an accomodation in order to attend or participate in this meeting should contact the Town Clerk at 561-732-2635 at least 5 days prior to the meeting in order to request such assistance. Please take notice that one or more Town Commissioners may be present at any board or commission meeting of the Town of Ocean Ridge.

**Notice: The public may view the hard copy of the meeting materials at Town Hall before the meeting.**

PLANNING & ZONING COMMISSION MEETING MINUTES  
NOVEMBER 19, 2024

Meeting Minutes of the Planning and Zoning Commission of the Town of Ocean Ridge held on Tuesday, November 19, 2024, in the Town Hall Meeting Chambers.

**CALL TO ORDER**

The meeting was called to order at 9:00 a.m. by Chair Ferber.

**ROLL CALL**

Town Clerk Avery led the roll call, which was answered by the following:

Chair Shields Ferber	Present
Vice Chair Kenneth Kaleel	Present
Member Marc de Baptiste	Present
Member Fady Khairallah	Present
Member Neal Sigety	Present

**PLEDGE OF ALLEGIANCE**

Chair Ferber led the Pledge of Allegiance.

**PUBLIC COMMENT**

Chair Ferber called for public comment, and there was none.

**APPROVAL OF MINUTES**

- 1. Adopt Minutes of the October 15, 2024 Regular Meeting.**

**Vice Chair Kaleel moved to adopt the minutes of October 15, 2024; seconded by Member Sigety. Motion carried 5-0.**

**DISCUSSION/ ACTION ITEMS**

- 2. Approval of the 2025 Meeting Dates**

The board had no objections to the meeting dates.

**Vice Chair Kaleel moved to approve the 2025 Meeting Dates; seconded by Member Khairallah. Motion carried 5-0.**

- 3. Review Updates to Chapters 66 and 67 Regarding Flood Damage Prevention And The Technical Codes And Other Construction Standards**

Town Attorney Goddeau explained that during the October meeting, the Planning and Zoning Commission reviewed the ordinances and requested a further review of the “substantial improvement” definition.

There was a discussion regarding the definition of a look-back period of two (2) years. More discussion followed regarding base flood elevations.

PLANNING & ZONING COMMISSION MEETING MINUTES  
NOVEMBER 19, 2024

Town Attorney Goddeau mentioned that the FEMA maps are being approved in December, so the ordinances must be drafted and approved by the Town Commission expeditiously. She also mentioned that she was advised that a rule will soon require a property to be two (2) feet above the base flood level for federal grants or loans.

Based on the Board discussion, Chair Ferber asked Town Attorney Goddeau what her recommendation for changes to the existing language was, and she answered his question. More discussion followed regarding storm hardening and defining the language to a two (2) years look-back period.

Chair Ferber called for public comment and there was none.

Town Engineer Bamber agreed with the Town Attorney's recommendation.

**Vice Chair Kaleel moved to adopt the “substantial improvement” revised language except for adding storm hardening measures in addition to any safety code violations and limiting lookback period to two years; seconded by Member Khairallah. Motion carried 5-0.**

#### **WORKSHOP DISCUSSION ITEM**

#### **4. Required Comp Plan Updates**

Town Planner O’Gorman provided an update on the item.

Jim Fleischman updated the Commission on the drafted maps, updated recreation and open space elements, and 2025 Ear-Based Amendments, which he handed out.

There was a discussion regarding the revisions to the goals, objectives, and policy recommendations recommended by staff and the town consultants.

Vice Chair Kaleel emphasized that staff recommendations and statutory changes in language should be identified. More discussion followed regarding identifying non-statutory items.

Chair Ferber opened the floor for public comment.

The following spoke: Carolyn Cassidy

There was a discussion regarding revising the future land use map.

The Commission requested digital copies of the completed Comp Plan before the meeting. They discussed scheduling another workshop or a special meeting before the final hearing in January.

Chair Ferber closed the floor for public comment.

#### **COMMISSIONER COMMENTS**

Member de Baptiste expressed that pedestrian walkway signage along A1A is needed.

PLANNING & ZONING COMMISSION MEETING MINUTES  
NOVEMBER 19, 2024

Chair Ferber mentioned that he asked staff questions about the relationship between the park in the North and the residents on Harbour Island, which has become out of balance lately. He stated that renovation work did not comply with the 1985 agreement, and the Town Commission has been made aware of the issue. He also mentioned that Vice Chair Kaleel and himself separately have taken and provided pictures of water coming over seawalls, gaps in the seawalls, and water in the Town right of way.

Vice Chair Kaleel announced that the Town of Manalapan is reopening the Sand Transfer Plant and there was brief discussion regarding the history.

Member Khairallah left the dais.

**ADJOURNMENT**

**Vice Chair Kaleel moved to adjourn the meeting; seconded by Member Sigety. Motion carried 4-0.**

Meeting adjourned at 10:49 a.m.

Minutes prepared by Deputy Town Clerk Pinder and adopted by the Planning & Zoning Commission on December 17, 2024.

\_\_\_\_\_  
Shields Ferber, Chair

Attest:

\_\_\_\_\_  
Kelly Avery, Town Clerk

**Town of Ocean Ridge, Florida**  
**Planning & Zoning Board Agenda Memorandum**

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**To:** Planning & Zoning Board Members  
**From:** Corey O’Gorman, Town Planner  
**Meeting Date:** December 17, 2024  
**Subject:** 44 Bimini Cove – Development Plan Review

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**1. PETITION DESCRIPTION**

APPLICANT: Felisha O’Neill, Affiniti Architects  
OWNER: Kyle Robertson and Maryann Ricci  
ADDRESS: 44 Bimini Cove Drive, Ocean Ridge, Florida 33435

ZONING DISTRICT: RSF

REQUEST: The applicant is requesting Development Plan Review approval in accordance with Town Code Land Development Code including Chapter 63 General and Administrative Provisions, Section 63-56 for Development Plan Review and Chapter 64 Zoning, including Section 64-1, RSF, Single-Family Residential.

**2. BACKGROUND**

As described in the Land Development Action Application, the applicant is requesting Development Plan Review (DPR) approval for construction of a new two-story home consisting of five (5) bedrooms, five (5) full baths and three (3) half baths, a two-car and a one-car carport, a pool, spa and a pool deck. The application was submitted on October 23, 2024 for DPR, Town staff generated comments which were addressed by the applicant, and the Town Staff is recommending approval of the revisions subject to review by the Planning and Zoning Board and with conditions noted in the attached Staff memo’s.

**3. BOARD ACTION.**

Development Plan Review is subject to the requirements of Town Code Section 63-56 which includes the following:

- (1) *The planning and zoning commission shall use the review criteria as set forth herein when reviewing site plans.*
  - a. *Relationship of building to site:*
    - 1. The site should be planned to accomplish a desirable transition with the streetscape. The overall balance and proportion of the proposed building will be considered.

2. The height and scale of each building should be compatible with its site and other buildings onsite
- b. *Relationship of building and site to adjoining area(s):*
1. Buildings should be designed to enhance the surrounding neighborhood.
  2. Harmony in architectural style, form, texture, mass and lines, as well as materials, colors, and use of architectural elements should be provided in the design of all buildings.
  3. Buildings should be consistent with the established neighborhood character or within acknowledged architectural styles.
  4. The height and scale of the proposed structure(s) should be compatible with the surrounding neighborhood
- c. *Building design:*
1. Evaluation of a project should be based on quality of its design and relationship to surroundings.
  2. Components such as roofs, windows, doors, eaves, and parapets should have balanced proportions in relationship to one another.
  3. Colors should be harmonious and representative of the architectural style of the building and generally within the character of the neighborhood.
  4. Design attention should be given to mechanical equipment or other utility hardware on roofs, buildings and at grade so as to screen them from off-site view.
  5. Buildings should be of a size as to be in harmony with permanent neighboring development or within acknowledged architectural styles.
  6. Use of any/all of the above preferred design elements in conjunction with the renovation or addition to existing homes is encouraged, along with the removal of any existing elements that are not preferred.
  7. The architectural style and elements of proposed additions and renovations shall be consistent with the other portions of the building.
  8. All proposed structures shall be consistent with the town's land development regulations and the goals, objectives and policies of the comprehensive plan

In addition to the above, pursuant to 63-56(3), the planning and zoning commission shall approve, deny, approve with conditions, or request additional information in order to make a determination that the proposal is compliant with the above criteria.

#### **4. STAFF RECOMMENDATION**

Town Staff recommends approval subject to the conditions in the attached staff memo's and review of the project in accordance with Section 63-56 as noted above.

**PLAN REVIEW REPORT**  
**44 Bimini Cove Drive**  
**10/23/24/Revision 11/20/24**

This Plan Review Report is for the Development Plan Review to construct a two-story home on a vacant lot at 44 Bimini Way. The proposed development includes five (5) bedrooms, five (5) full baths and three half baths, two-car garage and carport, swimming pool and spa. This review references site and architectural plans prepared by Affiniti Architects dated 10/10/24; survey prepared by Engle Land Surveying LLC dated 03/20/24; civil plans prepared by Caulfield & Wheeler dated 10/11/24; and landscape plans prepared by PLA Design Studio dated 10/14/24. ***This revised report is based on revisions received on 11/13/24 and recommends approval with conditions noted below.***

PCN: 46-43-45-22-11-000-0440  
FLU: Single-Family Residential  
Zoning: RSF

The following review is based on the requirements of the Town of Ocean Ridge Zoning Code, Chapter 64, Article I, Section 64-1 for RSF zoning, related sections of Article III Supplemental Regulations of the Code of Ordinances, and the Development Plan Review Checklist as applicable.

- ~~Although 44 Bimini Cove will likely be the address, it does not appear to have been assigned. If that is the case, please be sure that the address is assigned to this property.~~
- Please revise page 2 of the LDAA where it says that the site is served by public sewer since the property will be served by an on-site septic system. ***Comment not addressed, this must be revised prior to approval by the Planning & Zoning Board.***
- ~~The LDAA checklist requires the survey to be less than one year old, certified to a title policy or report, and show the total lot area in square feet and acres. Please update the survey accordingly.~~ ***Comment Addressed***
- ***New Comment/Condition of Approval: Any dock and seawall construction must comply with Town Code Section 64-77 as applicable.***

Section 64-1(j)(5)      Background: This code section limits the Lot Coverage to 35% of the total lot area. Lot coverage is defined as that portion of the area of a lot, expressed as a percentage, occupied by all buildings or structures which are roofed or otherwise covered and that extend more than three feet above the ground surface.

~~***Comment: Sheet A1 and A2 show the Lot Coverage of 22.1% and 3798 square feet, but the roof plan Sheet A6 shows 3717 square feet. Although this is well under the permitted lot coverage amount, please***~~

~~revise the plans to ensure consistency and to specify the correct lot coverage based on the code definition. **Comment addressed**~~

Section 67-37(b)(1) Background: This code section specifies that the maximum building height for flat roofed structures is 24' for a two-story structure, and it is measured from the finished floor elevation to the top of the tie beam. The site data chart on Sheet A1 and the dimensioned maximums on Sheets A4 and A5 show a maximum of 36', and appear to measure to the bottom of the tie beam.

~~**Comment:** Please revise the plan set as needed to show the correct maximum building height and clearly specify that the measurement is from the required finished floor to the top of the tie beam. **Comment addressed**~~

Section 67-37(b)(2) Background: This code section requires that flat roofs be screened by a parapet, which shall not extend above the top of the tie beam by more than 32 inches, and that the parapet shall extend around the flat roof and shall screen all authorized flat roof elements. Authorized flat roof elements are limited to permitted roof ventilation features, chimneys, and elevator bulkhead. The site data chart on Sheet A1 and the dimensioned maximums on Sheets A4 and A5 show varying parapet heights, and it is not clear if that is being measured from the top of the tie beam.

~~**Comment:** Please revise Sheets A1, A4 and A5 to show the corrected maximum heights of the tie beam measured from the top of beam. **Comment addressed**~~

Section 64-44 (c) This code section states that the height of walls and fences located in the front yard setback shall not exceed four feet, side is limited to six feet, and in the setback along a waterway the height is also limited to four feet. Although the civil and landscape plans appear to provide gates on both side yard areas, it is not clear what the height is or if fencing extends along the side property lines, and no fencing/walls are shown on the site plan. In addition, the site, civil and landscape plan appear to show a decorative wall structure along the front property line but there is no information regarding this wall height or setback.

~~**Comment:** Please revise all plans to be consistent, to clearly show walls and fences if proposed, and provide dimensions to ensure compliance with this code section. Also provide setback information to ensure~~

***compliance with code section 64-44(d). This comment does not appear to be addressed, project shall comply with 64-44 at time of permitting.***

Section 64-60

Background: This code section requires that unenclosed and uncovered decks, patios, driveways, parking areas, steps, stoops, and terraces shall be setback at least five feet from any property line or right-of-way line, whichever is closer. Although it appears that all such structures are setback, the location and limits of paved areas shown on site plan are not clear and do not appear to be consistent with the landscape and civil plans particularly in the parking and driveway areas.

Comment: ~~*Please revise the site, civil and landscape plans as appropriate to ensure consistency and/or to be clear regarding the limits of paved areas and to ensure that they comply with required setbacks.*~~ ***Comment Addressed***

Section 66-142

Background: This code section includes specifications for artificial turf including that it “shall be allowed in rear and side yards, but not to exceed 25 percent of the total lot area (this area is defined as the total parcel area defined as a side or rear yard minus the area of the primary structure) of the rear and side yards. Artificial turf/synthetic grass shall not be allowed in any front yard areas or in any area visible from the public right-of-way (regardless of whether it is in the rear or side yard), unless it is placed in between paver blocks or similar items in a manner where the area for the artificial turf does not exceed four inches in width, provided that the synthetic turf area does not exceed 50 percent of the total area using the paver blocks. Screening, as approved by the building official, may be used in order to comply with the visibility requirement, further any turf/synthetic grass placed in between paver blocks shall not count toward the 25 percent maximum amount allowed. No artificial turf shall be installed in the public right-of-way.” Landscape plan sheet specifies that 851 SF of artificial turf is provided and states that it is 5% of the total lot coverage, however it does not appear to show where the turf is to be installed, nor is it specified in the plant schedule.

Comment: ***Please revise the site and landscape plans to show the location of all the artificial turf proposed, and provide a calculation of the “side or rear yard areas minus the area of the primary structure” to determine the maximum square footage of turf permitted and that the 851 square feet is less than that maximum amount. Although calculations have been changed, it is not clear if the revision complies with the Town Code. Prior to issuance of a permit, the plans will be revised to clearly show compliance with the maximum allowable turf.***

**December 5, 2024**

**To: Kelly Avery, Town Clerk**

**From: Tara Bamber, PE** 

**Re: 44 Bimini Cove Drive  
Developmental Plan Review  
Engenuity Group Project No. 00020.10**

We reviewed the following which were received on 12-3-24 & 12-5-24:

1. Civil Plans, 4 sheets, revised 11-26-24, by Caulfield & Wheeler, Inc.
2. Landscape Plans, 4 sheets, dated 11-25-24, by PLA Design Studio. (12-3-24)
3. Landscape Plans, 4 sheets, dated 12-5-24, by PLA Design Studio. (12-5-24)
4. Comment Response Letter, 3 sheets, date 11-22-24, by Caulfield & Wheeler, Inc.

The following comments shall be addressed during Building Permit phase:

1. Conflicts between landscape plantings and underground infrastructure remain. Applicant to coordinate an in-person meeting with the Town, Landscape Architect and Engineer of Record to resolve conflicts.
2. Per the Inlet Cay Plat, Easements are, "... for the construction and maintenance of Public Utilities." and "All Easements are for Public Utilities unless otherwise noted." Onsite easements include 5' along the north and upper east property lines

Regarding the landscape and retaining walls, to remain per the proposed drawings, please confirm no utilities are within the easement areas. Please locate all utilities, above and below ground, and include the ownership. There does not appear to be any Town water or sewer infrastructure in the easements to date.

3. Additional comments may be asked at time of building permit.

If you should have any questions, please do not hesitate to give me a call.

**Cc: Lisa Tropepe, PE  
Lynne Ladner**



# TOWN OF OCEAN RIDGE

6450 North Ocean Boulevard, Ocean Ridge, Florida 33435  
 (561) 732-2635 Main ♦ (561) 737-8359 Fax  
 oceanridgeflorida.com ♦ permit@oceanridgeflorida.com

## DATA CALCULATIONS FOR NEW STRUCTURES (NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

APPLICANT FILL OUT: PROPERTY ADDRESS: <u>44 Bimini</u>		ZONING DISTRICT: <u>RSF</u>	
APPLICANT USE		ZONING OFFICIAL USE ONLY	
*TOTAL SITE AREA	Sq. Ft.	<u>17,193</u>	Sq. Ft.
BASE FLOOD ELEVATION (NAVD) <small>(SOURCE THE FLOOD INSURANCE STUDY)</small>			
FINISHED FLOOR ELEVATION (NAVD)		<u>9' NAVD</u>	
ZONING OFFICIAL USE ONLY	APPLICANT USE	ZONING REVIEW	
	PROPOSED	PROPOSED	
	Sq. Ft.	%	Sq. Ft.
<u>6190</u>			
FLOOR AREA RATIO (MAXIMUM <u>36%</u> )			<u>5059</u> <u>29.4</u>
LOT COVERAGE (MAXIMUM <u>35%</u> ) <u>6018</u>			<u>3,976</u> <u>23.1</u>
ZONING OFFICIAL USE ONLY	APPLICANT USE	ZONING REVIEW	
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft.	%	Sq. Ft.
FIRST FLOOR UNDER A/C (_____)			<u>2938</u> <u>17.1</u>
SECOND FLOOR UNDER A/C (_____)			<u>2121</u> <u>12.3</u>
TOTAL UNDER A/C (_____)			<u>5059</u> <u>29.4</u>
TOTAL FLOOR AREA (_____)			<u>7347</u> <u>42.7</u>
TOTAL UNDER ROOF (_____)			<u>6827</u> <u>39.7</u>
FLAT ROOF (_____)			<u>3717</u> <u>21.6</u>
TOTAL ROOF (_____)			<u>3717</u> <u>21.6</u>
GARAGE (_____)			<u>567</u> <u>03.3</u>
COVERED PATIO (_____)			<u>424</u> <u>02.5</u>
COVERED ENTRY (_____)			<u>194</u> <u>01.1</u>
COVERED BALCONY (REAR) (_____)			<u>414</u> <u>02.4</u>
COVERED BALCONY (FRONT) (_____)			<u>-</u> <u>-</u>
OPEN BALCONY (_____)			<u>52</u> <u>00.3</u>
BUILDING FOOTPRINT (_____)			<u>3976</u> <u>23.1</u>
SEPTIC TANK & DRAINFIELD (_____)			<u>Doesn't show</u>
PAVED AREA (_____)			<u>3,700</u> <u>21.5</u>
SYNTHETIC TURF (_____)			<u>-</u>
TOTAL IMPERVIOUS (_____) <small>(INCLUDES SYNTHETIC TURF)</small>			<u>7,676</u> <u>44.6</u>
TOTAL PERVIOUS (_____)			<u>9,517</u> <u>55.4</u>
ZONING OFFICIAL USE ONLY	APPLICANT USE	ZONING REVIEW	
	FEET	FEET	
BUILDING HEIGHT (_____)			
BUILDING SETBACKS:			
FRONT (_____)		<u>38'8"</u>	
REAR (_____)		<u>25'6"</u>	
SIDE INTERIOR (_____)		<u>18'10" - 15'6" - 15'</u>	
SIDE CORNER (_____)		<u>-</u>	
WATERWAY (_____)		<u>25'6"</u>	
DRIVEWAY (_____)			

Prepared By: Manny Date: 10-22-24

75% 64-1(i) 2nd FL is 72% of 1st FL.



Mitchell F. Kunik, AIA, LEEDAP, NCARB  
Benjamin Schreier, AIA  
Huy D. Nguyen  
Matthew W. Wheeler, AIA, NCARB

BOCA RATON, FL • DELRAY BEACH, FL  
RICHMOND, VA

Architect Emeritus, Brian J. Collins

## NARRATIVE

Date: Friday, December 6, 2024

Town of Ocean Ridge

Subject: 44 Bimini Cove Drive Residence

Project # 24023

To Whom it may concern:

The architectural style of 44 Bimini Cove Drive, is a timeless contemporary modern Style.

The new residence has been strategically situated on the site to maximize the views down the intracoastal. The home is also setback far from the road providing ample green space and landscaping at the front entry. This has created a desirable transition within the existing streetscape as the new home is located on a cul-de-sac and it allows the streetscape to continue to feel open with a lot of green space. The Asymmetrical shape and height proportions of the home provide a pleasant and welcoming feel in relationship with the site and the adjacent homes and adds to the beauty of Bimini Cove Drive.

The new residence with its hierarchy of forms and proportions are true to the modern architectural style. The height and scale are compatible with the surrounding buildings as there are neighboring buildings with both one and two stories. We have carefully selected and simplified the use of our different materials, wood, stone and stucco. Our massing elements are further enhanced by using these materials creating an architectural rhythm, along with the landscaping which is within the character of the neighborhood. The window placement and proportions are true to the modern architectural style and will provide natural light to the inside of the home. They are balanced within the entire composition of the design and in proportion to each design element. All mechanical equipment has been strategically screened to minimize visibility from the street view and neighbors.

Felisha C. O'Neill  
Project Manager

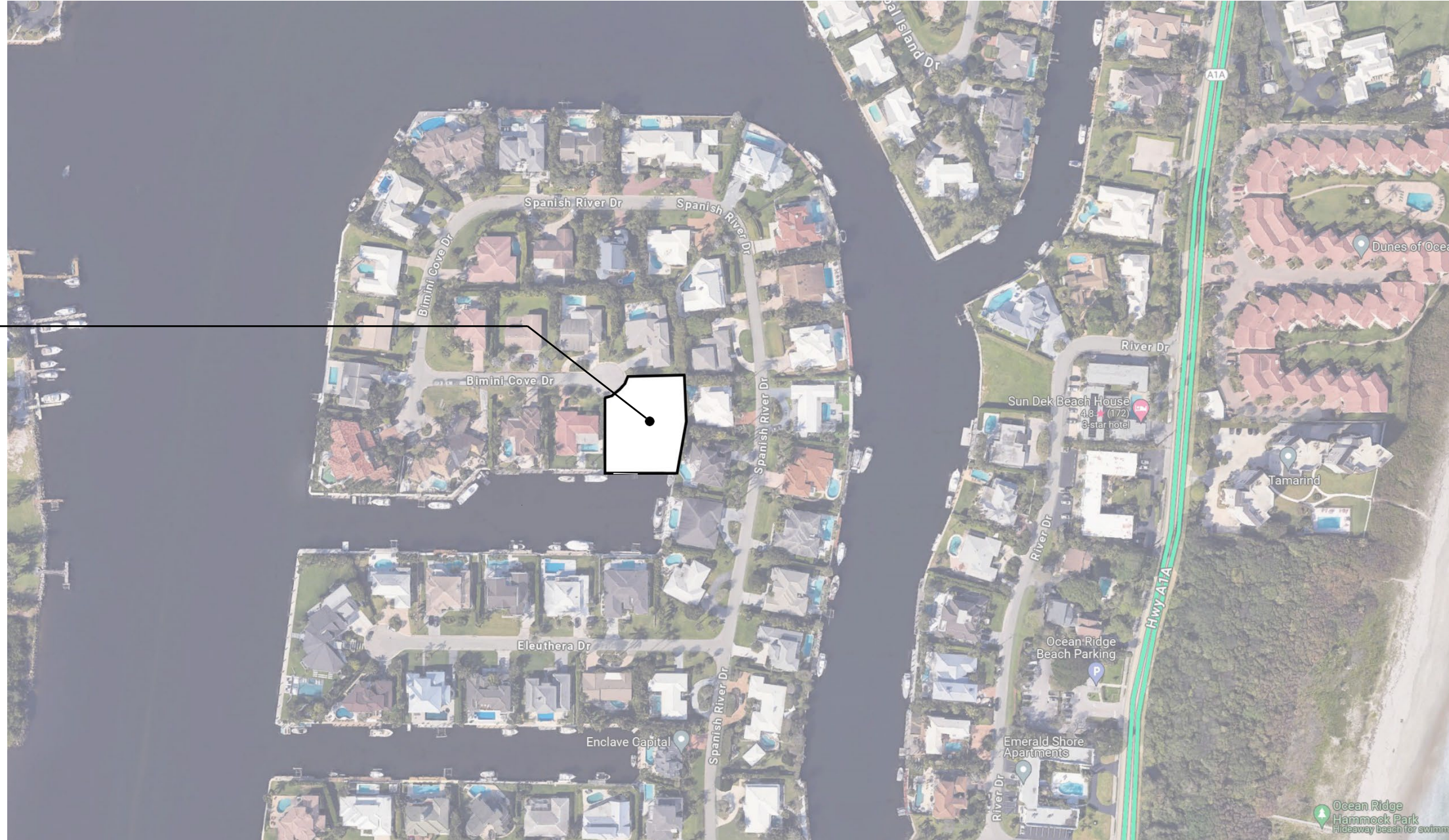
cc: file Job Number # 24023



44 BIMINI COVE DRIVE  
OCEAN RIDGE, FLORIDA

ARCHITECTURAL  
PRESENTATION

SITE LOCATION

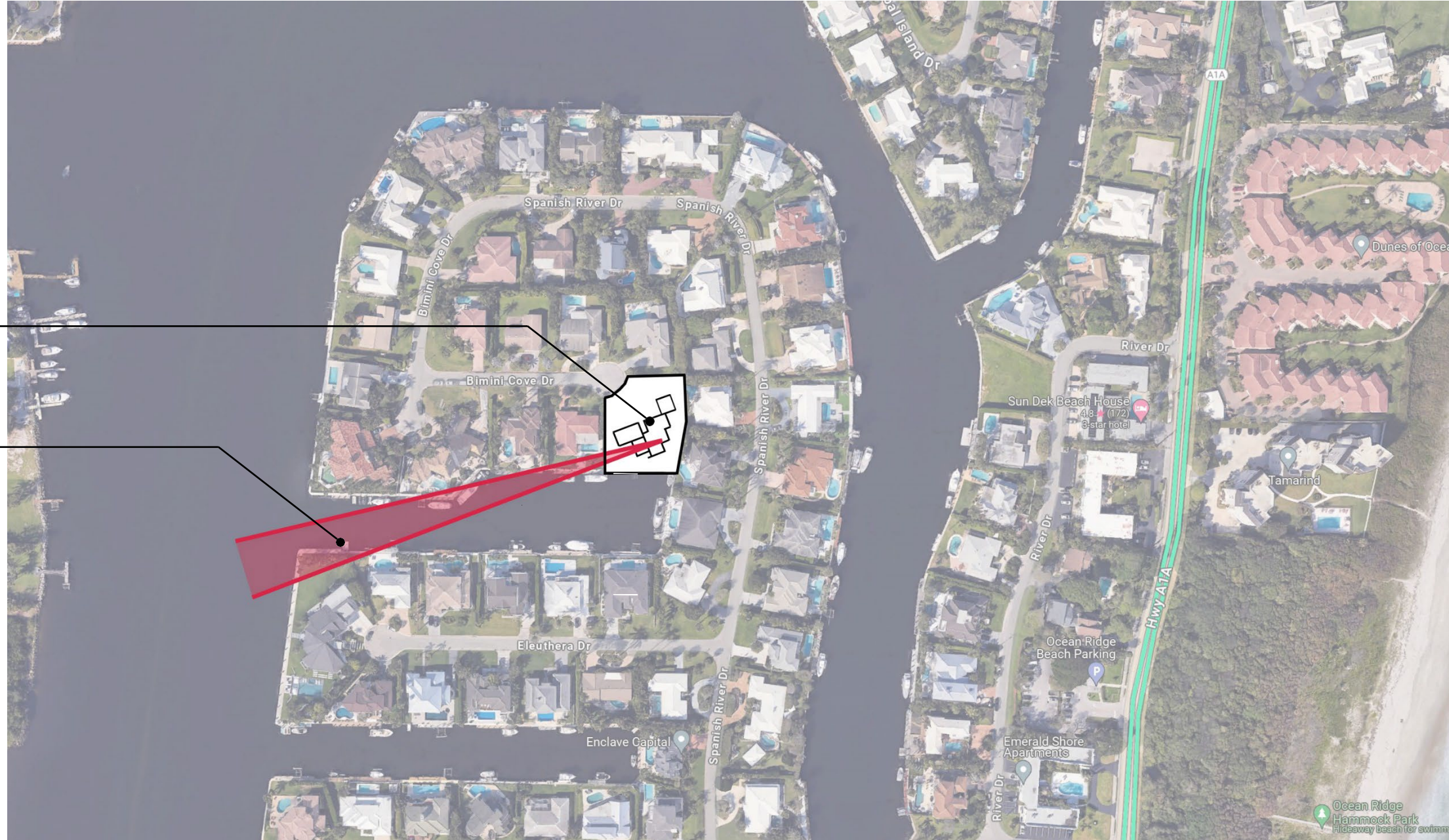


44 BIMINI COVE DRIVE  
OCEAN RIDGE, FLORIDA

ARCHITECTURAL  
PRESENTATION

SITE LOCATION

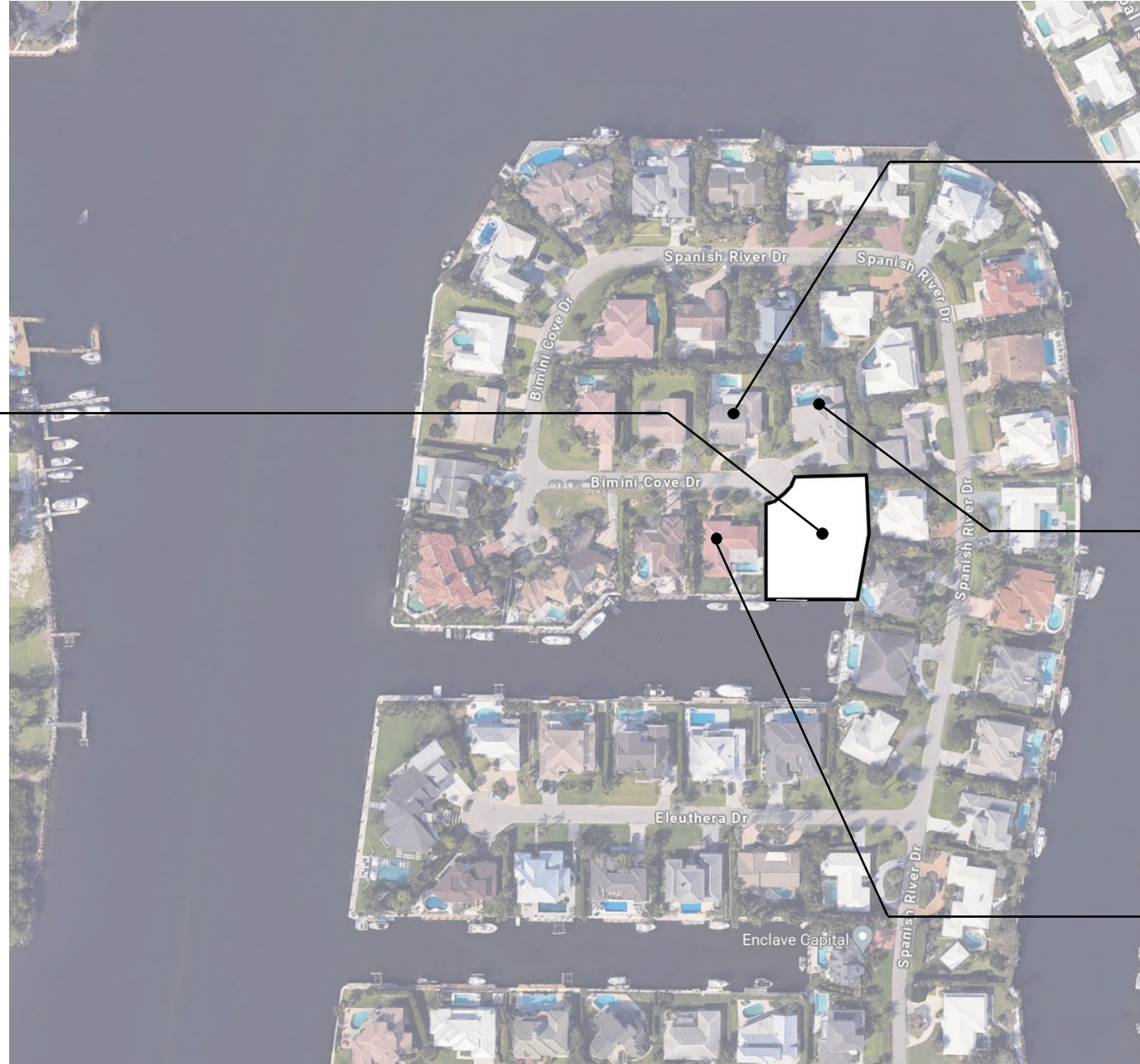
SITE VIEWS



44 BIMINI COVE DRIVE  
OCEAN RIDGE, FLORIDA

ARCHITECTURAL  
PRESENTATION

SITE LOCATION



42 BIMINI COVE DRIVE



43 BIMINI COVE DRIVE



45 BIMINI COVE DRIVE

44 BIMINI COVE DRIVE  
OCEAN RIDGE, FLORIDA

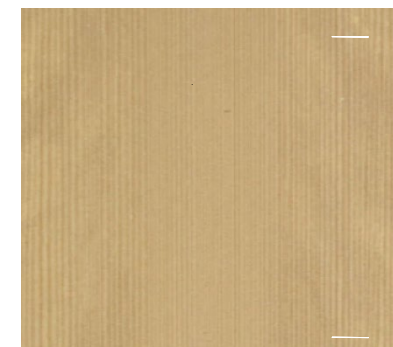
ARCHITECTURAL  
PRESENTATION



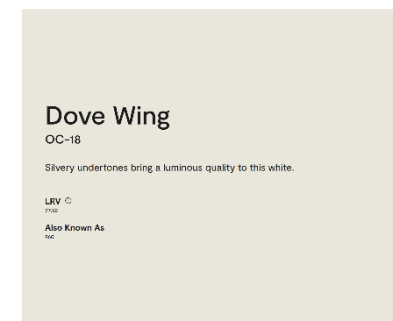
**STONE:**  
 NEOLITH  
 BETON  
 FINISH: SILK  
 MARBLE OF THE  
 WORLD



**DOOR/  
 WINDOWS/  
 RAILINGS:**  
 UC109850 BRONZE  
 SKU: PCTA29341



**WOOD:**  
 TARIMATEC  
 TEKA 2326



**STUCCO:**  
 BENJAMIN MOORE  
 DOVE WING  
 OC-18  
 960

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Us

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**DOROTHY JACKS**  
CFA, AAS  
Palm Beach County Property Appraiser  
*We Value What You Value*

Search by Owner Name (Last Name first), Address, or PCN

Real Property Search

Tangible Property Search

Search

[CLOSE TABS](#)

[PRINT PROPERTY SUMMARY](#)

[2024 PROPOSED NOTICE](#)

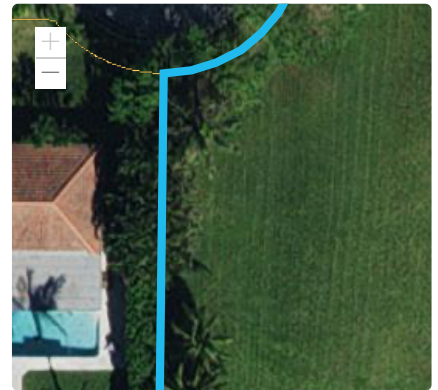
## PROPERTY DETAIL

Show Full Map

Nearby Sales Search

### LOCATION ADDRESS

MUNICIPALITY	OCEAN RIDGE
PARCEL CONTROL NUMBER	46-43-45-22-11-000-0440
SUBDIVISION	INLET CAY IN
OFFICIAL RECORDS BOOK/PAGE	34776 / 437
SALE DATE	JAN-2024
LEGAL DESCRIPTION	INLET CAY LT 44



## OWNER INFORMATION

### OWNER(S)

RICCI MARYANN  
ROBERTSON KYLE &

### MAILING ADDRESS

835 CANARY WALK  
DELRAY BEACH FL 33483 6103

[Change of Mailing Address](#)

## SALES INFORMATION

SALES DATE	PRICE	OR BOOK/PAGE	SALE TYPE	OWNER
JAN-2024	\$2,995,000	<a href="#">34776 / 00437</a>	WARRANTY DEED	ROBERTSON KYLE &
AUG-2021	\$1,800,000	<a href="#">32797 / 00933</a>	WARRANTY DEED	REV PARTNERS LLC
AUG-2010	\$10	<a href="#">24064 / 01899</a>	QUIT CLAIM	CALDWELL OR44 LLC
OCT-2009	\$650,000	<a href="#">23495 / 00847</a>	WARRANTY DEED	CALDWELL VENTURES INC
AUG-2005	\$10	<a href="#">19126 / 00358</a>	QUIT CLAIM	DONGO JULIO
MAR-2004	\$740,000	<a href="#">16625 / 00926</a>	WARRANTY DEED	DONGO JULIO E &
SEP-2002	\$675,000	<a href="#">14541 / 01034</a>	WARRANTY DEED	M & H DEV OF PALM BEACH INC
SEP-2002	\$549,013	<a href="#">14541 / 01033</a>		
OCT-2000	\$650,000	<a href="#">12137 / 00438</a>	WARRANTY DEED	FORBES CARLTON

**NOTE: Sales do not generally appear in the PAPA database until approximately 1 to 3 weeks after the closing date. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.**

## EXEMPTION INFORMATION

**No Exemption Information Available.**

[Exemption E File](#)

# PROPERTY INFORMATION

## SUBAREA AND SQUARE FOOTAGE FOR BUILDING 0

## STRUCTURAL ELEMENT FOR BUILDING 0

## SKETCH FOR BUILDING 0

No Data Found

No Data Found

Number of Units  
 Total Square Feet\* 0  
 Acres 0.3947  
 Property Use Code 0000—VACANT  
 Zoning RSF—SINGLE FAMILY RESIDENTIAL (46-OCEAN RIDGE)

[Request Structural Details Change](#)

\*May indicate living area in residential properties.

### PROPERTY EXTRA FEATURES

### PROPERTY LAND DETAILS

DESCRIPTION	YEAR BUILT	UNITS
Boat Dock	1963	150

LAND LINE #	DESCRIPTION	ZONING	ACRES
1	INTRACOASTAL CANAL	RSF	0.3947

## APPRAISALS

[Show 5 Year](#) [Show 10 Year](#) —

TAX YEAR	2024 P	2023	2022	2021	2020
Improvement Value	\$1,614	\$1,614	\$1,614	\$1,294	\$1,294
Land Value	\$2,403,185	\$2,356,064	\$1,525,700	\$950,000	\$765,000
Total Market Value	\$2,404,799	\$2,357,678	\$1,527,314	\$951,294	\$766,294

P = Preliminary

All values are as of January 1st each year

## ASSESSED & TAXABLE VALUES

### DISCLAIMER

## ADA ACCESS

Home  
 Contact Us  
**TAX YEAR**  
 Records Custodian  
 Assessed Value  
 Exemption Amount  
 Taxable Value

TAX YEAR	2024 P	2023	2022	2021	2020
Assessed Value	\$1,848,050	\$1,680,045	\$1,527,314	\$842,923	\$766,294
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$1,848,050	\$1,680,045	\$1,527,314	\$842,923	\$766,294

The Palm Beach County Property Appraiser's office is committed to compliance with the Americans with Disabilities Act (ADA) and WCAG 2.0 and WCAG 2.1. We do not discriminate on the basis of disability in the admission or access to, or treatment or employment in, its services, programs or activities. Upon request, reasonable accommodation will be made to allow individuals with disabilities access to the communications regarding our services, programs or activities set

This site is designed to work best for updated browsers like Microsoft Edge, Google Chrome, Mozilla Firefox and Apple Safari. For additional assistance, please navigate PAPA, or contact us.

jurisdictions, some transactions will not be reflected. Information collected at this site, including email addresses, becomes public record and may be subject to inspection and copy by the public unless prohibited by exception or otherwise in the law.

forth on the Palm Beach County Property Appraiser's Office website. Please contact our public records custodian at 561.355.2881 or e-mail your request to [pubsvc@pbcpa.org](mailto:pubsvc@pbcpa.org)

[Show 5 Year](#) [Show 10 Year](#)

TAX YEAR	2024	2023	2022	2021	2020
AD VALOREM	\$38,292	\$35,224	\$28,836	\$17,107	\$14,890
NON AD VALOREM	\$0	\$0	\$0	\$0	\$0
TOTAL TAX	\$38,292	\$35,224	\$28,836	\$17,107	\$14,890

[Property Tax Calculator](#)

[Portability Calculator](#)

[Property Tax Details](#)

[Tax Collector](#)

**BUYERS TAKE NOTE:** Taxes will change and often increase substantially when a property sells. The seller's exemption benefits will GO AWAY the year after they sell and this may result in higher taxes for a buyer. Please use the Property Tax Calculator to get a better annual tax estimate if you are purchasing this property.

**Property Detail**

**Location Address :**

**Municipality :** OCEAN RIDGE

**Parcel Control Number :** 46-43-45-22-11-000-0440

**Subdivision :** INLET CAY IN

**Official Records Book/Page :** 34776 / 437

**Sale Date :** JAN-2024

**Legal Description :** INLET CAY LT 44

**Owner Information**

**Owner(s)**

RICCI MARYANN  
ROBERTSON KYLE &

**Mailing Address**

835 CANARY WALK  
DELRAY BEACH FL 33483 6103

**Sales Information**

Sales Date	Price	OR Book/Page	Sale Type	Owner
JAN-2024	\$2,995,000	34776 / 00437	WARRANTY DEED	ROBERTSON KYLE &
AUG-2021	\$1,800,000	32797 / 00933	WARRANTY DEED	REV PARTNERS LLC
AUG-2010	\$10	24064 / 01899	QUIT CLAIM	CALDWELL OR44 LLC
OCT-2009	\$650,000	23495 / 00847	WARRANTY DEED	CALDWELL VENTURES INC
AUG-2005	\$10	19126 / 00358	QUIT CLAIM	DONGO JULIO
MAR-2004	\$740,000	16625 / 00926	WARRANTY DEED	DONGO JULIO E &
SEP-2002	\$675,000	14541 / 01034	WARRANTY DEED	M & H DEV OF PALM BEACH INC
SEP-2002	\$549,013	14541 / 01033		
OCT-2000	\$650,000	12137 / 00438	WARRANTY DEED	FORBES CARLTON

**Exemption Information**

No Exemption Information Available.

**Property Information**

**Number of Units :**

**\*Total Square Feet :** 0

**Acres :** 0.3947

**Property Use Code :** 0000—VACANT

**Zoning :** RSF—SINGLE FAMILY RESIDENTIAL (46-OCEAN RIDGE)

**Appraisals**

Tax Year	2024	2023	2022	2021	2020
Improvement Value	\$1,614	\$1,614	\$1,614	\$1,294	\$1,294
Land Value	\$2,403,185	\$2,356,064	\$1,525,700	\$950,000	\$765,000
Total Market Value	\$2,404,799	\$2,357,678	\$1,527,314	\$951,294	\$766,294

**Assessed and Taxable Values**

Tax Year	2024	2023	2022	2021	2020
Assessed Value	\$1,848,050	\$1,680,045	\$1,527,314	\$842,923	\$766,294
Exemption Amount	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$1,848,050	\$1,680,045	\$1,527,314	\$842,923	\$766,294

**Taxes**

<b>Tax Year</b>	<b>2024</b>	<b>2023</b>	<b>2022</b>	<b>2021</b>	<b>2020</b>
AD VALOREM	\$38,292	\$35,224	\$28,836	\$17,107	\$14,890
NON AD VALOREM	\$0	\$0	\$0	\$0	\$0
<b>TOTAL TAX</b>	<b>\$38,292</b>	<b>\$35,224</b>	<b>\$28,836</b>	<b>\$17,107</b>	<b>\$14,890</b>

**Dorothy Jacks, CFA, AAS PALM BEACH COUNTY PROPERTY APPRAISER [www.pbcpa.gov](http://www.pbcpa.gov)**

# TOWN OF OCEAN RIDGE

6450 N. Ocean Blvd., Ocean Ridge, FL 33435  
561.732.2635 Main ♦ [permits@oceanridgeflorida.com](mailto:permits@oceanridgeflorida.com) ♦ [www.oceanridgeflorida.com](http://www.oceanridgeflorida.com)



## Land Development Action Application

All information must be printed legibly or typed. Please contact the Town Hall at 561-732-2635 or via email at [info@oceanridgeflorida.com](mailto:info@oceanridgeflorida.com)

**This application is being submitted for the property located at:**

44 Bimini Cove Dr, Ocean Ridge, FL, 33435

---

### Check Applicable Approval Being Requested

- |  |  |
|--|--|
| <input type="checkbox"/> Annexation                            | <input type="checkbox"/> PRD Amendment     |
| <input type="checkbox"/> Comprehensive Plan Amendment          | <input type="checkbox"/> Plat or Re-Plat   |
| <input type="checkbox"/> Construction East of the CCCL         | <input type="checkbox"/> Re-Zoning         |
| <input checked="" type="checkbox"/> Development Plan Review    | <input type="checkbox"/> Site Plan Review  |
| <input type="checkbox"/> Planned Residential Development (PRD) | <input type="checkbox"/> Special Exception |

Property Owner(s)	Applicant (if different than Owner)
Name(s): Kyle Robertson and Maryann Ricci	Name:
Address: 835 Canary Walk Gulf Stream, FL 33483	Address:
Phone: (313) 405-4660	Phone:
Email: <a href="mailto:kr Robertson@flyland.com">kr Robertson@flyland.com</a> and <a href="mailto:mricci@flyland.com">mricci@flyland.com</a>	Email:

**The applicant(s) or authorized agent must be present for the public hearing in order for the Commission/Board to act upon their request. The applicant is encouraged to invite to the meeting those associated with this proposed development.**

# TOWN OF OCEAN RIDGE

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## General Data

Project Name: Private Residence

Project Location Address: 44 Bimini Cove Drive, Ocean Ridge, FL 33435

Exact Legal Description of Property: Lot 44, Inlet Cay, according to the map or plat thereof, as recorded in plat book 24, page (s) 222, of the public records of Palm Beach County, Florida

Property Control No: 46-43-45-22-11-000-0440

Existing Zoning: RSF

Proposed Zoning (if applicable to application):

Existing Land Use: Vacant Lot

Proposed Land Use: New 2-Story Residence

First Floor Living Elevation (For CCCL Application): 10 FT NAVD

Total Site Area: 17,193 SQ. FT. Sq. Ft.: \_\_\_\_\_ Acres: \_\_\_\_\_

Flood Zone Category: Current Flood Zone: AE, BFE= 6FT NAVD Pending Flood Zone: AE, BFE=9 FT NAVD

Existing Comprehensive Plan Designation (if applicable to application):

Proposed Comprehensive Plan Designation (if applicable to application):

Is the site currently served by public water?  Yes  No

Is the site currently served by public sewer?  Yes  No

Existing Bedrooms: NA Proposed Bedrooms: 5

Existing Bathrooms: NA Proposed Bathrooms: 5 FULL and 3 HALF

Residential: Total Number of Dwelling Units: NA Density (Units per acre): NA

Commercial: Total Square Footage: NA Number of Buildings: NA

# TOWN OF OCEAN RIDGE

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**Describe the nature of your application in detail and be descriptive.**

(Example: Requesting a Land Development Permit from the provisions of the Land Development Code, Article 2; COASTAL CONSTRUCTION, Section 67-17; Coastal Construction and Excavation Setback Line; Sub-Paragraph (a); Setback Line Established; and Sub-Paragraph (h); Existing Structures, to permit the construction of a two story addition of a 1-car garage (13' 8" x 20' 0") on the bottom floor and a living room (17' 8" x 19'), and a bedroom (13' 8" x 13' 2") on the second floor. The garage floor to be at 19.0 NAVD with the living room floor at 22.0 NAVD to match the rest of the existing 2-story house. The addition is to be at a maximum of 168' 4" east of the Coastal Construction Control Line (CCCL) of 1997, and the addition of a swimming pool (15' 8" x 36') that is to be at a maximum of 181' 7 5/8" east of the CCCL of 1997.)

Requesting a Land Development Permit for Lot 44 Bimini Cove Dr, Ocean Ridge, FL, 33435. To permit the construction of a two story new private residence of a 2-car garage, and a 1-car carport, great room, 1-bedroom on the bottom floor and 4 bedrooms on the second floor. The garage floor to be at 5'-6" NAVD with the great room floor at 10'-0" NAVD.

State the reasons or basis for the application and explain why this request is consistent with good planning and zoning practice, will not be contrary to the Town's Comprehensive Plan and will not be detrimental to the promotion of public appearance, comfort, convenience, general welfare, good order, health, morals, prosperity, and safety of the Town. Additionally, all standards set forth in the Town Code of Ordinances for Special Exceptions, Variances, Administrative Appeals, etc. must be addressed. (Attach a separate Justification Statement if insufficient space.) Please be descriptive.

The reason and basis for the application is to permit the construction of a new two story private residence in Ocean Ridge. The new residence is a timeless contemporary design with architectural rhythm, appropriate window sizes and placement, and distinct hierarchy of forms and proportions. This new residence with its asymmetrical simple forms is setback far from the road providing ample green space and landscaping adding to the beauty of Bimini Cove Drive.

Has a previous application been filed within the last year in connection with the subject property?  Yes  No If Yes, briefly describe the nature of the Application.

Has a Site Plan been previously approved by the Town Commission for this property?  
 Yes  No If Yes, please note date of previous approval: \_\_\_\_\_

# TOWN OF OCEAN RIDGE

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Please provide the name and contact information or the following persons or firms involved in this proposed development, where applicable:

Authorized Agent (if different from Owner):	
Name: Felisha O'Neill	
Company Name: Affiniti Architects	
Address: 6100 Broken Sound Parkway NW Suite 8, Boca Raton, FL 33487	
Phone: 561-750-0445	Email: fco@affiniti.us
Developer:	
Name: Brian Grossberg	
Company Name: Azure Development, LLC	
Address: 290 SE 6th Avenue, Suite 5, Delray Beach, FL 33483	
Phone: 561-376-1886	Email: brian@azurefl.com
Planner:	
Name:	Florida Registration No.:
Company Name:	
Address:	
Phone:	Email:
Architect:	
Name: Matthew Wheeler	Florida Registration No.: AR102563
Company Name: Affiniti Architects	
Address: 6100 Broken Sound Parkway NW Suite 8, Boca Raton, FL 33487	
Phone: 561-750-0445	Email: mw@affiniti.us / fco@affiniti.us
Landscape Architect	
Name: Stephanie Portus & Beth Dawson	Florida Registration No.:
Company Name: PLA Design Studio	
Address: 2385 NW Executive Center Dr., ste 240, Boca Raton, FL, 33431	
Phone: 561-318-5256	Email: studio@pladesignstudio.com
Engineer	
Name: Matthew Kahn, P.E.	Florida Registration No.:
Company Name: Caulfield & Wheeler, Inc.	
Address: 7900 Glades Road, Suite 100, Boca Raton, FL 33434	
Phone: 561-221-9056	Email: matthew@cwiasoc.com

# TOWN OF OCEAN RIDGE

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561.732.2635 Main ♦ [permits@oceanridgeflorida.com](mailto:permits@oceanridgeflorida.com) ♦ [www.oceanridgeflorida.com](http://www.oceanridgeflorida.com)



I understand that any development permit issued by the Town of Ocean Ridge is contingent on the applicant meeting all requirements from the State of Florida, Palm Beach County, and the Town of Ocean Ridge and upon an actual building permit submittal and review by the Building, Zoning, and Engineering Officials of the Town of Ocean Ridge.

I certify that all of the foregoing information is accurate, and that if approved, all work will be done in compliance with all applicable laws regulating construction and zoning.

*Kyle Robertson*

Kyle Robertson

Applicant Signature

Printed Name of Applicant

Applicant is:  Owner  Lessee  Agent

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization on this 9<sup>th</sup> day of October, 2024 who is personally known to me or has produced \_\_\_\_\_ as identification and who did (or did not) take an oath.

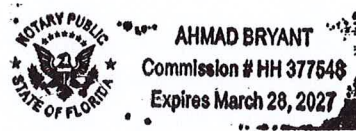
*Ahmad Bryant*

Notary Signature (for Applicant)

Seal/Stamp

8/25/27

Commission Expiration





# TOWN OF OCEAN RIDGE

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	FEET	FEET	FEET	FEET
BUILDING HEIGHT ( )				
BUILDING SETBACKS:				
FRONT ( )				
REAR ( )				
SIDE INTERIOR ( )				
SIDE CORNER ( )				
WATERWAY ( )				
DRIVEWAY ( )	<b>NA - THIS IS FOR ADDITIONS</b>			

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

## DATA CALCULATIONS FOR NEW STRUCTURES (NEW SINGLE FAMILY, MULTI-FAMILY HOMES, ETC.)

APPLICANT FILL OUT: PROPERTY ADDRESS:		ZONING DISTRICT:	
	APPLICANT USE		ZONING OFFICIAL USE ONLY
*TOTAL SITE AREA	17,193 Sq. Ft.		Sq. Ft.
BASE FLOOD ELEVATION (NAVD) (SOURCE THE FLOOD INSURANCE STUDY)	Current: AE, BFE=6FT NAVD Pending: AE, BFE=9 FT NAVD		
FINISHED FLOOR ELEVATION (NAVD)	9 FT NAVD		
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
	PROPOSED		PROPOSED
	Sq. Ft.	%	Sq. Ft.      %
FLOOR AREA RATIO (MAXIMUM %)	6027	35.1%	
LOT COVERAGE (MAXIMUM %)	3798	22.1 %	
ZONING OFFICIAL USE ONLY	APPLICANT USE		ZONING REVIEW
*PERCENTAGE FROM TOTAL SITE AREA	Sq. Ft.	%	Sq. Ft.      %
FIRST FLOOR UNDER A/C ( )	2423	14	
SECOND FLOOR UNDER A/C ( )	2849	16.5	
TOTAL UNDER A/C ( )	5272	30.6	
TOTAL FLOOR AREA ( )	3798	22	
TOTAL UNDER ROOF ( )	6821	39.6	
FLAT ROOF ( )	3,717	21.6	
TOTAL ROOF ( )	3,626	21	
GARAGE ( )	567	3	
COVERED PATIO ( )	426	2.4	
COVERED ENTRY ( )	194	1.1	
COVERED BALCONY (REAR) ( )	NA - NO COV. REAR BALC.		
COVERED BALCONY (FRONT) ( )	174 (BREEZEWAY)	1	
OPEN BALCONY ( )	(REAR) 825 (FRONT) 52	4.7 / 0.3	
BUILDING FOOTPRINT ( )	3886	22.6	
SEPTIC TANK & DRAINFIELD (83 and 656)	739	4.3	

# TOWN OF OCEAN RIDGE

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PAVED AREA ( )	3,700	22		
SYNTHETIC TURF ( )	0	0		
TOTAL IMPERVIOUS ( ) (INCLUDES SYNTHETIC TURF)	3,700	22		
TOTAL PERVIOUS ( )	13,486	78		
<b>ZONING OFFICIAL USE ONLY</b>	<b>APPLICANT USE</b>		<b>ZONING REVIEW</b>	
	FEET		FEET	
BUILDING HEIGHT ( )	27'-2"			
BUILDING SETBACKS:				
FRONT ( )	25'-0"			
REAR ( )	25'-0"			
SIDE INTERIOR ( )	15'-0"			
SIDE CORNER ( )	NA			
WATERWAY ( )	25'-0"			
DRIVEWAY ( )	NA - IN A CUL-DE-SAC			

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

**The following pages are checklists for the applicant and/or the Town.**

**DO NOT submit the checklists as part of the application packet.**

**Read the instructions carefully!!**

# TOWN OF OCEAN RIDGE

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561.732.2635 Main ♦ [permits@oceanridgeflorida.com](mailto:permits@oceanridgeflorida.com) ♦  
www.oceanridgeflorida.com



## Affidavit to Appoint Agent

Please check one of the following:

- |  |  |
|--|--|
| <input type="checkbox"/> Annexation                            | <input type="checkbox"/> Plat or Re-Plat   |
| <input type="checkbox"/> Building Permit (Revisions, etc.)     | <input type="checkbox"/> Re-Zoning         |
| <input type="checkbox"/> Comprehensive Plan Amendment          | <input type="checkbox"/> Site Plan Review  |
| <input checked="" type="checkbox"/> Concept Plan Review        | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Construction East of the CCCL         | <input type="checkbox"/> Variance          |
| <input type="checkbox"/> PRD Amendment                         | <input type="checkbox"/> Other _____       |
| <input type="checkbox"/> Planned Residential Development (PRD) |  |

1. He/She is fee simple owner of the following described property, to wit: (Provide Property Address and Legal Description)  
44 Bimini Cove Drive, Ocean Ridge, FL 33435  
Lot 44, INLET CAY, according to the map or plat thereof, as recorded in Plat Book 24, Page 222,  
of the Public Records of Palm Beach County, Florida.
2. He/She desires to submit a Land Development Action application to the Town of Ocean Ridge, Florida.
3. He/She has appointed Felisha O'Neill, Affiniti Architects to act as agent in his/her behalf to accomplish the above.
4. He/She affirms and certifies that he/she understands and agrees to comply with the Town of Ocean Ridge Land Development Code. He/She further certifies that the statements, plans and all information submitted as a part of this application are true and correct to the best of his/her knowledge. Further, he/she understand that this application and attachments become part of the Official Records of the Town of Ocean Ridge, Florida and are not returnable.

State of Florida  
County of Palm Beach

Sworn to (or affirmed) and subscribed before me by means of  physical presence or  online notarization on this day 9<sup>th</sup> of October, 2021.

[Signature]  
Signature of Property Owner

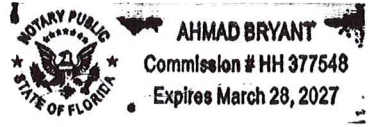
Kyle Robertson  
Property Owner Printed Name

[Signature]  
Notary Public Signature

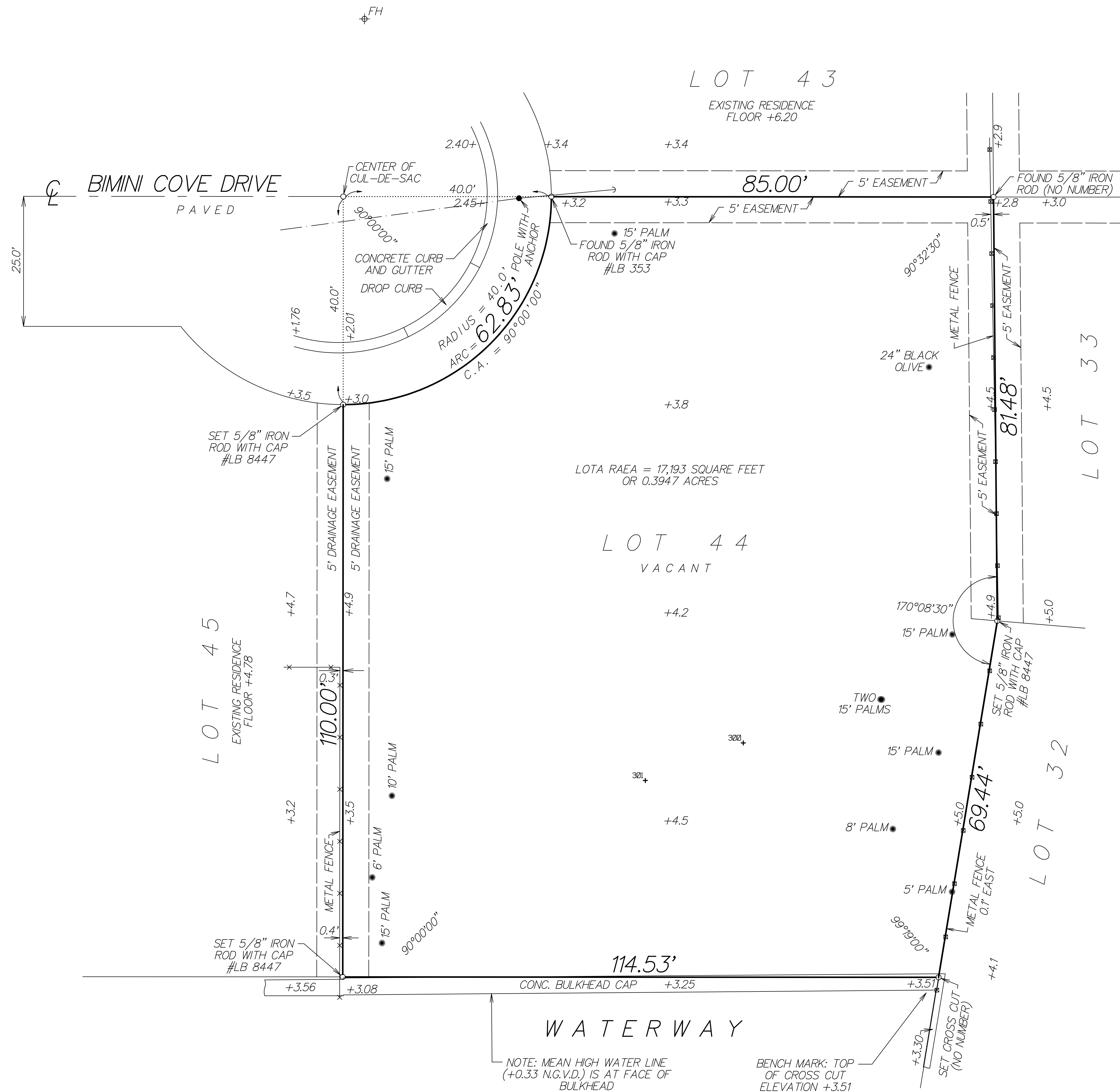
Ahmad Bryant  
Notary Printed Name

My Commission Expires 3/28/27.

(SEAL)



Personally Known:  or ID: \_\_\_\_\_ (Type of Identification Provided)



**LEGEND:**

CL = CENTERLINE  
 +3.33 = ELEVATION BASED ON NORTH AMERICAN VERTICAL DATUM 1988. SOURCE: "L-NET GPS NETWORK"

FLOOD ZONE: AE (EL 6)  
 COMMUNITY PANEL NO. 125134  
 MAP NO.: 12099C0791F  
 EFFECTIVE DATE: OCTOBER 5, 2017

NOTE: ALL BOUNDARY LINES AND ANGULAR DIMENSIONS ARE PLAT AND SURVEY UNLESS STATED OTHERWISE.

ALL DIMENSIONS SHOWN HEREON ARE BASED ON THE STANDARD U.S. FOOT.

THIS SURVEY HAS ACHIEVED A MINIMUM LEVEL OF CLOSURE OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK PROPERTY CLOSURE WAS ACHIEVED BASED ON A REDUNDANCY OF MEASUREMENTS FOR VERTICAL, HORIZONTAL AND ANGULAR DIMENSIONS.

NO SUBSURFACE SEARCH WAS MADE FOR UTILITIES OR UNDERGROUND FOOTERS

**DESCRIPTION:**

LOT 44, INLET CAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 24, PAGE 222, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**TITLE NOTES:**

THIS SURVEY SHOWS ALL EASEMENTS AND RIGHTS OF WAY AS SHOWN ON SCHEDULE B OF THE FIRST AMERICAN TITLE INSURANCE COMPANY'S TITLE COMMITMENT NO. 50140212-0083585e, DATES JANUARY 17, 2024.

PARCEL SUBJECT TO AGREEMENT AS RECORDED IN O.R.B. 11641, PAGE 1765.

PARCEL SUBJECT TO COVENANTS AS RECORDED IN DEED BOOK 1143, PAGE 543 AND DEED BOOK 1149, PAGE 318.

PARCEL SUBJECT TO RESTRICTIONS AND RESERVATIONS AS RECORDED IN PLAT BOOK 24, PAGE 222

ALL DOCUMENTS AS RECORDED IN THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**MAP OF BOUNDARY SURVEY**  
 SITE ADDRESS: 44 BIMINI COVE DRIVE  
 OCEAN RIDGE, FLORIDA 33435  
 PARCEL I.D. NO.: 46-43-45-22-11-000-0440

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

PAUL D. ENGLE  
 SURVEYOR & MAPPER #5708

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

**ENGLE LAND SURVEYING LLC**  
 LAND SURVEYORS  
 CERTIFICATE OF AUTHORIZATION #LB8447  
 SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE: PAUL D. ENGLE  
 955 N.W. 17TH AVENUE, SUITE K-1, DELRAY BEACH, FLORIDA 33445  
 (561) 276-4501 732-3279 FAX 276-2390

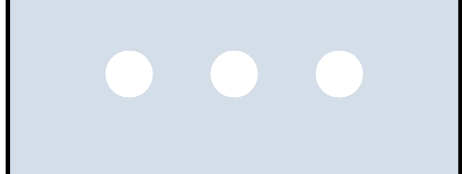
DATE OF SURVEY MARCH 20, 2024	REVISED: 11/04/24 - ADDED TITLE INFORMATION	SCALE: 1" = 10'
FIELD BOOK ELS B-1	PAGE NO. 41	ORDER NO.: 24-15db



Revisions

NOT FOR CONSTRUCTION			
Date	10/10/2024	Drawn   Checked	FC   XXXX
Date		Date   Approval	
Date		Date   Permit	
Date		Date   Construction	

Seal:





STREETSCAPE

43 BIMINI COVE DRIVE

44 BIMINI COVE DRIVE

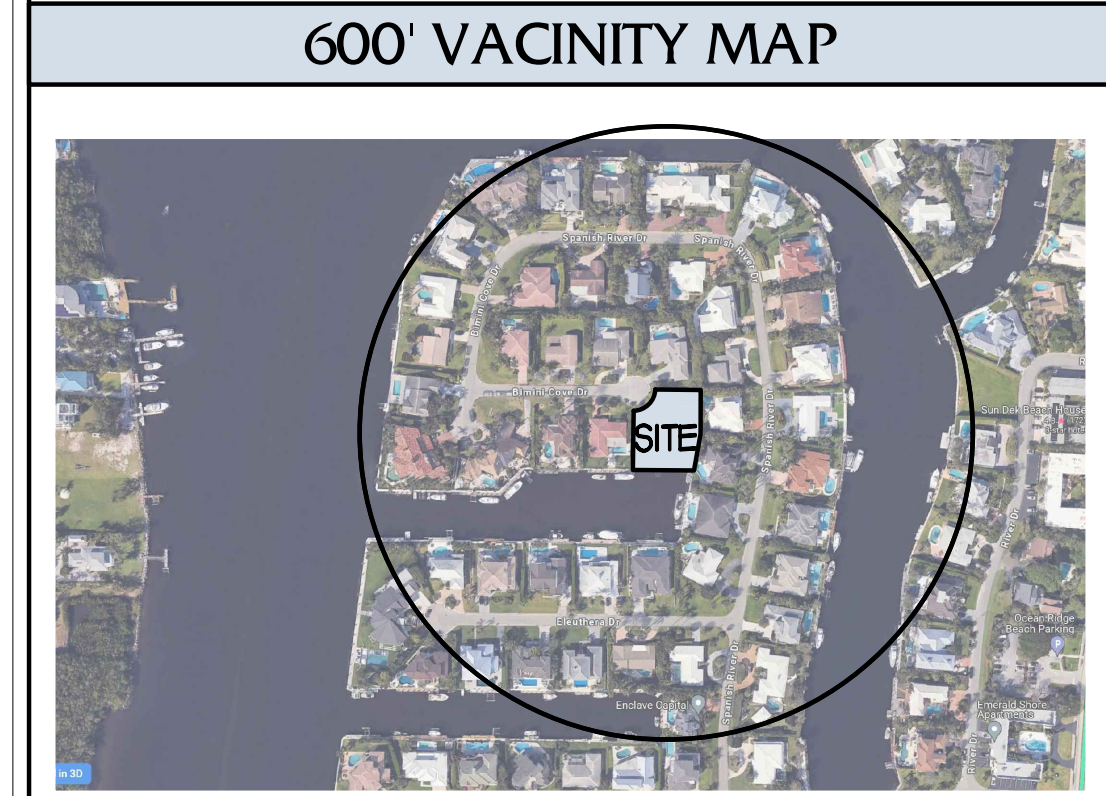
45 BIMINI COVE DRIVE

**SITE NOTES**

- SEE ATTACHED SURVEY FOR LEGAL DESCRIPTION
- VERIFY PROPERTY LINE DIMENSIONS WITH SURVEY
- SEE CIVIL AND LANDSCAPE PLANS FOR ANY ADDITIONAL INFORMATION REGARDING HARDSCAPE, DRAINAGE, POOL, CONSTRUCTION AND DESIGN AND ANY OTHER SITE SPECIFIC INFORMATION
- SITE DRAINAGE BY CIVIL ENGINEER

**BASE FLOOD ELEVATION**

- CURRENT FLOOD ZONE: AE, BFE + 6 FT NAVD.
- PENDING FLOOD ZONE: AE, BFE + 9 FT NAVD.
- PROPOSED FINISH FLOOR ELEVATION + 10 FT NAVD.



**LOT COVERAGE & FLOOR AREA CALC.**

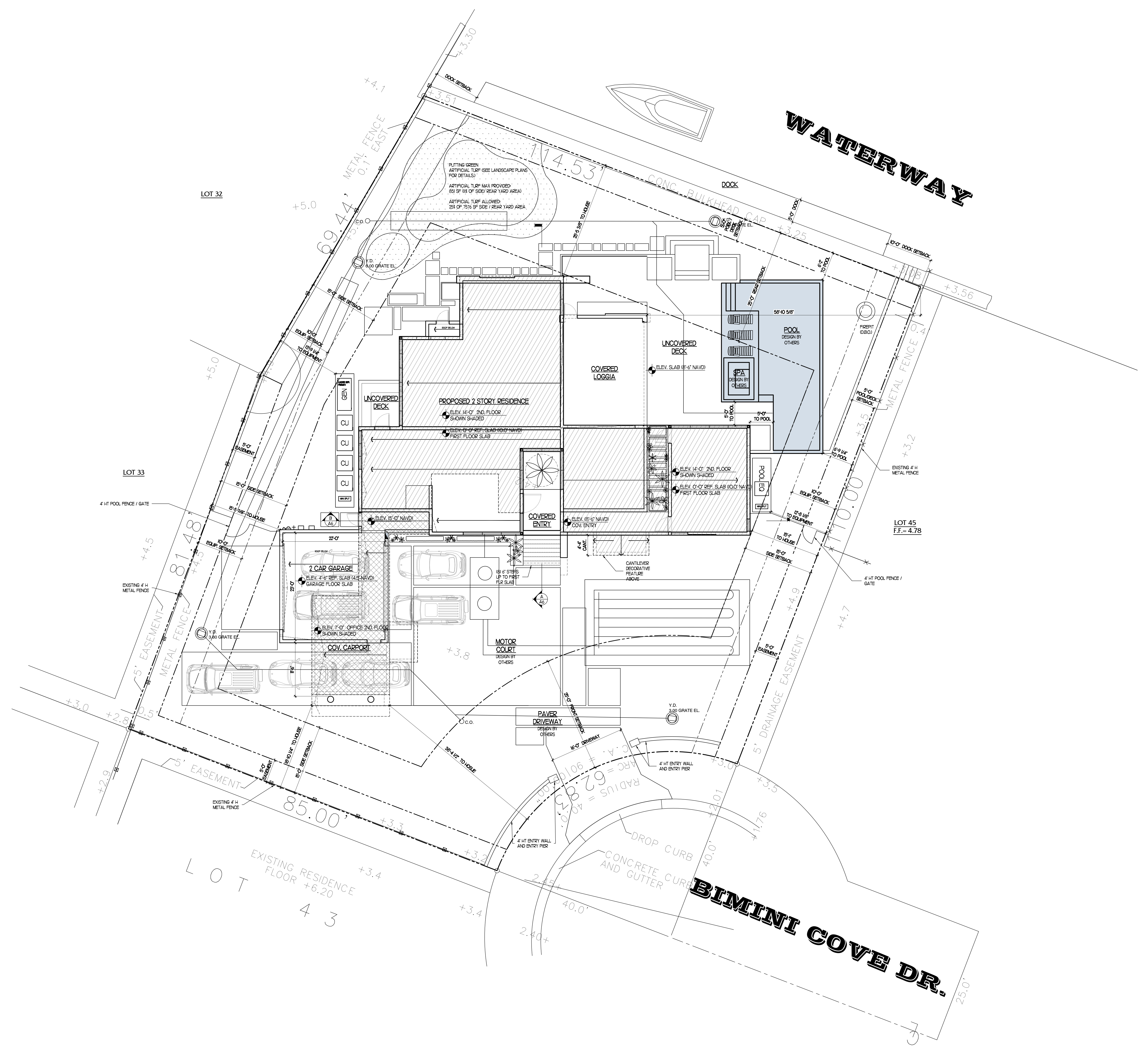
PROPERTY LOT AREA:	17,193 SF
MAX. LOT COVERAGE ALLOWED: 17,193 SF X (35%) = 6,017 SF	LOT COVERAGE PROPOSED: 22.1 OR 3,796 SF
MAX. FLOOR AREA RATIO ALLOWED: 17,193 SF X (36%) = 6,189 SF	FLOOR AREA RATIO PROPOSED: 35.1 OR 6,027 SF
MAX. 1 OF 2ND FLOOR AREA TO 1ST FLOOR AREA ALLOWED: 2ND FLOOR AREA SHALL NOT EXCEED 75% OF THE 1ST FLOOR SECTION 64-1. (b) (1)	
1ST FLOOR AREA 3,987 SF X .75% = 2,995 SF. 2ND FLOOR AREA 2,849 SF.	

**IMPERVIOUS CALC.**

PROPERTY LOT AREA:	17,193 SF
MAX. IMPERVIOUS AREA ALLOWED: 17,193 SF X (40%) = 6,877 SF	IMPERVIOUS AREA PROPOSED: 22.1 OR 3,700 SF
ZONING DISTRICT: RSF - SINGLE FAMILY	

**SITE DATA CHART**

BUILDING SETBACKS: FRONT SETBACK ALLOWED: 25'	BUILDING SETBACKS: FRONT SETBACK PROPOSED: 38'-4 1/2"
BUILDING SETBACKS: SIDE SETBACK ALLOWED: 15'	BUILDING SETBACKS: SIDE SETBACK PROPOSED: 15'-1" (EAST) / 15'-5 7/8" (WEST)
BUILDING SETBACKS: REAR SETBACK ALLOWED: 25'	BUILDING SETBACKS: REAR SETBACK PROPOSED: 25'-9 3/8"
POOL SETBACK ALLOWED: 5'	POOL SETBACK PROPOSED: 5'-2"
FOR FLAT ROOFED STRUCTURES: MAX. BUILDING HEIGHT ALLOWED MEASURED FROM FINISHED FLOOR ELEVATION TO TOP OF THE BEAM: 24'	FOR FLAT ROOFED STRUCTURES: MAX. BUILDING HEIGHT PROPOSED MEASURED FROM FINISHED FLOOR ELEVATION TO TOP OF THE BEAM: 24'
REQUIRED OFF-STREET PARKING: ONE OFF-STREET PARKING SPACE PER BEDROOM	PROPOSED OFF-STREET PARKING: 5 OFF-STREET PARKING SPACES (INCLUDING CARPORT)
REQUIRED NUMBER OF VEHICLES A FULLY ENCLOSED GARAGE NEEDS TO ACCOMMODATE FULLY ENCLOSED GARAGE TO ACCOMMODATE TWO FULL-SIZE VEHICLES.	PROPOSED NUMBER OF VEHICLES THE FULLY ENCLOSED GARAGE ACCOMMODATES: TWO FULL-SIZE VEHICLES.



Project Number:  
**24023**

**PRIVATE RESIDENCE**  
44 BIMINI COVE DRIVE,  
OCEAN RIDGE, FL

**AFINITY**  
ARCHITECTS

6100 Broken Sound Pkwy, NW - Suite 8 - Boca Raton FL - 33487  
561.750.0445 AFINITYARCHITECTS.COM

Revisions

Date	10/10/2024
Drawn   Checked	FC   XXXX
Date   Permit	.
Date   Construction	.

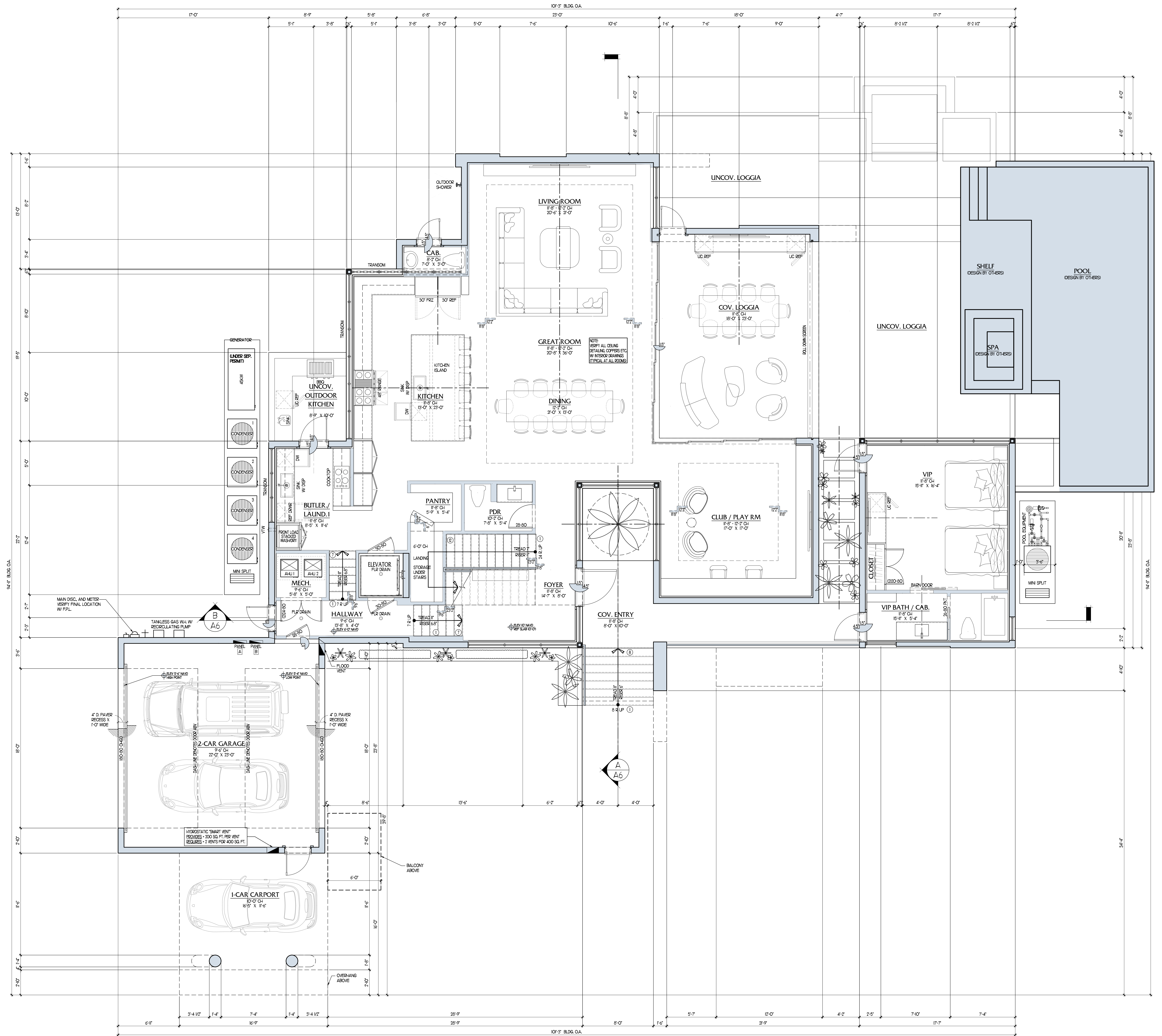
Seal:

AREA CALCULATION	
1ST FLOOR A/C	1932 SQ. FT.
1ST FLOOR A/C - GARAGE HALLWAY	75 SQ. FT.
1ST FLOOR A/C - VIP	416 SQ. FT.
TOTAL 1ST FLR A/C	2423 SQ. FT.
2ND FLOOR A/C	2526 SQ. FT.
2ND FLOOR A/C (OFFICE)	329 SQ. FT.
TOTAL 2ND FLR A/C	2855 SQ. FT.
TOTAL A/C	5277 SQ. FT.
COVERED ENTRY	194 SQ. FT.
2-CAR GARAGE	567 SQ. FT.
1-CAR CARPORT	189 SQ. FT.
COVERED LOGGIA	426 SQ. FT.
OUTDOOR KITCHEN	88 SQ. FT.
UNCOV. REAR BALCONY	825 SQ. FT.
COV. FRONT BREEZEWAY	174 SQ. FT.
UNCOV. FRONT BALCONY	52 SQ. FT.
TOTAL FLOOR AREA (LOT COVERAGE)	3796 SQ. FT.
TOTAL UNDER ROOF	6827 SQ. FT.
TOTAL BUILDING FOOTPRINT	3886 SQ. FT.
1 OF LOT COVERAGE	1793 SQ. FT.
F.A.R.	221
1 OF F.A.R.	6033 SQ. FT.
DATE: 10/10/2024	351

LOT COVERAGE & FLOOR AREA CALC.	
PROPERTY LOT AREA:	17,193 SF
MAX. LOT COVERAGE ALLOWED:	LOT COVERAGE PROPOSED: 221 % OR 3,796 SF
MAX. FLOOR AREA RATIO ALLOWED:	FLOOR AREA RATIO PROPOSED: 351 % OR 6,027 SF
MAX. 1 OF 2ND FLOOR AREA TO 1ST FLOOR AREA ALLOWED:	
2ND FLOOR AREA SHALL NOT EXCEED 75% OF THE 1ST FLOOR SECTION 64-1. (1) (1)	
1ST FLOOR AREA 3,887 SF X .751 = 2,915 SF.	
2ND FLOOR AREA = 2,849 SF.	

TOTAL SQ. FT. OF 1ST FLR ROOMS & SPACES		
1	1-CAR CARPORT	189 SQ. FT.
2	2-CAR GARAGE	567 SQ. FT.
3	GARAGE HALLWAY	506 SQ. FT.
4	MECH	28 SQ. FT.
5	FOYER	116 SQ. FT.
6	COV. ENTRY	194 SQ. FT.
7	VIP BATH / CAB.	85 SQ. FT.
8	VIP BEDROOM	260 SQ. FT.
9	CLUB / PLAYROOM	289 SQ. FT.
10	COV. LOGGIA	426 SQ. FT.
11	GREAT ROOM	739 SQ. FT.
12	KITCHEN	299 SQ. FT.
13	CABANA	21 SQ. FT.
14	OUTDOOR KITCHEN	88 SQ. FT.
15	BUTLER / LAUNDRY #1	97 SQ. FT.
16	PANTRY	31 SQ. FT.
17	PDR	41 SQ. FT.

**TOTAL SQ. FT. OF 1ST FLR ROOMS & SPACES LEGEND**



**FIRST FLOOR PLAN**  
1/4" = 1'-0"

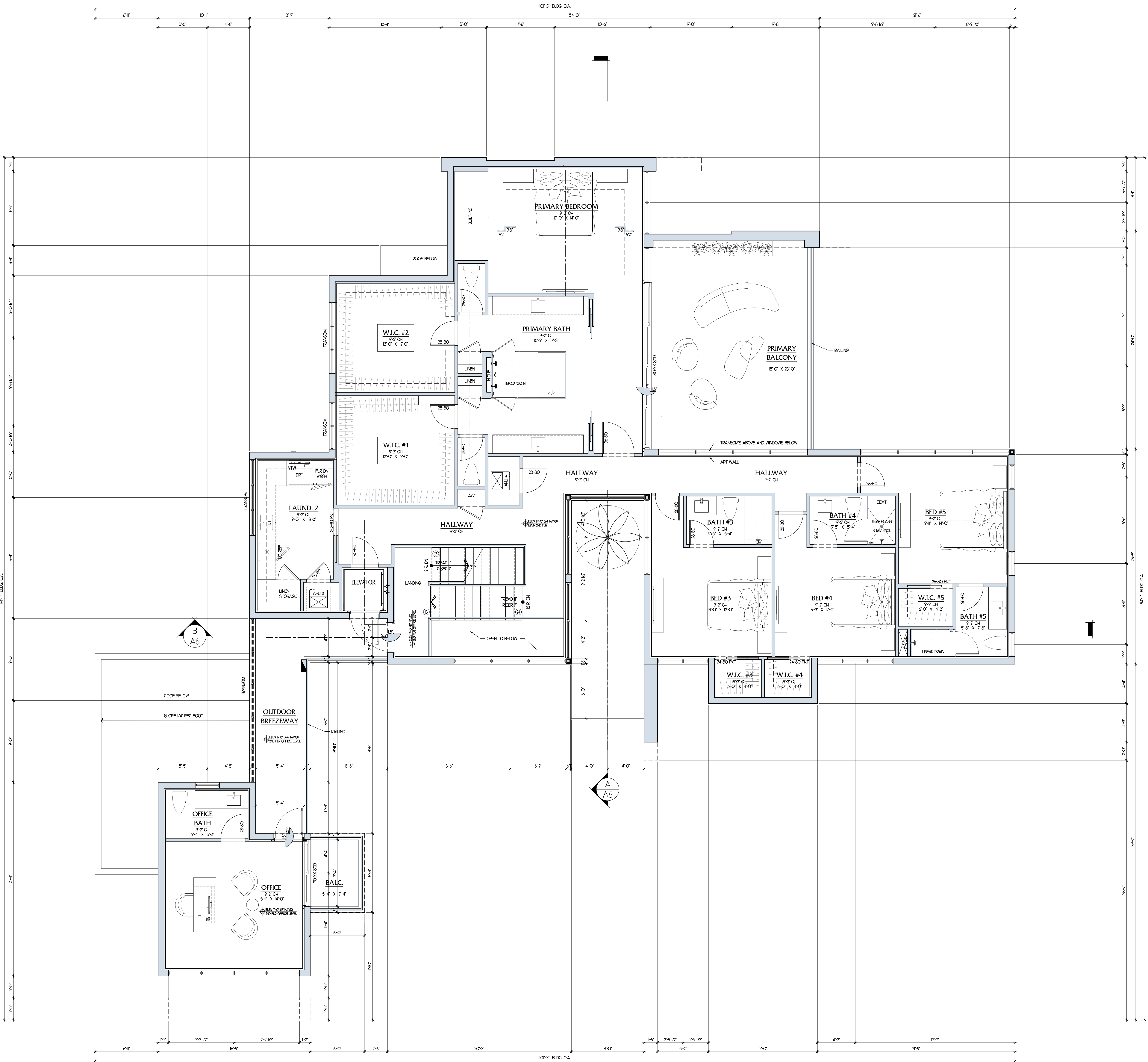
Revisions

NOT FOR CONSTRUCTION

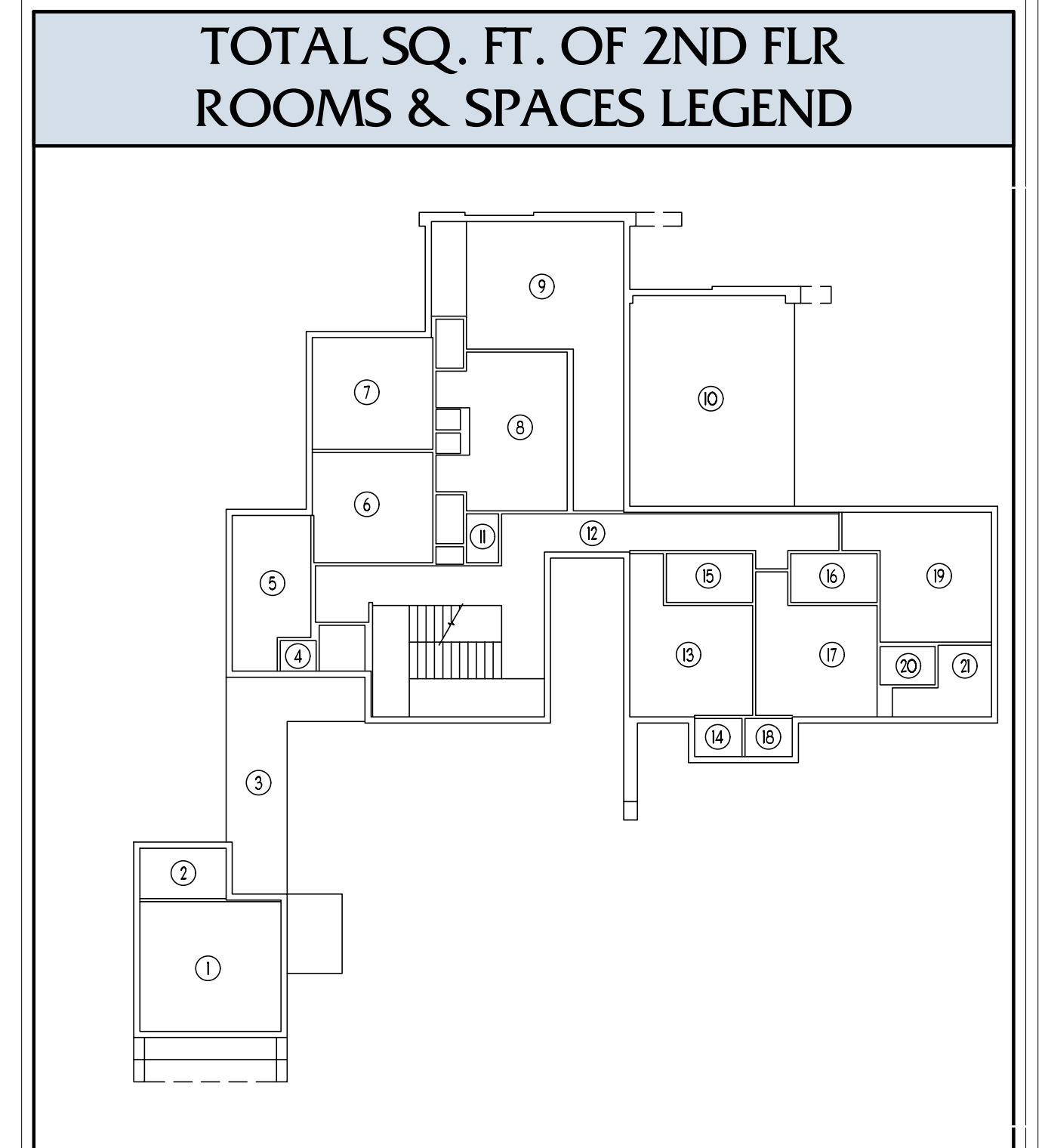
Date: 10/10/2024  
 Drawn | Checked | FC | XXX  
 Date | Permit  
 Date | Construction  
 Seal:

AA0002340 © 2011

**A2**



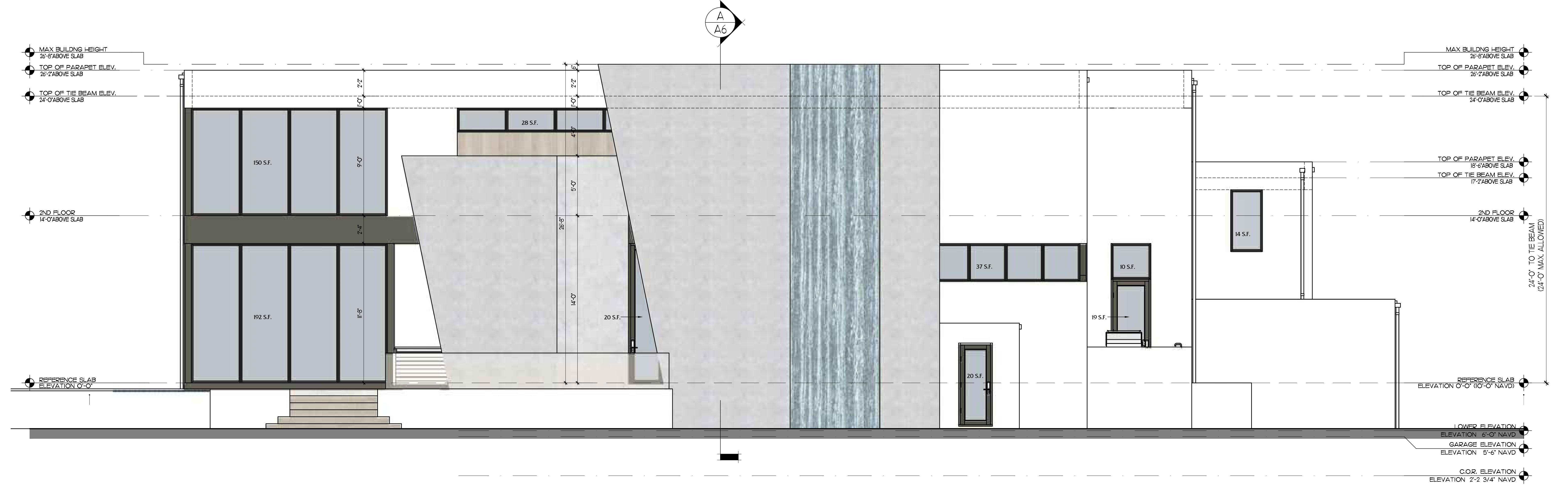
TOTAL SQ. FT. OF 2ND FLR ROOMS & SPACES		
1	OFFICE	211 SQ. FT.
2	OFFICE BATH	48 SQ. FT.
3	COV. FRONT BREEZEWAY	174 SQ. FT.
4	MECH	12 SQ. FT.
5	LAUNDRY #2	127 SQ. FT.
6	PRIMARY W.I.C. #1	157 SQ. FT.
7	PRIMARY W.I.C. #2	157 SQ. FT.
8	PRIMARY BATHROOM	270 SQ. FT.
9	PRIMARY BEDROOM	328 SQ. FT.
10	UNCOV. REAR BALCONY	825 SQ. FT.
11	MECH	19 SQ. FT.
12	HALLWAY	311 SQ. FT.
13	BEDROOM #3	179 SQ. FT.
14	W.I.C. #3	20 SQ. FT.
15	BATHROOM #3	50 SQ. FT.
16	BATHROOM #4	50 SQ. FT.
17	BEDROOM #4	172 SQ. FT.
18	W.I.C. #4	20 SQ. FT.
19	BEDROOM #5	158 SQ. FT.
20	W.I.C. #5	25 SQ. FT.
21	BATH-ROOM #5	58 SQ. FT.



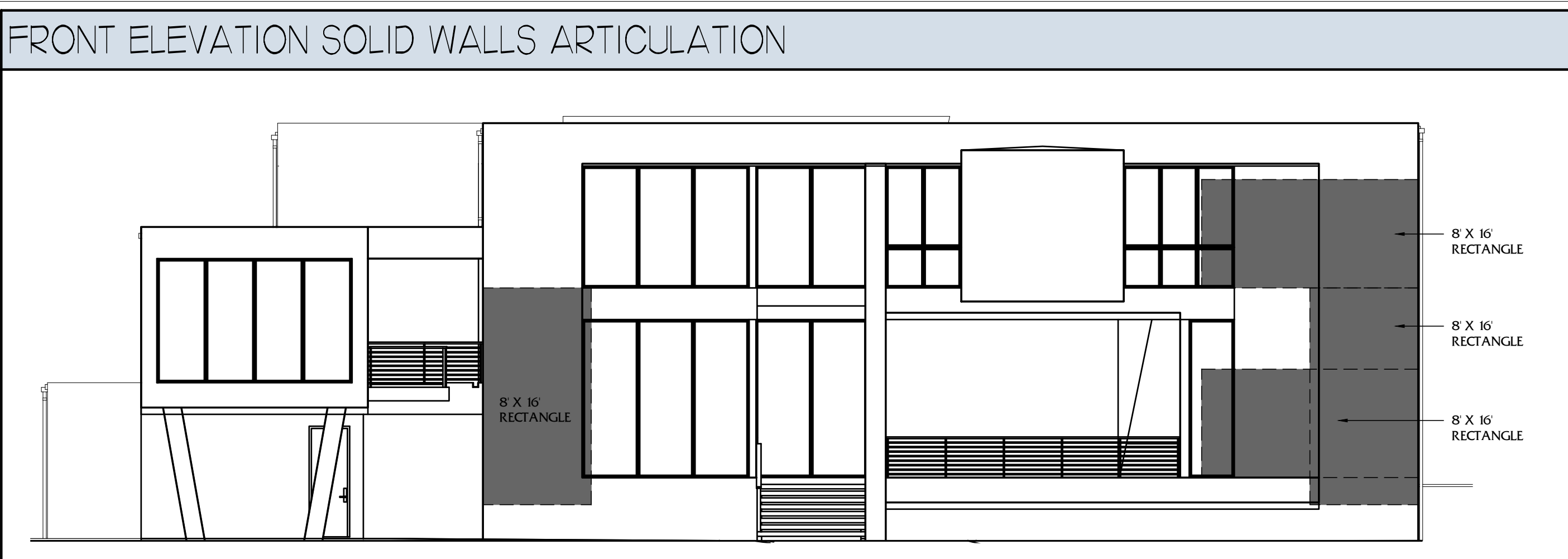
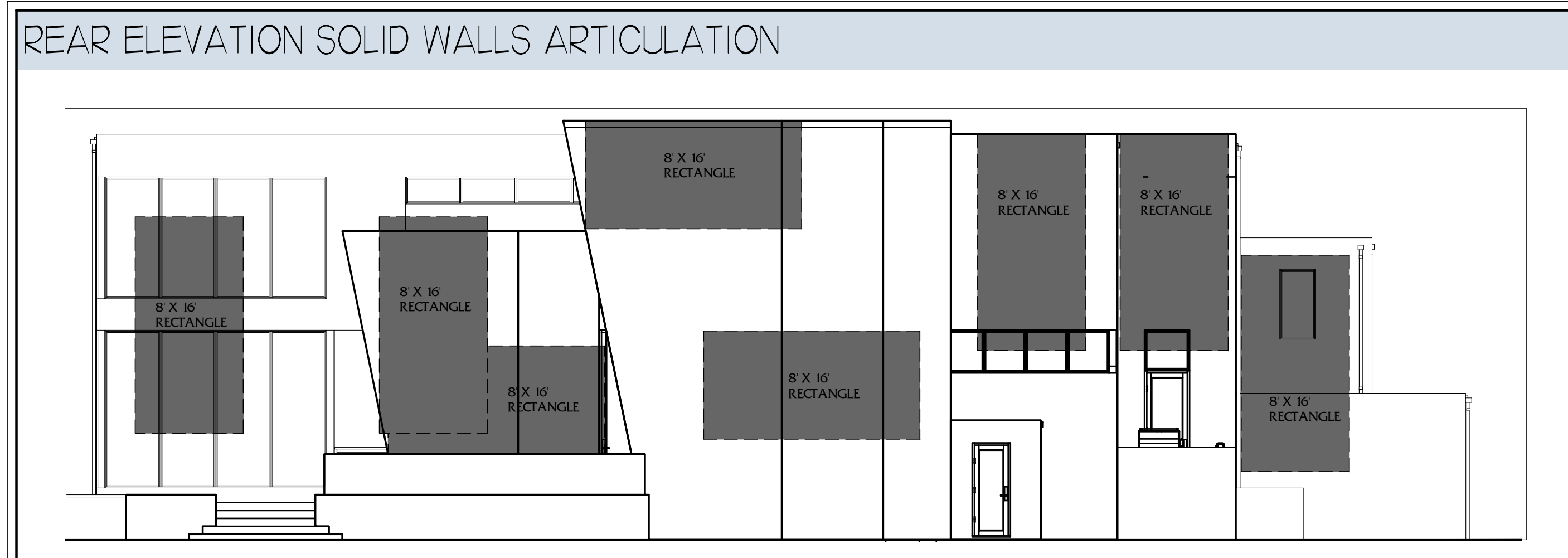
**SECOND FLOOR PLAN**  
1/4" = 1'-0"

REAR WINDOW / DOOR AREA CALCULATION	
DOOR 1	20 SQ. FT.
DOOR 2	20 SQ. FT.
DOOR 3	19 SQ. FT.
WINDOW 1	150 SQ. FT.
WINDOW 2	192 SQ. FT.
WINDOW 3	28 SQ. FT.
WINDOW 4	37 SQ. FT.
WINDOW 5	10 SQ. FT.
WINDOW 6	14 SQ. FT.
TOTAL REAR WINDOW/DOOR AREA	489 SQ. FT.
TOTAL REAR WALL ELEVATION AREA	2835 SQ. FT.
TOTAL PERCENTAGE WINDOW / DOOR COVERAGE	17.3%
DATE: 10/10/2024	

**REAR ELEVATION WINDOW/DOOR COVERAGE**  
REAR WALL OVERALL ELEVATION AREA: 2,835 SF  
REAR ELEVATION WINDOW/DOOR AREA: 489 SF  
WINDOW / DOOR COVERAGE = 489 / 2,835 = 17.3%



**SOUTH ELEVATION (REAR)**  
1/4" = 1'-0"



FRONT WINDOW / DOOR AREA CALCULATION	
WINDOW 1	132 SQ. FT.
WINDOW 2	113 SQ. FT.
WINDOW 3	74 SQ. FT.
WINDOW 4	51 SQ. FT.
WINDOW 5	75 SQ. FT.
WINDOW 6	144 SQ. FT.
WINDOW 7	94 SQ. FT.
WINDOW 8	39 SQ. FT.
TOTAL FRONT WINDOW/DOOR AREA	722 SQ. FT.
TOTAL FRONT WALL ELEVATION AREA	2912 SQ. FT.
TOTAL PERCENTAGE WINDOW / DOOR COVERAGE	24.8%
DATE: 10/10/2024	

**FRONT ELEVATION WINDOW/DOOR COVERAGE**  
FRONT WALL OVERALL ELEVATION AREA: 2,912 SF  
FRONT ELEVATION WINDOW/DOOR AREA: 722 SF  
WINDOW / DOOR COVERAGE = 722 / 2,912 = 24.8%



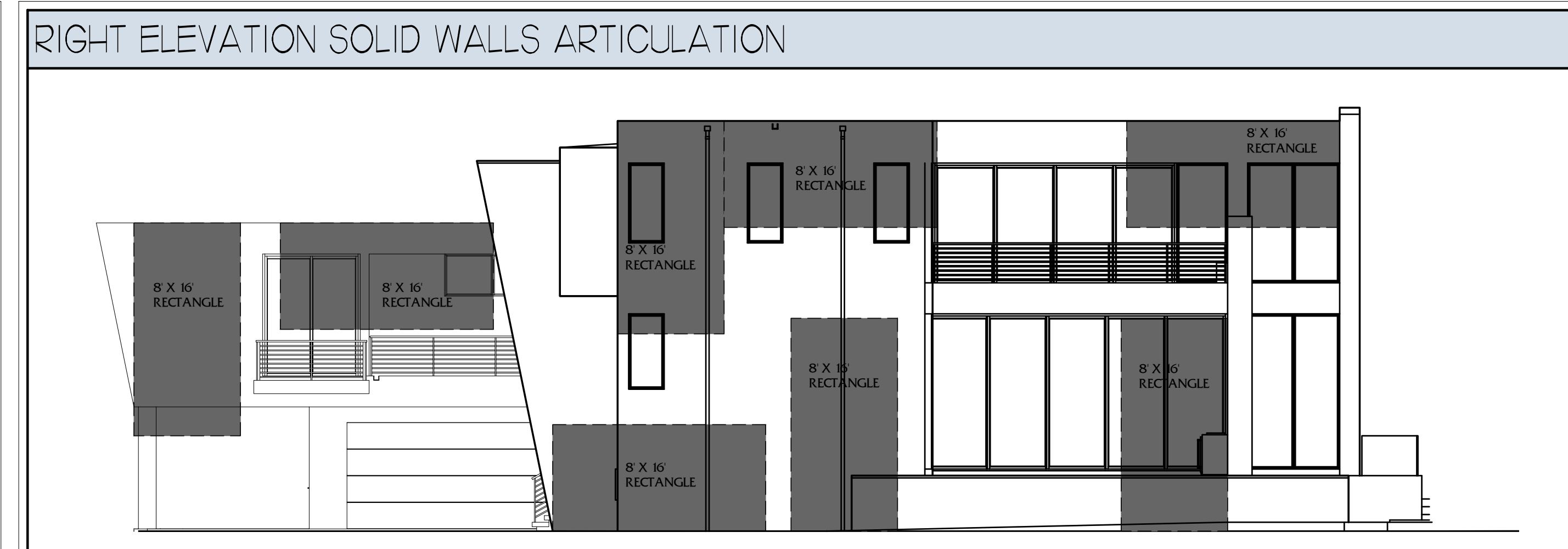
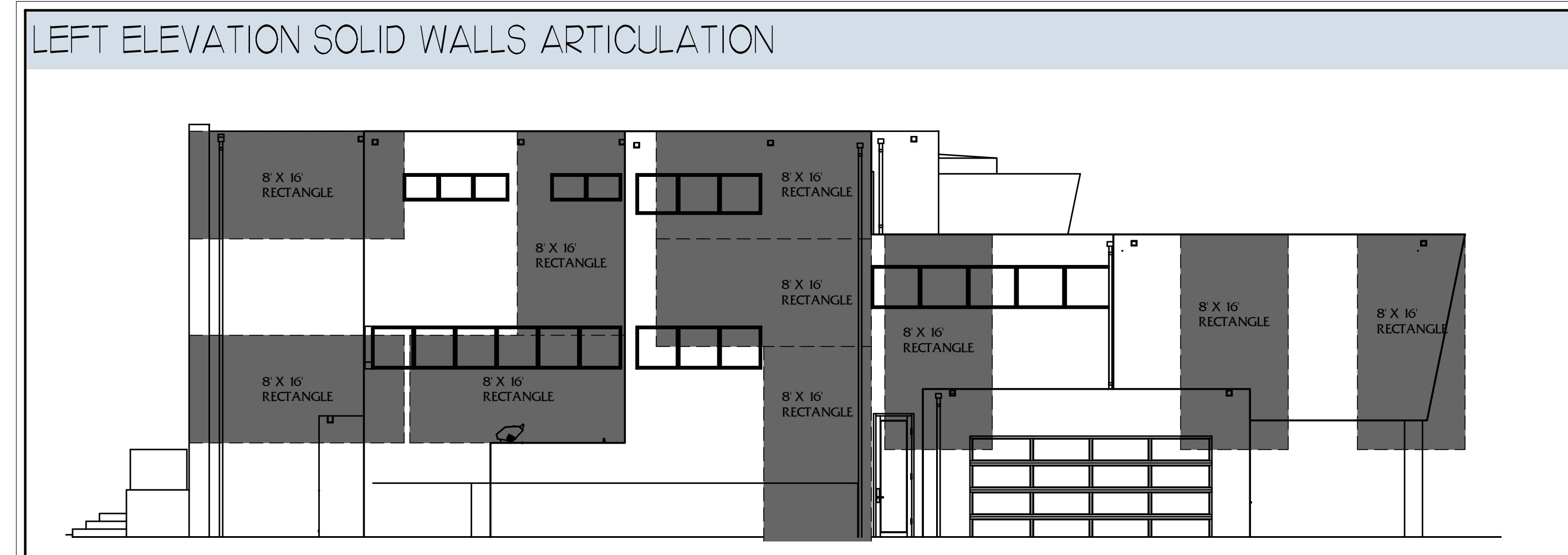
**NORTH ELEVATION (FRONT)**  
1/4" = 1'-0"

LEFT WINDOW / DOOR AREA CALCULATION	
DOOR 1	28 SQ. FT.
DOOR 2	144 SQ. FT.
WINDOW 1	17 SQ. FT.
WINDOW 2	11 SQ. FT.
WINDOW 3	30 SQ. FT.
WINDOW 4	61 SQ. FT.
WINDOW 5	30 SQ. FT.
WINDOW 6	57 SQ. FT.
<b>TOTAL LEFT WINDOW/DOOR AREA</b>	<b>379 SQ. FT.</b>
<b>TOTAL LEFT WALL ELEVATION AREA</b>	<b>2398 SQ. FT.</b>
<b>TOTAL PERCENTAGE WINDOW / DOOR COVERAGE</b>	<b>15.81</b>
DATE: 10/10/2024	

LEFT ELEVATION WINDOW/DOOR COVERAGE	
<b>LEFT WALL OVERALL ELEVATION AREA</b>	<b>2,398 SF</b>
<b>LEFT ELEVATION WINDOW/DOOR AREA</b>	<b>379 SF</b>
<b>WINDOW / DOOR COVERAGE</b>	<b>= 379 / 2,398 = 15.81</b>



**EAST ELEVATION (LEFT)**  
1/4" = 1'-0"



RIGHT WINDOW / DOOR AREA CALCULATION	
DOOR 1	66 SQ. FT.
DOOR 2	117 SQ. FT.
DOOR 3	260 SQ. FT.
DOOR 4	203 SQ. FT.
WINDOW 1	13 SQ. FT.
WINDOW 2	15 SQ. FT.
WINDOW 3	16 SQ. FT.
WINDOW 4	16 SQ. FT.
WINDOW 5	16 SQ. FT.
WINDOW 6	63 SQ. FT.
WINDOW 7	81 SQ. FT.
<b>TOTAL RIGHT WINDOW/DOOR AREA</b>	<b>869 SQ. FT.</b>
<b>TOTAL RIGHT WALL ELEVATION AREA</b>	<b>2444 SQ. FT.</b>
<b>TOTAL PERCENTAGE WINDOW / DOOR COVERAGE</b>	<b>35.61</b>
DATE: 10/10/2024	

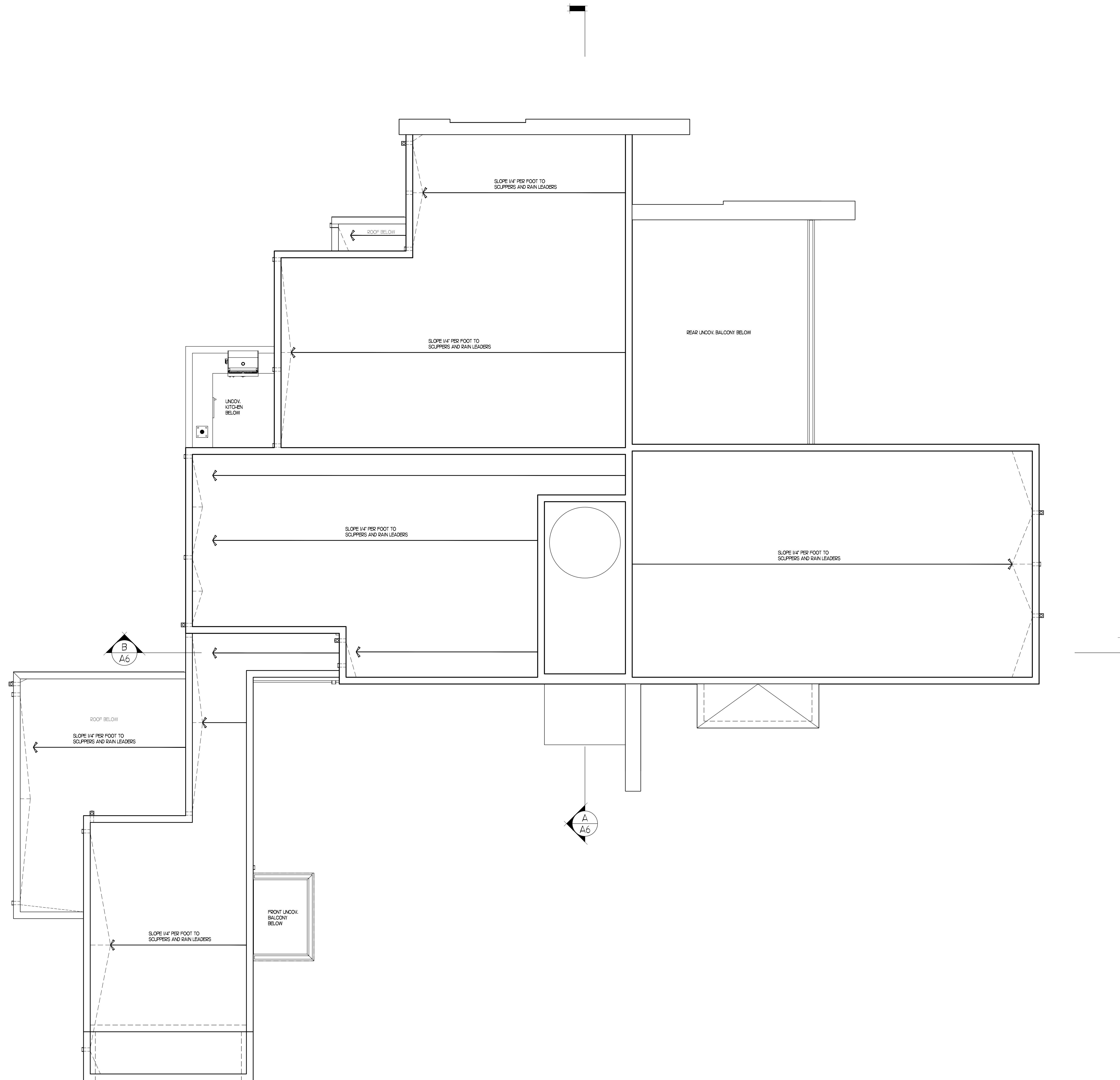
RIGHT ELEVATION WINDOW/DOOR COVERAGE	
<b>RIGHT WALL OVERALL ELEVATION AREA</b>	<b>2,444 SF</b>
<b>RIGHT ELEVATION WINDOW/DOOR AREA</b>	<b>869 SF</b>
<b>WINDOW / DOOR COVERAGE</b>	<b>= 869 / 2,444 = 35.61</b>



**WEST ELEVATION (RIGHT)**  
1/4" = 1'-0"

# ROOF AREA CALC.

TOTAL ROOF AREA:	3,798 SF
TOTAL FLAT ROOF AREA:	3,798 SF



Project Number:  
**24023**

**PRIVATE RESIDENCE**  
44 BIMINI COVE DRIVE,  
OCEAN RIDGE, FL

**AFFINITY**  
*architects*  
6100 Broken Sound Pkwy, NW - Suite 8 - Boca Raton FL - 33487  
561.750.0445 AFFINITYARCHITECTS.COM

Revisions

NOT FOR CONSTRUCTION

Date	10/10/2024
Drawn   Checked	FC   XXX
Date   Approval	-   -
Date   Permit	-   -
Date   Construction	-   -

Seal:



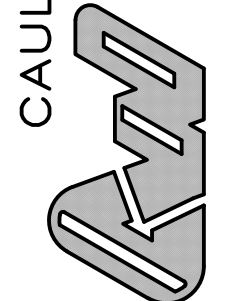
AA0002340 © 2011

**A6**

**UPPER ROOF PLAN**  
1/4" = 1'-0"

REV	DATE	BY
JRH	11/26/24	JRH
JRH	11/12/24	JRH
REV PER TOWN COMMENTS		
REVISIONS		
DATE		
FILE NAME	11007_ENG.dwg	

**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING - SURVEYING  
 LANDSCAPE ARCHITECTURE - SUITE 100  
 7900 GLADES ROAD - BOCA RATON, FLORIDA 33434  
 PHONE (561)-392-1991 / FAX (561)-750-1452



PAVING, GRADING & DRAINAGE PLAN  
 44 BIMINI COVE DRIVE  
 OCEAN RIDGE, FL 33435

DATE 10/11/24  
 DRAWN BY JRH  
 F.B./ PG. ----  
 SCALE 1"=10'

MATTHEW V. KAHN  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 82227  
 STATE OF FLORIDA  
 - FOR THE FIRM -  
 DATE

JOB # 11007  
 SHI.NO.  
 1  
 OF 4 SHEETS



LOCATION MAP  
 NOT TO SCALE


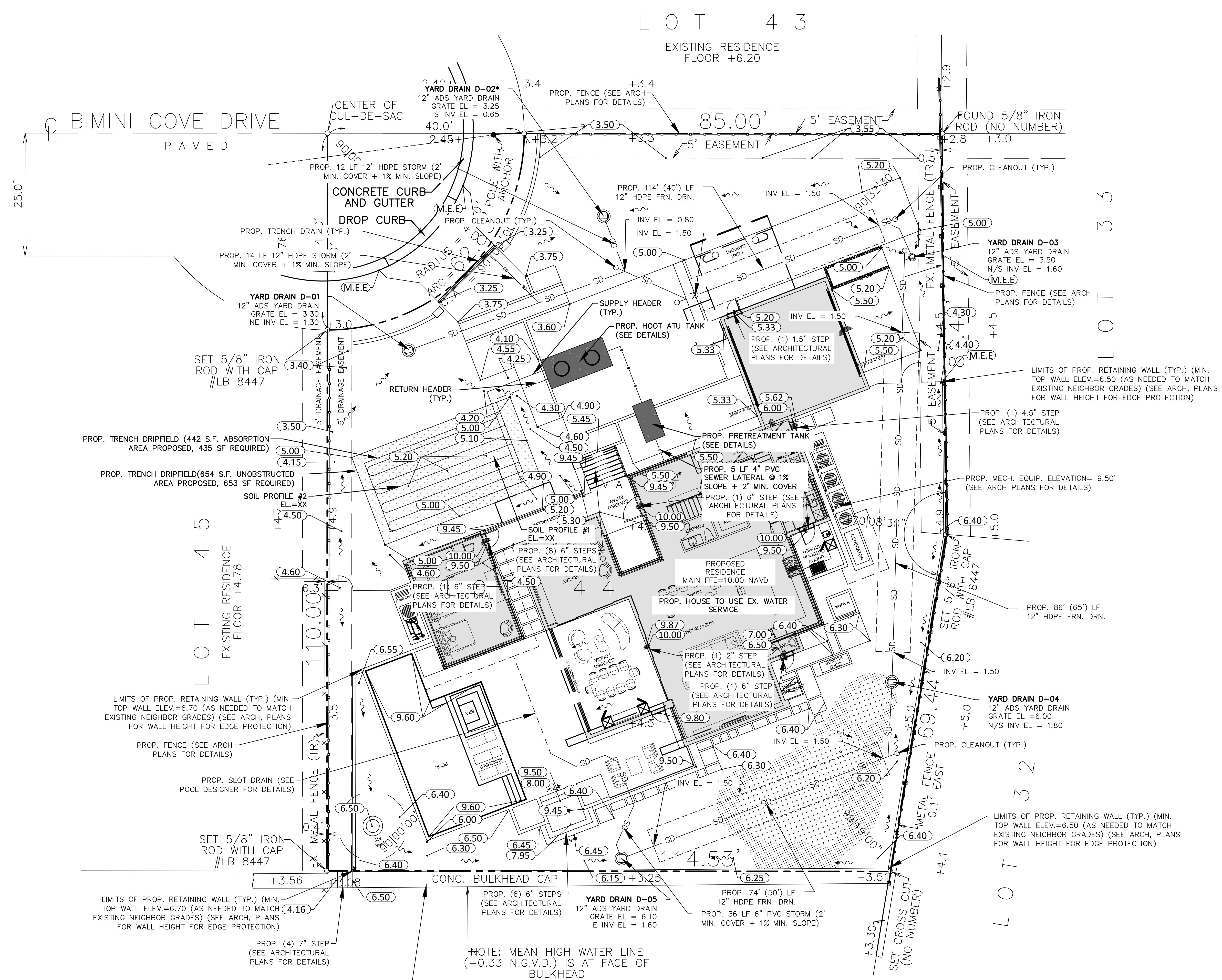
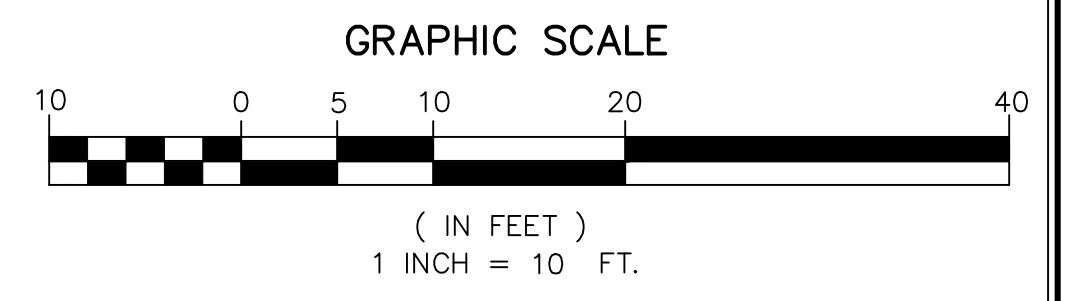
LEGEND

- PROPERTY/ROW LINE
- SD --- PROPOSED DRAINAGE PIPE
- ⊙ --- PROPOSED YARD DRAIN
- EXISTING GRADE
- PROPOSED GRADE
- MATCH EXISTING GRADE
- W --- PROPOSED WATER LINE
- W --- EXISTING WATER LINE
- S --- PROPOSED SANITARY SEWER LINE
- S --- EXISTING SANITARY SEWER LINE
- E --- PROPOSED ELECTRIC LINE
- OH --- EXISTING OVERHEAD LINE
- T --- PROPOSED TELEPHONE/CABLE LINE
- T --- EXISTING TELEPHONE/CABLE LINE
- G --- PROPOSED GAS LINE
- G --- EXISTING GAS LINE

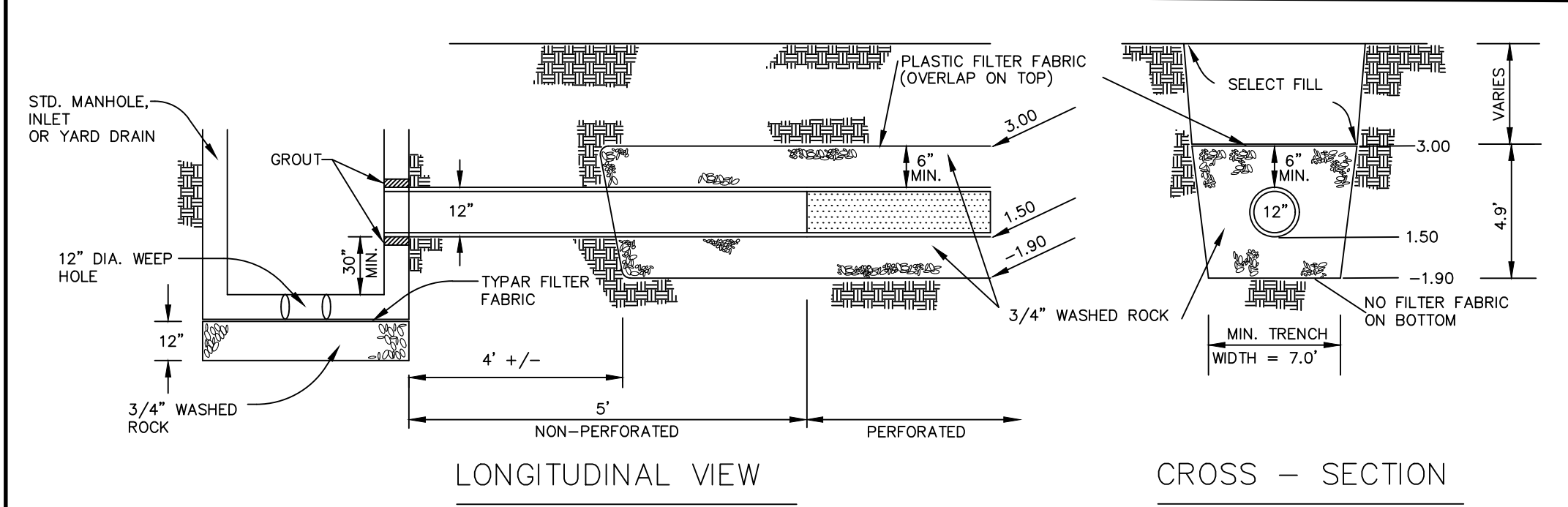
PROPOSED BUILDING

NOTE: ELEVATION ARE SHOWN IN NAVD  
 CONVERSION NAVD+1.56 = NGVD

Call 48 hours before you dig  
 It's the Law!  
 1-800-432-4770  
 Sunshine State One Call of Florida, Inc.

Drawing: P:\11007-00-00-00\11007-00-00\11007-00-00-CIVIL\_Plan



- NOTES:**
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT CONTAMINATION OF THE TRENCH BY SAND, SILT, OR OTHER MATERIAL.
  - THE CONTRACTOR SHALL INSTALL:
    - PERFORATED RCP IN ACCORDANCE WITH F.D.O.T. REQUIREMENTS.
    - CORRUGATED ALUMINUM IN ACCORDANCE WITH F.D.O.T. REQUIREMENTS.
  - NO PIPE PERFORATIONS FOR THE FIRST 5 FEET FROM THE INLET OR MANHOLE.
  - PIPE PERFORATIONS SHALL BE PER FDOT REQUIREMENTS
  - SEE DETAILS OF MANHOLE AND/OR INLET FOR CONSTRUCTION DETAILS OF SAME.
  - PLASTIC FILTER FABRIC SHALL CONFORM TO D.O.T. SECTION 985 OR APPROVED EQUAL.
  - PRIOR TO BACKFILLING ANY DRAINAGE STRUCTURES, THE CITY ENGINEERING DEPARTMENT SHALL BE GIVEN 24 HOURS NOTICE IN ORDER TO SCHEDULE AN INSPECTION OF THE FACILITY.

**FRENCH DRAIN DETAIL**

N.T.S.



PROJECT: **44 Bimini**  
 DATUM: **ft-NAVD (ft-NAVD or ft-NGVD)**

LAND-USE	
TOTAL SITE AREA:	0.39 Ac.
BUILDING AREA:	0.07 Ac.
PAVEMENT AREA:	0.11 Ac.
POOL AREA:	0.00 Ac.
WATER SURFACE AREA:	0.00 Ac.
LAKE BANK AREA:	0.00 Ac.
PERVIOUS AREA (DRY DET):	0.00 Ac.
PERVIOUS AREA (DRY DET BANK):	0.00 Ac.
PERVIOUS AREA (MISC):	0.21 Ac.
GROUNDWATER EL.:	0.50 ft-NAVD
AVERAGE GROUND EL.:	7.00 ft-NAVD
DEPTH TO GROUNDWATER:	6.50 ft.
COMPACTED SOIL STORAGE:	8.18 in.
"S" VALUE:	4.40 --
CURVE NUMBER, CN:	69.42 --

TREATMENT REQUIREMENTS	
1" OVER TOTAL AREA:	0.03 Ac-ft
% IMPERVIOUS:	46%
2.5" x 36" IMPERVIOUS:	1.15 in.
2.5" x 36" IMPERVIOUS - SITE AREA:	0.04 Ac-ft
TREATMENT VOLUME REQ'D:	0.04 Ac-ft
DRY PRETREATMENT VOL. REQ'D:	0.02 Ac-ft

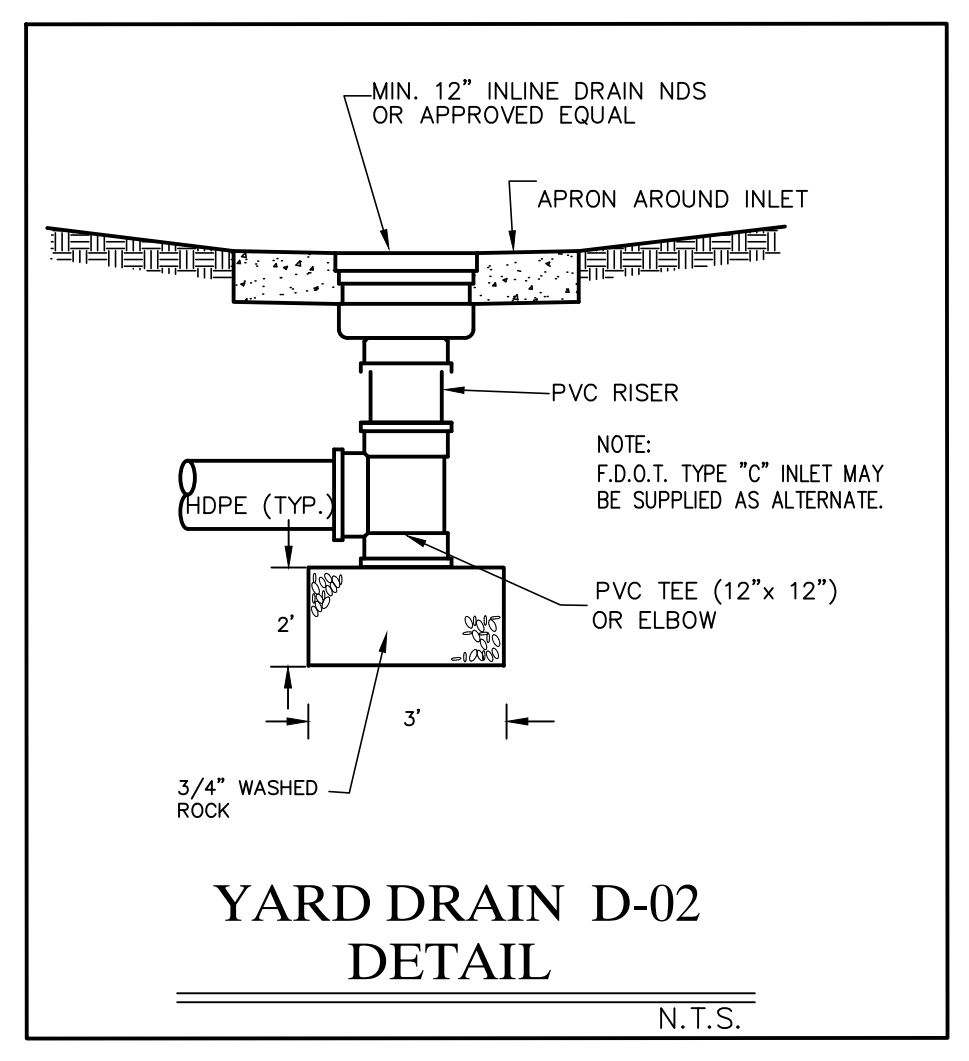
DRY DETENTION	
DRY DETENTION BOTTOM EL.:	ft-NAVD
DRY DETENTION BOTTOM AREA:	SF
DRY DETENTION TOP EL.:	ft-NAVD
DRY DETENTION TOP AREA:	SF
DRY DETENTION VOLUME PROVIDED:	0.00 CF

**Stormwater Calculations**

EXFILTRATION	
F.D. PIPE DIA.:	12.00 in.
F.D. PIPE INVERT EL.:	1.50 ft-NAVD
F.D. TOP OF TRENCH EL.:	3.00 ft-NAVD
F.D. BOTTOM OF TRENCH EL.:	-1.90 ft-NAVD
AVG. GROUND (OR WEIR) EL.:	3.25 ft-NAVD
F.D. TRENCH WIDTH, W:	7.00 ft.
F.D. TRENCH HEIGHT:	4.90 ft.
DEPTH TO GROUNDWATER, H <sub>1</sub> :	2.75 ft.
UNSATURATED TRENCH DEPTH, D <sub>1</sub> :	2.50 ft.
SATURATED TRENCH DEPTH, D <sub>2</sub> :	2.40 ft.
HYDRAULIC CONDUCTIVITY, K:	8.60E-05 cfs/ft <sup>2</sup> /ft-head

TOTAL LENGTH OF PROPOSED F.D., L: **155 LF**  
 F.D. TREATMENT VOLUME PROVIDED, V: **0.08 Ac-ft**  
 $V = L [K(H_1W + 2H_2D_1 - D_1^2 + 2H_2D_2) + (1.39 \times 10^{-4})W D_1]$

TREATMENT PROVIDED	
DRY DETENTION VOLUME PROVIDED:	0.00 Ac-ft
F.D. TREATMENT VOLUME PROVIDED:	0.08 Ac-ft
TOTAL TREATMENT VOLUME PROVIDED:	0.08 Ac-ft



**YARD DRAIN D-02 DETAIL**

N.T.S.

**DRAINAGE AND RETENTION CALCULATIONS**

COMPUTE THE INCREASE OF RUNOFF FOR A 10-YEAR, 3-DAY STORM EVENT:

3-DAY RAINFALL AMOUNT: 11.00

PROJECT AREAS:	EXISTING CALC.	PROPOSED
PROJECT AREA	0.39 Ac.	0.39 Ac.
BUILDINGS	0.00 Ac.	0.07 Ac.
PAVED AREAS	0.00 Ac.	0.13 Ac.
SOD/LANDSCAPE AREAS	0.39 Ac.	0.19 Ac.

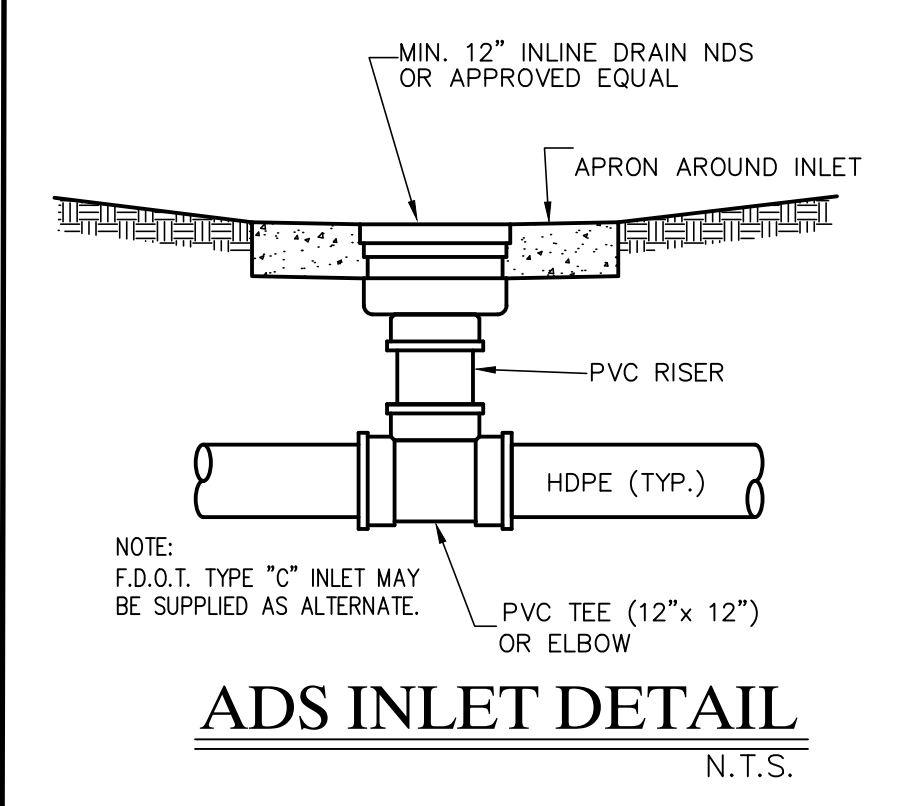
EXISTING CONDITIONS:  
 $RUNOFF = \frac{[11.00 - 0.2(8.18)]^2}{[11.00 + 0.8(8.18)]} = \frac{87.68}{17.54} = 5.00$   
 $VOLUME = \frac{5.00 \times 0.39}{12} = 0.16 \text{ Ac-ft.}$

PROPOSED CONDITIONS:  
 $RUNOFF = \frac{[11.00 - 0.2(3.99)]^2}{[11.00 + 0.8(3.99)]} = \frac{104.10}{14.19} = 7.34$   
 $VOLUME = \frac{7.34 \times 0.39}{12} = 0.24 \text{ Ac-ft.}$

INCREASE IN RUNOFF:  
 INCREASE = 0.24 - 0.16 = 0.08 = Ac-Ft.

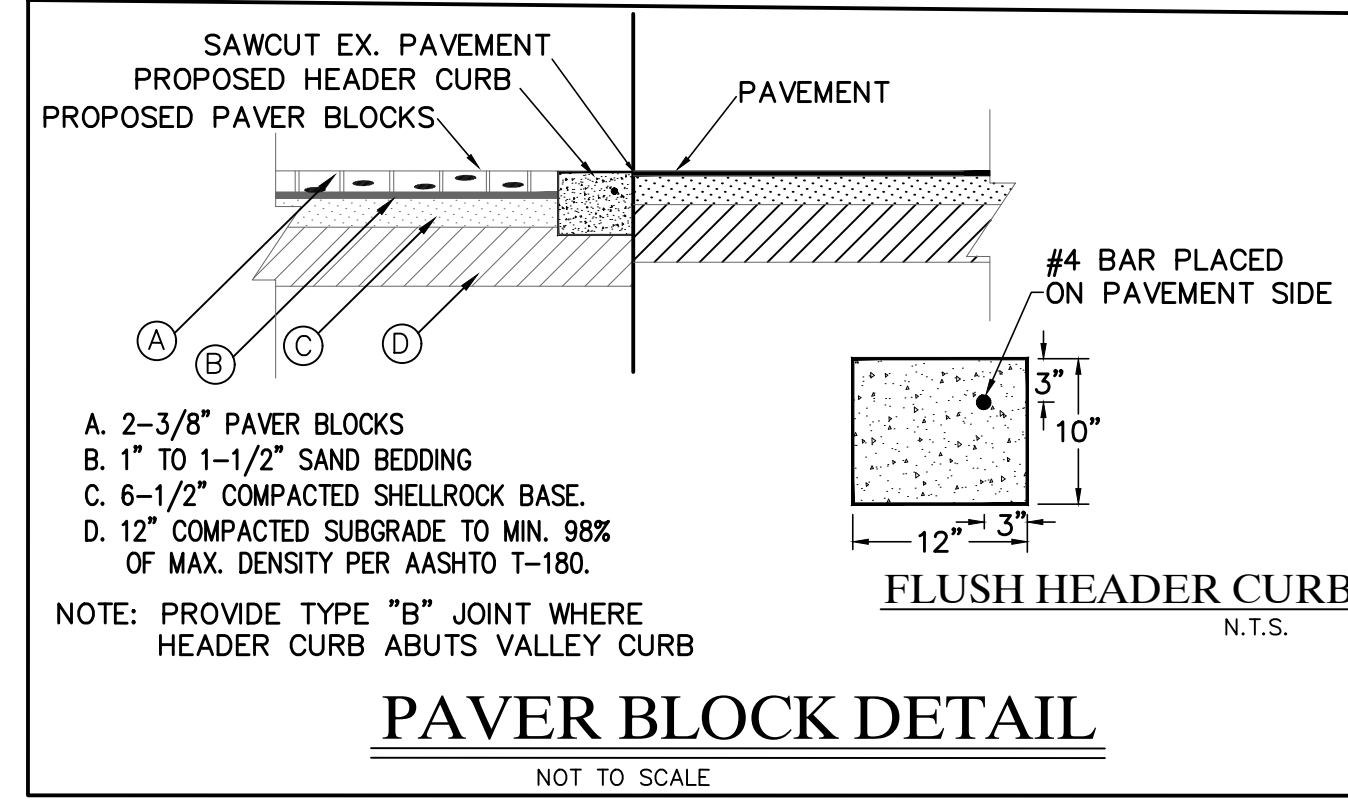
TOTAL EXFILTRATION TRENCH STORAGE PROVIDED = 0.08 AC-FT

10 YEAR, 3 DAY STORM VOLUME INCREASE OF 0.08 AC-Ft IS ACCOMMODATED BY THE PROPOSED EXFILTRATION TRENCHES WHICH PROVIDE 0.08 AC-Ft OF STORAGE TOTAL



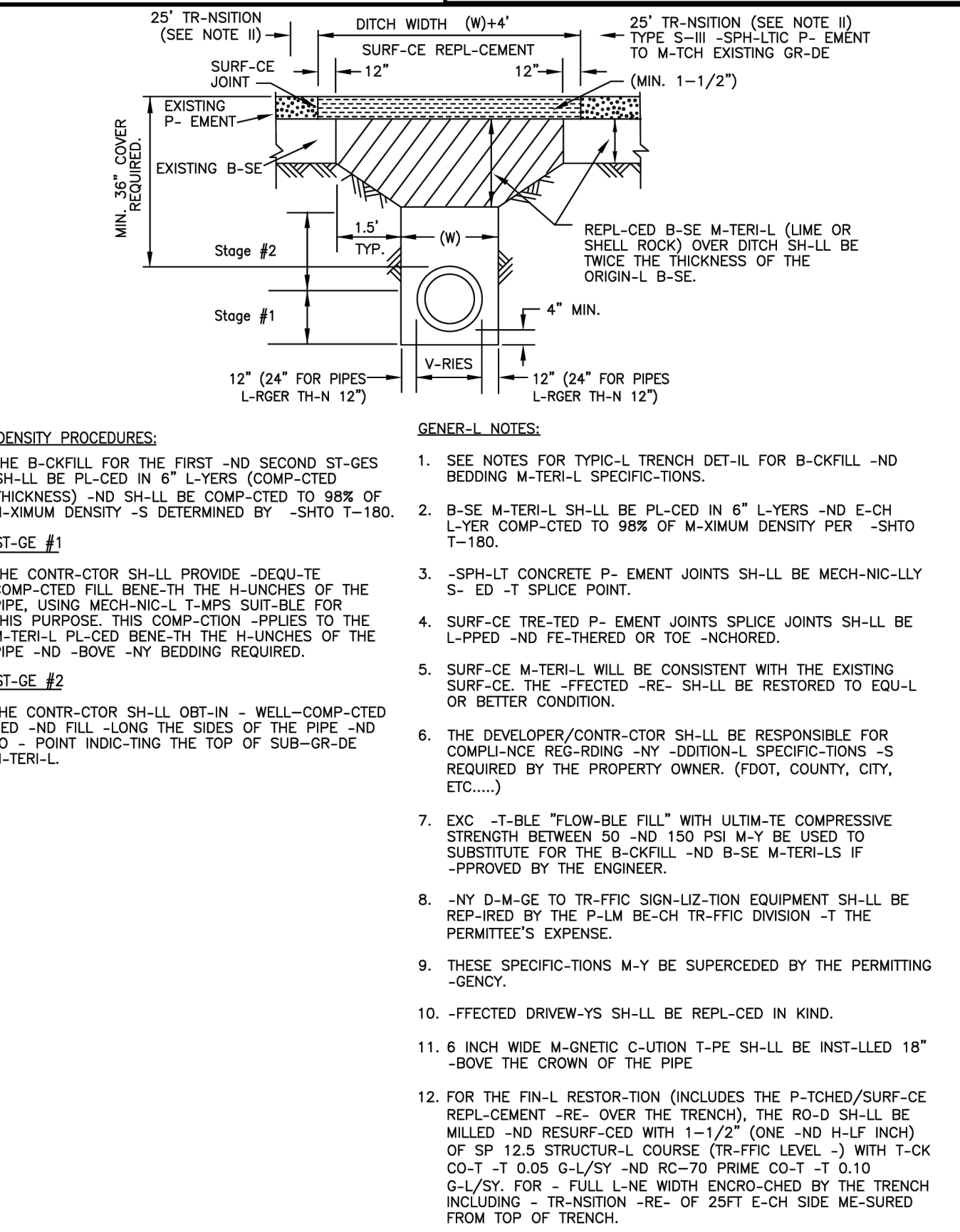
**ADS INLET DETAIL**

N.T.S.



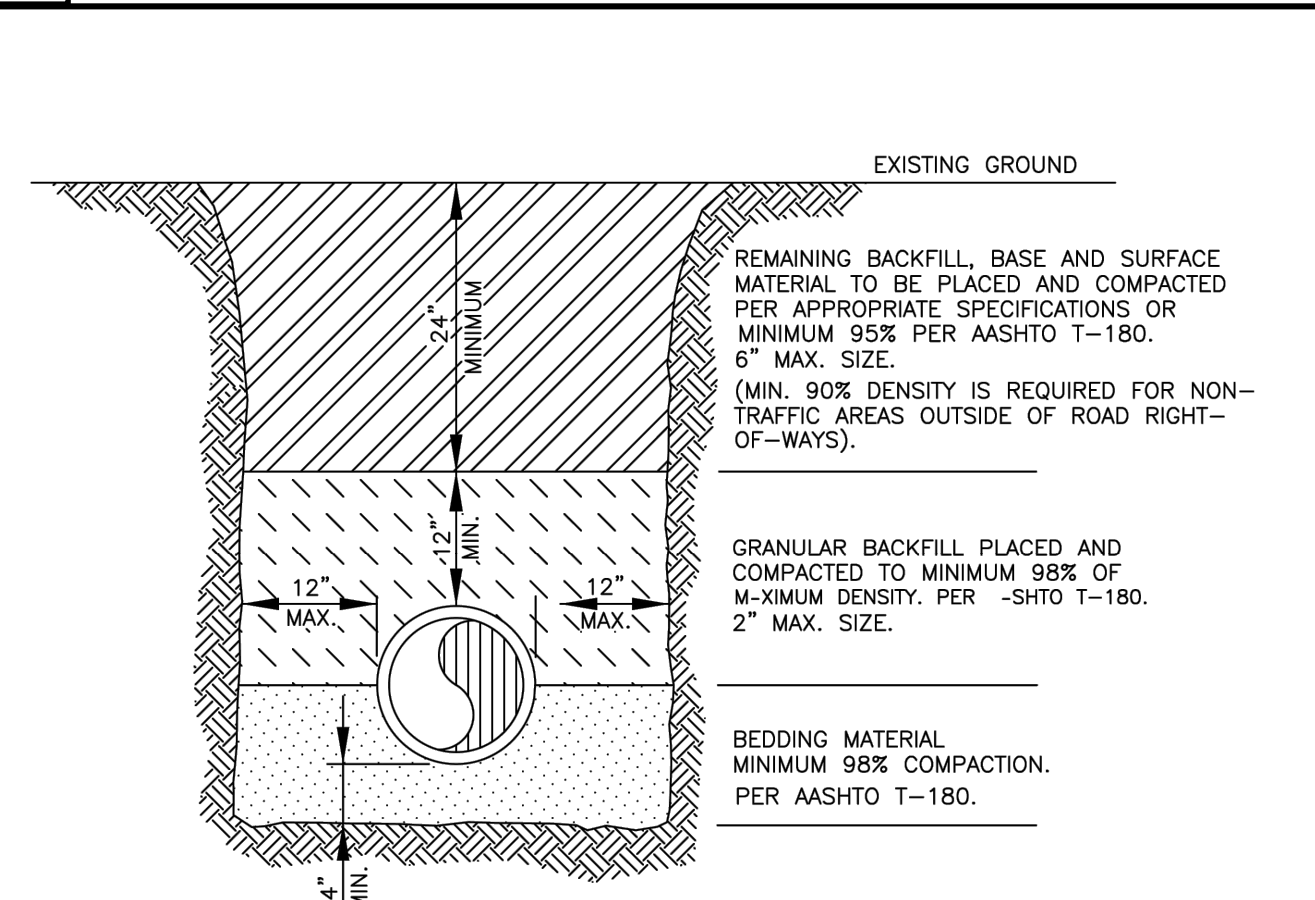
**PAVER BLOCK DETAIL**

NOT TO SCALE



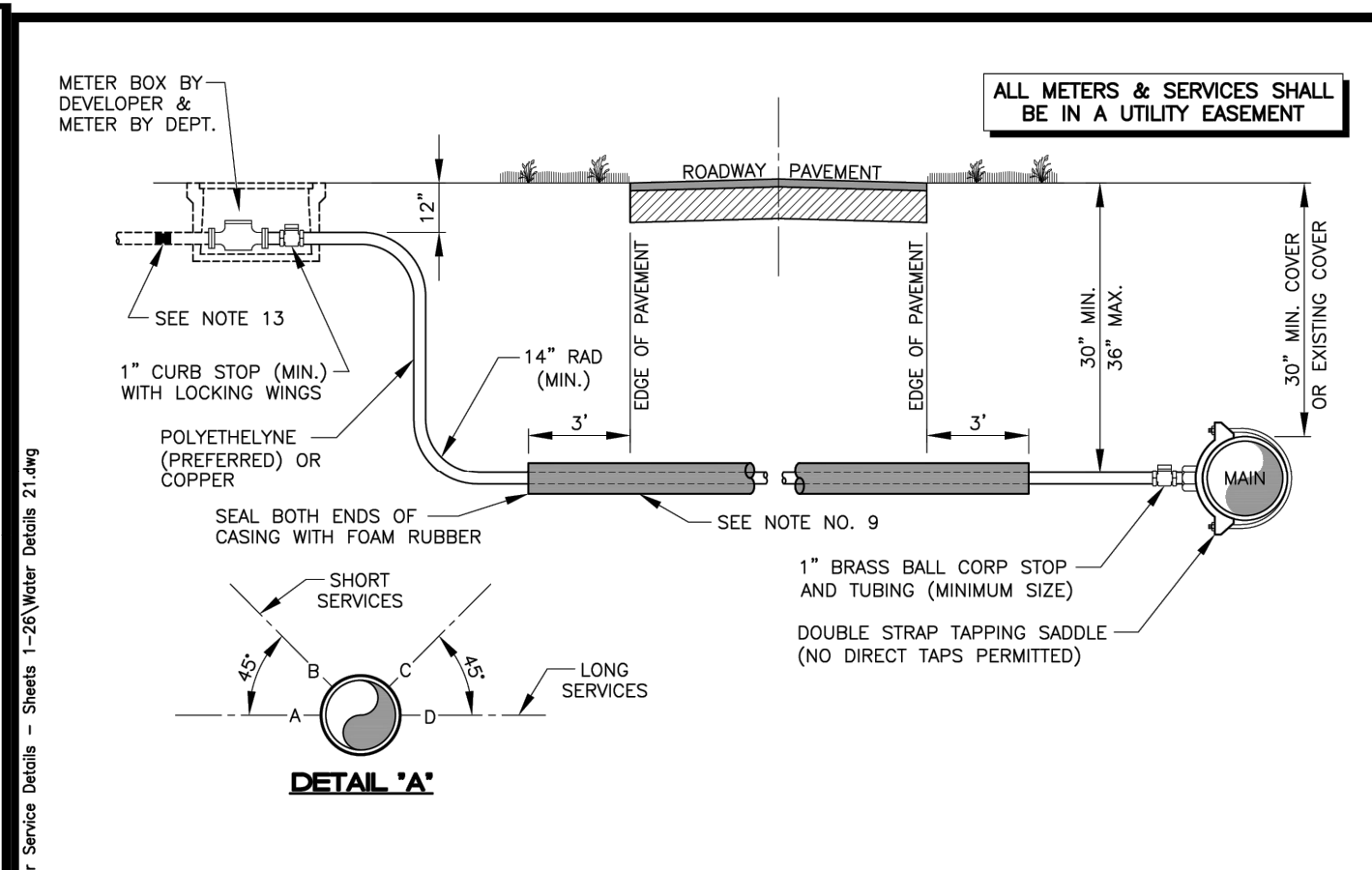
**PAVEMENT REPLACEMENT/PIPE INSTALLATION UNDER ROADWAY - OPEN CUT**

EFF. DATE: 02/20  
 DETAIL NO.: G-6



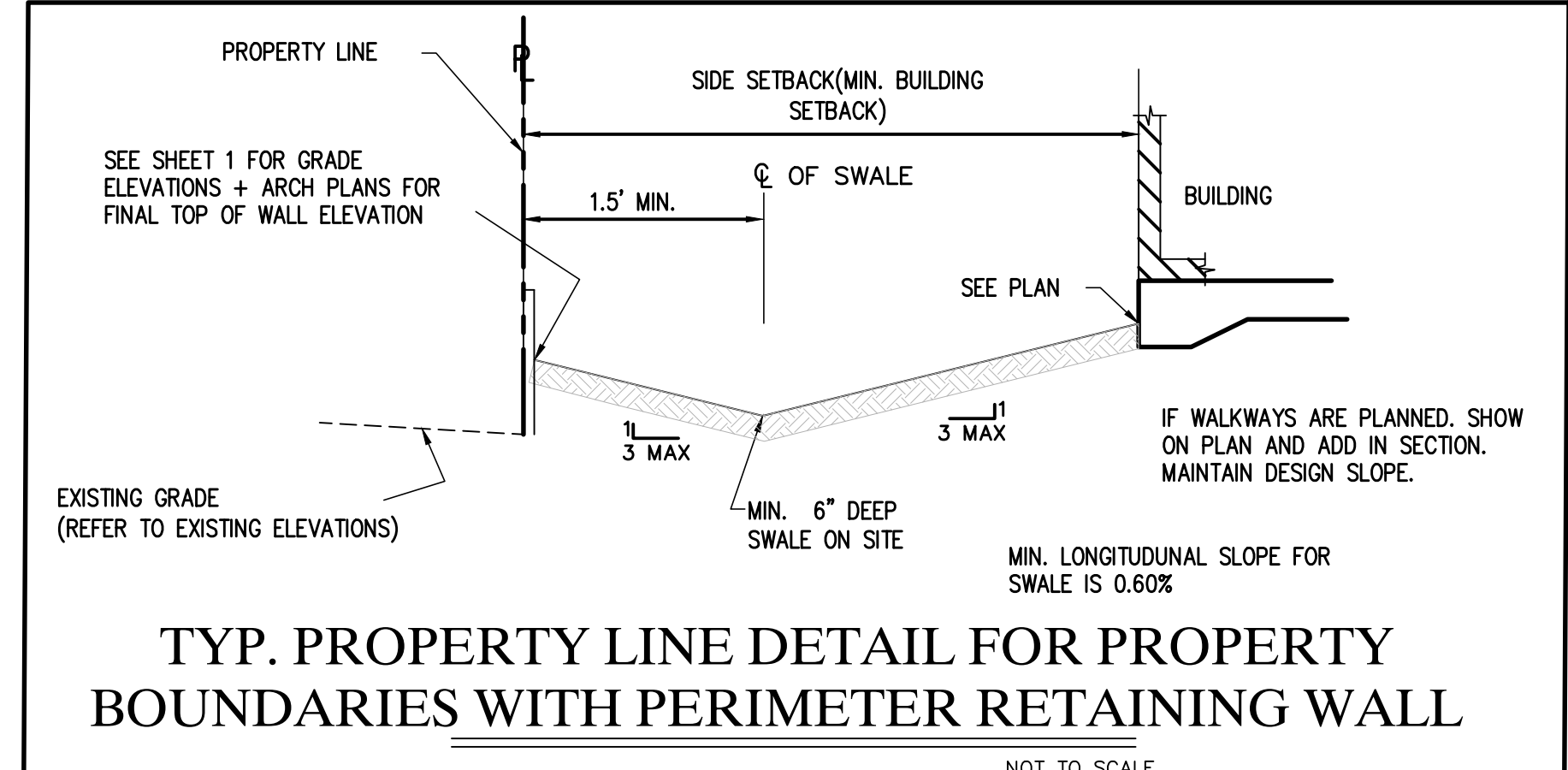
**TYPICAL TRENCH DETAIL**

EFF. DATE: 02/20  
 DETAIL NO.: G-5



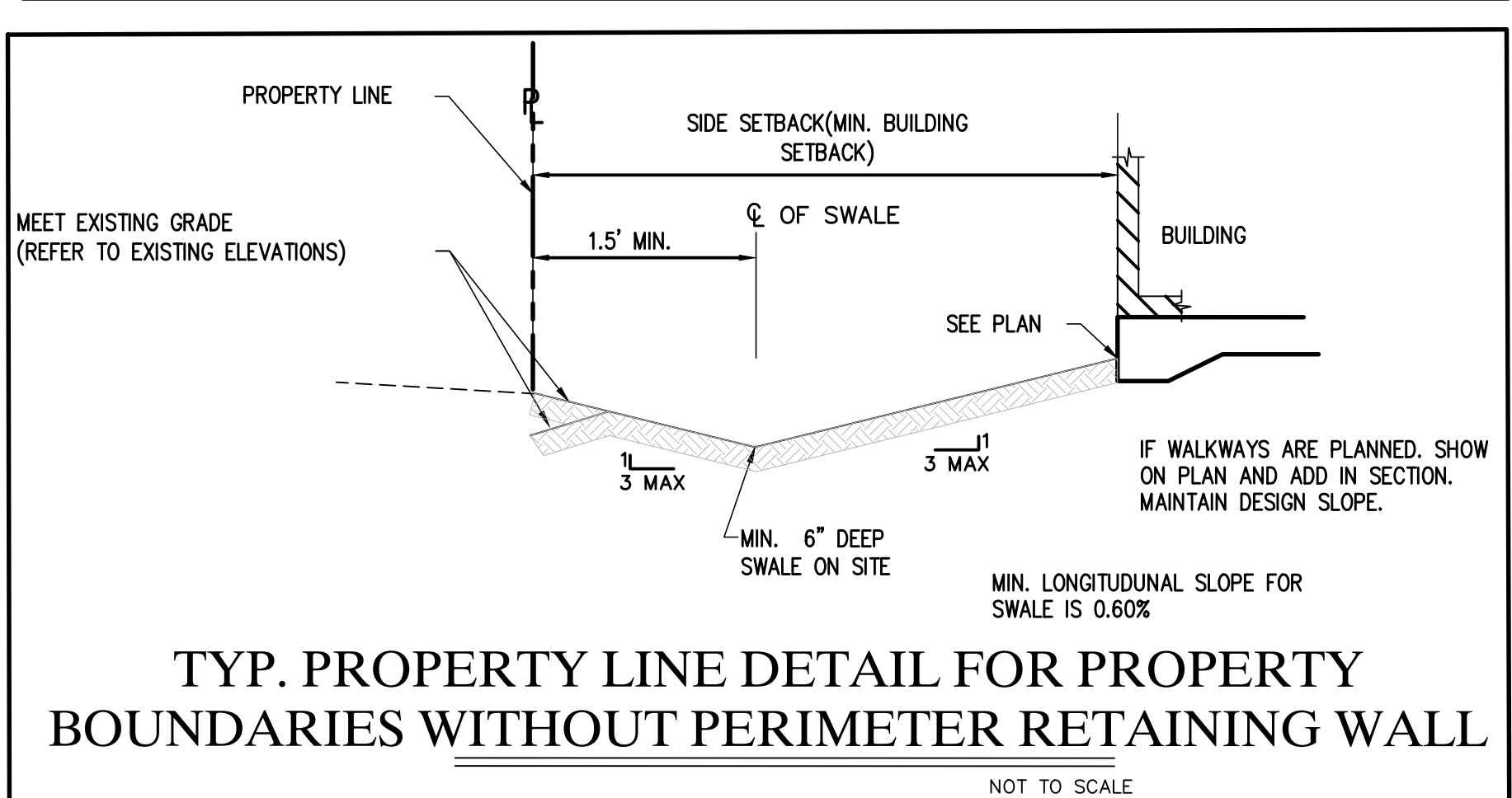
**TYPICAL WATER SERVICE INSTALLATION**

EFF. DATE: 04/21  
 PAGE NUMBER: W-10



**TYP. PROPERTY LINE DETAIL FOR PROPERTY BOUNDARIES WITH PERIMETER RETAINING WALL**

NOT TO SCALE



**TYP. PROPERTY LINE DETAIL FOR PROPERTY BOUNDARIES WITHOUT PERIMETER RETAINING WALL**

NOT TO SCALE

REV.	PER TOWN COMMENTS	DATE	BY
11/26/24	JRH		
11/12/24	JRH		

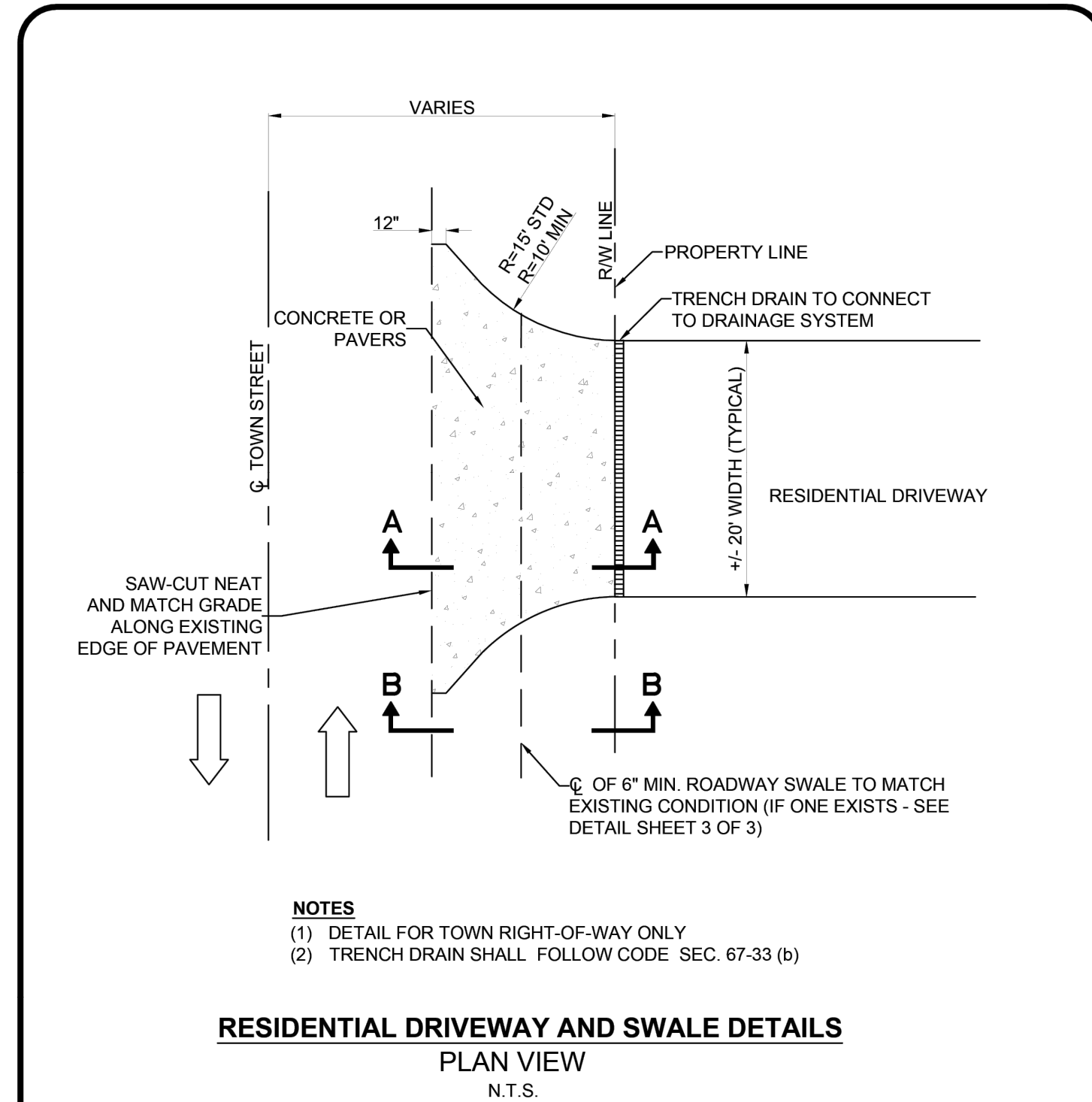
**CAULFIELD & WHEELER, INC.**  
 CIVIL ENGINEERING  
 LANDSCAPE ARCHITECTURE - SURVEYING  
 7900 GLADES ROAD - SUITE 100  
 BOCA RATON, FLORIDA 33434  
 PHONE (561) 392-1991 / FAX (561) 750-1452

PAVING, GRADING & DRAINAGE DETAILS  
 44 BIMINI COVE DRIVE  
 OCEAN RIDGE, FL 33435

DATE	10/11/24
DRAWN BY	JRH
F.B./ PG.	----
SCALE	N.T.S.

MATTHEW V. KAHN  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 82227  
 STATE OF FLORIDA  
 - FOR THE FIRM -  
 DATE

JOB #	11007
SHT. NO.	2
OF 4 SHEETS	



- NOTES**
- (1) DETAIL FOR TOWN RIGHT-OF-WAY ONLY
  - (2) TRENCH DRAIN SHALL FOLLOW CODE SEC. 67-33 (b)

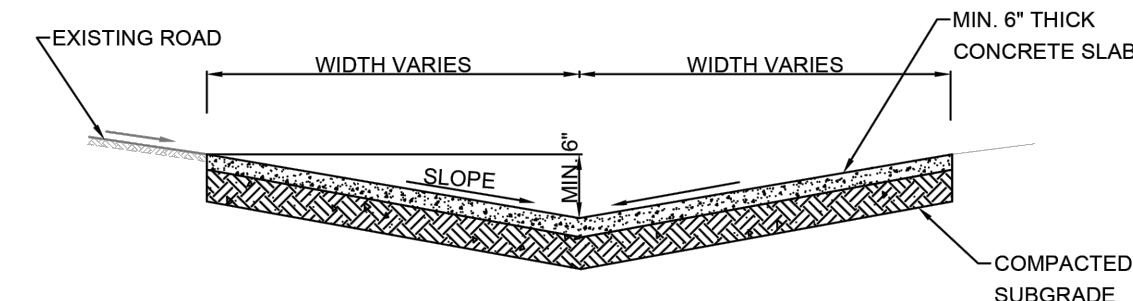
**RESIDENTIAL DRIVEWAY AND SWALE DETAILS**  
PLAN VIEW  
N.T.S.

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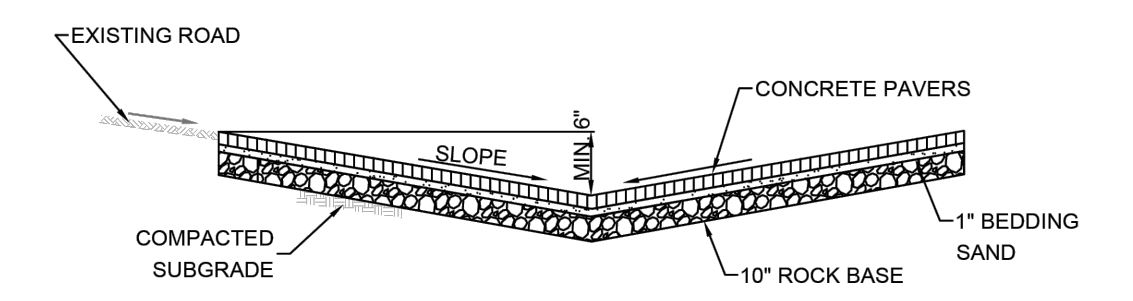
**TOWN OF OCEAN RIDGE - DRIVEWAY AND SWALE DETAILS**

DATE: SEPT. 2021	<p>A Higher Standard of Excellence ENGINEERS • SURVEYORS • GIS SPECIALISTS 1500 N. Congress Ave. 8th Fl. West Palm Beach, Florida 33409 PH (561)655-1151 • FAX (561)652-4300 • WWW.ENGENUITYGROUP.COM</p>	SCALE: N.T.S.	SHEET: 1 / 3
PROJECT ENGINEER: ETLB		DRAWN BY: LAT	JOB No. 00020.10
CHECKED BY: LAT			
CHECKED BY:			

J:\Land Projects R2\00020.10 TOWN DETAILS\2021 09 TOR DETAIL 1-PLAN VIEW.dwg DATE: 9/17/2021 12:56 PM



- CONCRETE NOTES**
- (1) SUBGRADE SHALL BE THOROUGHLY COMPACTED BY MECHANICAL TAMP TO AT LEAST 98% OF THE MAXIMUM DENSITY PER A.A.S.H.T.O. T-180.
  - (2) SEE PLAN FOR SLOPE AND WIDTH INFORMATION
  - (3) SEE DRIVEWAY AND SWALE DETAILS, DETAIL SHEET 3 OF 3.
  - (4) INVERT OF SWALE MIN. 6" BELOW OF PAVEMENT



- PAVER NOTES**
- (1) APPLICANT TO PROVIDE PAVER DESIGN AT TIME OF BUILDING PERMIT.
  - (2) PRIOR TO INSTALLATION, APPLICANT TO CHECK SUBSURFACE FOR ORGANICS WHICH COULD COMPRESS AFTER INSTALLATION.
  - (3) INVERT OF SWALE MIN. 6" BELOW EDGE OF PAVEMENT

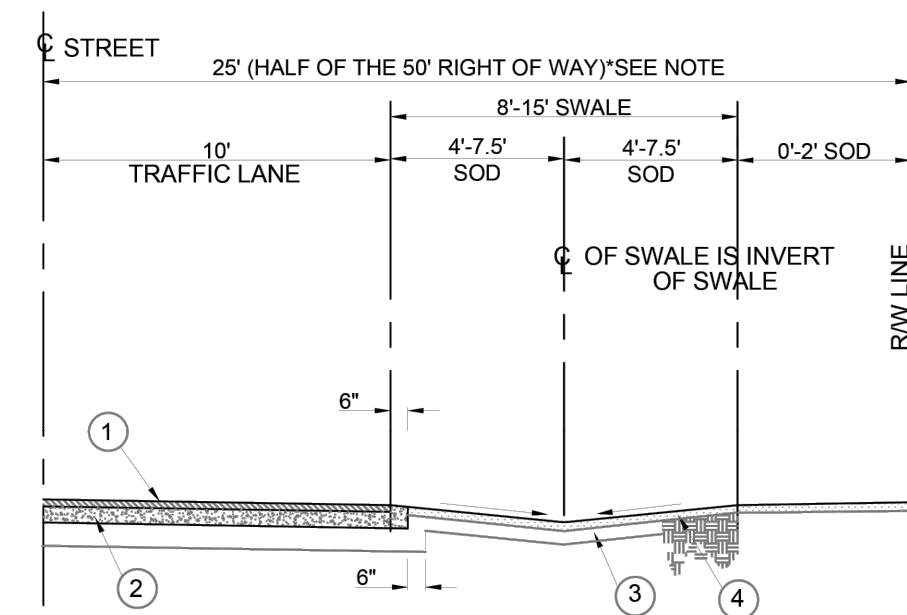
**SECTION A-A**  
DRIVEWAY CROSS SECTION  
N.T.S.

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**TOWN OF OCEAN RIDGE - DRIVEWAY AND SWALE DETAILS**

DATE: SEPT. 2021	<p>A Higher Standard of Excellence ENGINEERS • SURVEYORS • GIS SPECIALISTS 1500 N. Congress Ave. 8th Fl. West Palm Beach, Florida 33409 PH (561)655-1151 • FAX (561)652-4300 • WWW.ENGENUITYGROUP.COM</p>	SCALE: N.T.S.	SHEET: 2 / 3
PROJECT ENGINEER: ETLB		DRAWN BY: LAT	JOB No. 00020.10
CHECKED BY: LAT			
CHECKED BY:			

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- NOTES**
- (1) 1 1/2" THICK, TYPE S-1 ASPHALTIC CONCRETE SURFACE COURSE
  - (2) BASE SHALL BE 8" MINIMUM THICKNESS. ALL NEW BASE MATERIAL SHALL BE 16" OF LIMEROCK OR 8" LIMEROCK BASE OVER 12" OF STABILIZED SUBGRADE.
  - (3) STABILIZED SHOULDER IS 8" WIDE AND 6" THICK. STABILIZE TO A FLORIDA BEARING VALUE OF AT LEAST 50 P.S.I. AND COMPACT TO AT LEAST 98% OF THE MAXIMUM DENSITY DETERMINED BY A.A.S.H.T.O. T-180.
  - (4) SWALE IS TO BE GRASSED WITH SOD.
  - (5) WHERE DRIVEWAYS INTERSECT SWALES, DRIVEWAYS SHALL CONFORM TO THE EXISTING SWALE SECTION.

\*NOTE: RIGHT-OF-WAY WIDTHS VARY THROUGHOUT THE TOWN.

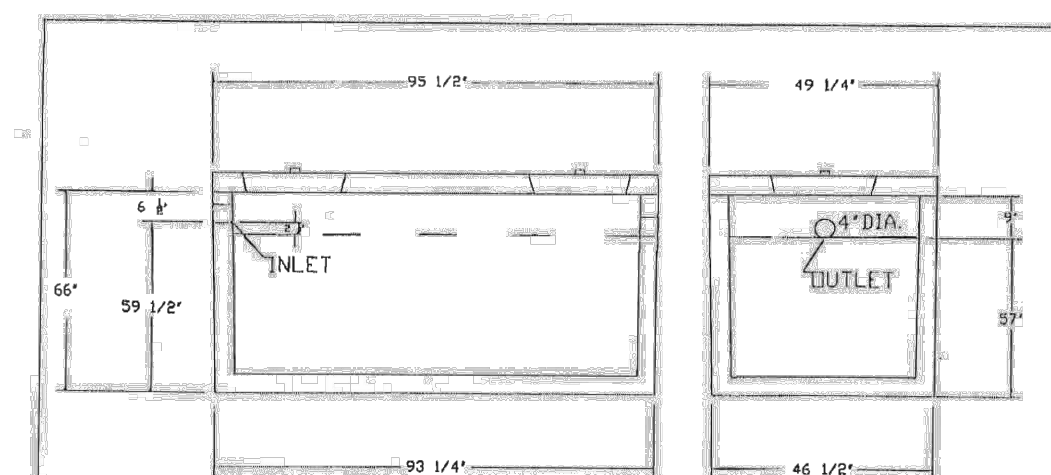
**SECTION B-B**  
TYPICAL SWALE AND STREET CROSS SECTION 50' ROW  
N.T.S.

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**TOWN OF OCEAN RIDGE - DRIVEWAY AND SWALE DETAILS**

DATE: SEPT. 2021	<p>A Higher Standard of Excellence ENGINEERS • SURVEYORS • GIS SPECIALISTS 1500 N. Congress Ave. 8th Fl. West Palm Beach, FL 33409 PH (561)655-1151 • FAX (561)652-4300 • WWW.ENGENUITYGROUP.COM</p>	SCALE: N.T.S.	SHEET: 3 / 3
PROJECT ENGINEER: ETLB		DRAWN BY: LAT	JOB No. 00020.10
CHECKED BY: LAT			
CHECKED BY:			

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- SIDE VIEW** **END VIEW**
- TANK: CATEGORY 4 4" DIA. ON-1 COMPARTMENT TANK REINFORCED WITH 10# REBAR 12" OC BOTH WAYS, 4" WALLS AND 4" BOTTOM. INLET AND OUTLET RESILIENT CONNECTORS PER ASTM A937-01. CONNECTORS MUST BE USED WITH APPROVED CLAMP. CONNECTOR WILL ACCEPT 4" PVC PIPE.
- LIBS: 4" LID WITH 1.25" ROUND MANHOLE COVER AT EACH END OF TANK. 8" LID WITH 1.25" ROUND MANHOLE COVER AT EACH END OF TANK. LID IS REINFORCED WITH GRADE 60 REBAR.
- TANK & LIBS: 6000 PSI CONCRETE AT 28 DAYS
- IMPRINTED ON INLET END OF TANK
- LEGEND: P31 158 STATE APPROVAL NUMBER: 01-011-023-C4
- WEIGHTS: TANK ONLY 8,830  
TANK & 4" LID 8,360  
TANK & 8" LID 9,500
- THIS TANK IS RATED FOR H-20 LOADING WHEN USED WITH 8" TRAFFIC LID AND TANK BURIAL DEPTH IS AT LEAST 18" BELOW GROUND SURFACE
- THIS TANK COMPLIES WITH SECTION 1005.5.1 OF THE 2001 FLORIDA PLUMBING CODE
- INTERCEPTOR CAPACITY PER SECTION 1005.5.1 IS SITE SPECIFIC.
- THIS SEWAGE TREATMENT RECEPTACLE HAS BEEN DESIGNED, CONSTRUCTED AND STRUCTURALLY TESTED IN ACCORDANCE WITH CHAPTER 46C-031, FLORIDA ADMINISTRATIVE CODE, (FAC) DATED MARCH 22, 2009

**DRAWING NOT TO SCALE**

<b>FLORIDA SEPTIC, INC</b> P.O. BOX 545 HAWTHORNE, FLORIDA 32640 (904) 948-8265	MODEL: 4' 750 GAL. TANK REVISED: 05/07/2011 APPROVAL DATE: 03/31/2001
--	---

REV. PER TOWN COMMENTS	11/26/24	JRH
REV. PER TOWN COMMENTS	11/12/24	JRH
REVISIONS	DATE	BY
FILE NAME: T10DTE01.dwg		

**CAULFIELD & WHEELER, INC.**  
CIVIL ENGINEERING  
LANDSCAPE ARCHITECTURE - SURVEYING  
7900 GLADES ROAD - SUITE 100  
BOCA RATON, FLORIDA 33434  
PHONE (561)-392-1191 / FAX (561)-750-1452

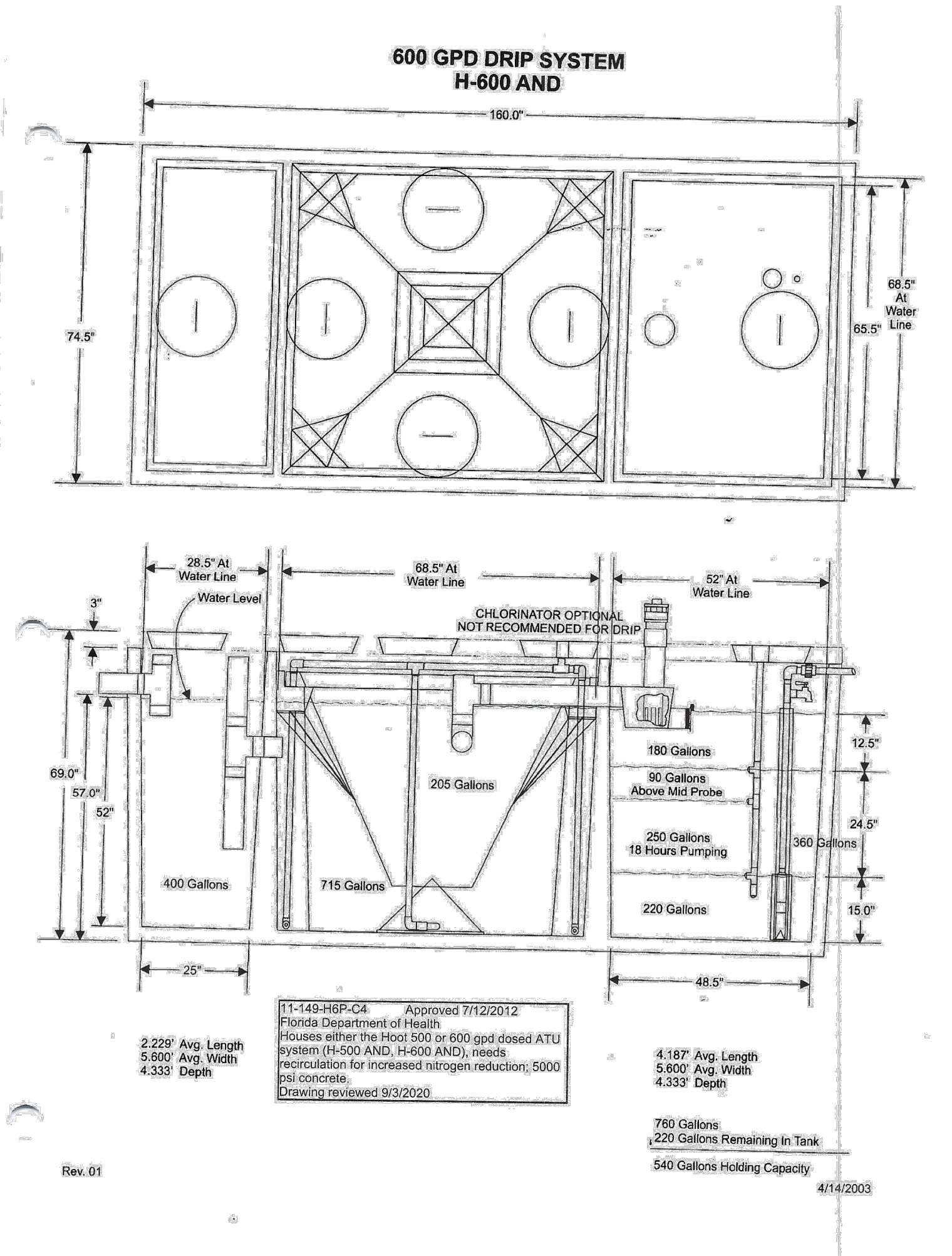
PAVING, GRADING & DRAINAGE DETAILS  
44 BIMINI COVE DRIVE  
OCEAN RIDGE, FL 33435

DATE	10/11/24
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SCALE	N.T.S.

MATTHEW V. KAHN  
PROFESSIONAL ENGINEER  
LICENSE NO. 82227  
STATE OF FLORIDA  
- FOR THE FIRM -  
DATE

JOB # 11007
SHT. NO. 3
OF 4 SHEETS

600 GPD PUMPED DISCHARGE SYSTEM  
HOOT TANK(H-600AND) (11-149-H6P-C4)



GENERAL NOTES

- CONTRACTOR TO CONFIRM WATER LINES. SYSTEMS SHALL NOT BE LOCATED WITHIN 10 FEET OF WATER STORAGE TANKS IN CONTACT WITH THE GROUND OR POTABLE WATER LINES UNLESS SUCH LINES ARE SEALED WITH A WATER PROOF SEALANT WITHIN A SLEEVE OF SIMILAR MATERIAL PIPE TO A DISTANCE OF AT LEAST 10 FEET FROM THE NEAREST PORTION OF THE SYSTEM OR THE WATER LINES THEMSELVES CONSIST OF SCHEDULE 40 PVC OR STRONGER.(62-6.005(b))
- POTABLE WATER LINES WITHIN 5 FEET OF THE DRAINFIELD SHALL NOT BE LOCATED WITHIN 24 INCHES OF THE ONSITE SEWAGE TREATMENT & DISPOSAL SYSTEM. (62-6.005(c))
- NON-POTABLE WATER LINES SHALL NOT BE LOCATED WITHIN 24 INCHES OF THE SYSTEM WITHOUT BACKFLOW DEVICES PER SECTION 381.006(2)(3), BEING INSTALLED ON THE WATER LINE TO PRECLUDE CONTAMINATION OF THE WATER SYSTEM.

CONTINGENCY PLAN

- IF PROBLEMS OCCUR DURING DAILY OPERATIONS THE FOLLOWING LIST SHALL BE IMPLEMENTED TO ASSURE PROPER FUNCTION OF SYSTEM:
- WATER USE WILL IMMEDIATELY BE RESTRICTED TO MINIMUM USAGE.
  - CONTACT MAINTENANCE ENTITY TO INFORM THEM THE PROBLEM.
  - SYSTEM SHALL BE INSPECTED BY MAINTENANCE ENTITY AND ALL TANKS SHALL BE PUMPED, IF NECESSARY, THE SEPTIC TANK WILL BE PUMPED BY A LICENSED TANK PUMPING CONTRACTOR, AS NEEDED, AND THE SEPTAGE TAKEN TO A LICENSED DISPOSAL FACILITY.
  - IF PROBLEMS PERSIST AFTER THE SYSTEM IS INSPECTED, A REPAIR PERMIT SHALL BE OBTAINED FROM THE PALM BEACH COUNTY HEALTH DEPARTMENT BEFORE ANY OPERATION ON DRAINFIELD IS EXECUTED.
  - DURING THE PERIOD BETWEEN THE START OF THE PROBLEM, APPLYING FOR THE REPAIR PERMIT AND INSTALLATION OF A NEW DRAINFIELD, THE TANK SHALL BE PUMPED WHEN NECESSARY TO PREVENT AN ENVIRONMENTAL HAZARD.
  - EACH COMPONENT OF THIS TREATMENT/PURIFICATION AND EFFLUENT DISPOSAL SYSTEM WILL BE EXAMINED FOR ITS CONTRIBUTION TO THE SYSTEM FAILURE.
  - THE COMPONENT(S) THAT CONTRIBUTE TO FAILURE WILL BE REPAIRED OR REPLACED UNTIL SYSTEM OPERATION CAN BE RESTORED.
  - SYSTEM ELEMENTS WILL BE REPLACED UNTIL THE CAUSE OF FAILURE IS ISOLATED AND CORRECTED.
  - WITH PROPER INSPECTIONS AND MAINTENANCE, SYSTEM FAILURE SHOULD BE LIMITED TO MINOR COMPONENT FAILURE, AND NOT OVERALL SYSTEM FAILURE. MECHANICAL AND ELECTRICAL COMPONENTS WILL BE REPLACED AS NEEDED.
  - PHYSICAL COMPONENTS SUCH AS PIPES, TANKS AND FILTERS WILL BE INSPECTED AND CLEANED OR REPLACED AS NEEDED.
  - HOOT AEROBIC TREATMENT UNIT REQUIRES 230 VOLT, 30 AM SINGLE PHASE MINIMUM POWER SOURCE. ELECTRICAL COMPONENTS SHALL BE PROVIDED BY A LICENSED ELECTRICIAN.
  - ALL OPERATION AND MAINTENANCE MANUALS SHALL BE PROVIDED TO THE INSTALLERS AND THE LICENSED MAINTENANCE ENTITY.
  - ALL COMPONENTS OF THE HOOT AEROBIC TREATMENT SYSTEM AND SUBSISTING DRIP IRRIGATION SYSTEM TO BE SUPPLIED BY GEORGE W. SHEPARD & SONS, INC., P.O. BOX 202, NAPLES, FL 34106 PHONE (239)261-0607

FIELD FLUSHING & CLEANING NOTES

- FIELD FLUSHING AND FILTER CLEANING SHOULD BE DONE SEVERAL TIMES PER YEAR BASED ON AGREEMENT BETWEEN THE OWNER AND THE REGISTERED MAINTENANCE ENTITY.
- FIELD FLUSHING IS ACCOMPLISHED BY OPENING THE FLUSH LINE FROM THE DRIP FIELD TO THE PRETREATMENT TANK. IN THIS PROCESS, THE VELOCITY AFTER MOVING THROUGH THE TUBING MUST BE AT LEAST 2 FEET PER SECOND.
- FILTER CLEANING IS ACCOMPLISHED BY USING WATER UNDER PRESSURE TO WASH THE SURFACE OF EACH FILTER.
- FIELD FLUSHING LINE SHALL BE TERMINATED AT THE FRONT END OF THE PRETREATMENT TANK. IF DISINFECTION IS UTILIZED ON THE SYSTEM, THE FIELD FLUSHING LINE MUST RETURN TO THE PUMP TANK, OR THE SYSTEM WILL BE DISRUPTED BY THE DISINFECTION AGENTS.
- THE FIELD FLUSHING LINE SHALL BE PROVIDED WITH A MANUAL OR ELECTRIC VALVE TO ENABLE FLOW ONLY DURING THE FIELD FLUSHING.

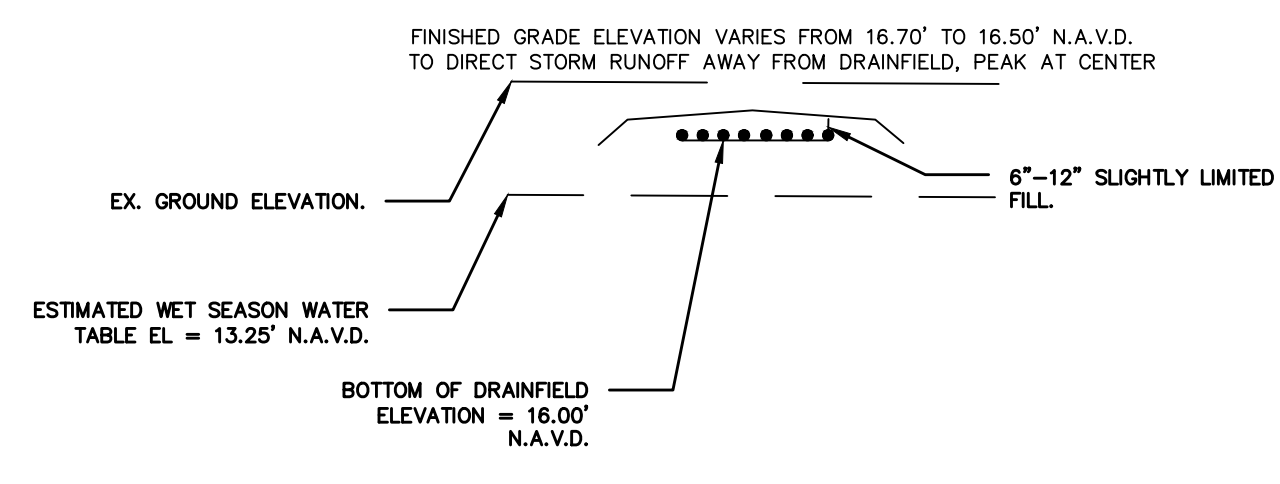
SEPTIC SYSTEM DESIGN NOTES

- CONTRACTOR TO FIELD LOCATE ANY UNDERGROUND UTILITIES, CABLES, ETC., PRIOR TO CONSTRUCTION AND REPAIR OF ANY OF THE SAME DAMAGED DURING CONSTRUCTION.
- SEED, SOIL, MULCH, OR OTHERWISE STABILIZE ALL DISTURBED AREAS AFTER CONSTRUCTION.
- BI-ANNUAL MAINTENANCE IS REQUIRED. THIS MAINTENANCE SHALL BE PROVIDED BY A CERTIFIED MAINTENANCE PROFESSIONAL. VISUAL INSPECTION OF THE GROUND SURFACE ABOVE THE EMITTER LINES IS REQUIRED FOR EVIDENCE OF SOIL SATURATION AT THE GROUND SURFACE.
- SEPTIC TANK TO BE FITTED WITH APPROVED TRAFFIC BEARING TOP AND MANHOLE COVERS IN ANY LOCATION WHERE THE TANK WILL BE UNDER VEHICLE LOADS.
- SEPTIC TANK TO BE PUMPED ONCE EVERY TWO YEARS (MINIMUM) TO REMOVE SOLIDS.
- ALL SEPTIC SYSTEM CONSTRUCTION TO BE IN ACCORDANCE WITH 62-6 F.A.C.
- A COPY OF THE DESIGN MAINTENANCE AGREEMENT IS REQUIRED BEFORE FINAL APPROVAL BY THE HEALTH DEPARTMENT.
- AN ANNUAL OPERATING PERMIT MUST BE OBTAINED FROM HEALTH DEPARTMENT PRIOR TO FINAL SYSTEM APPROVAL.

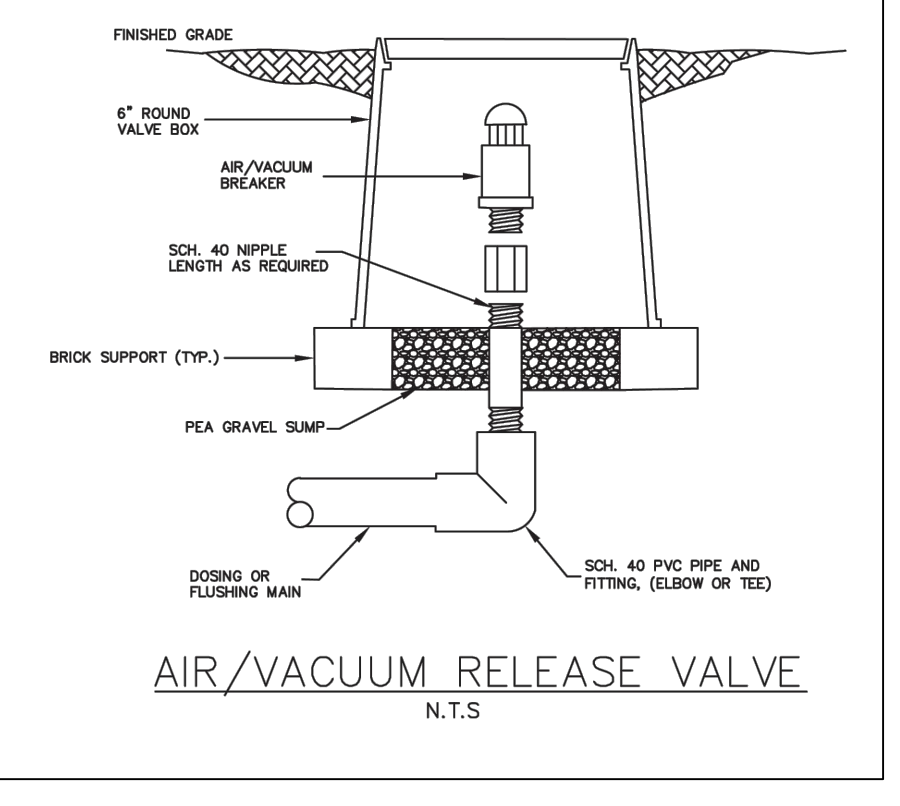
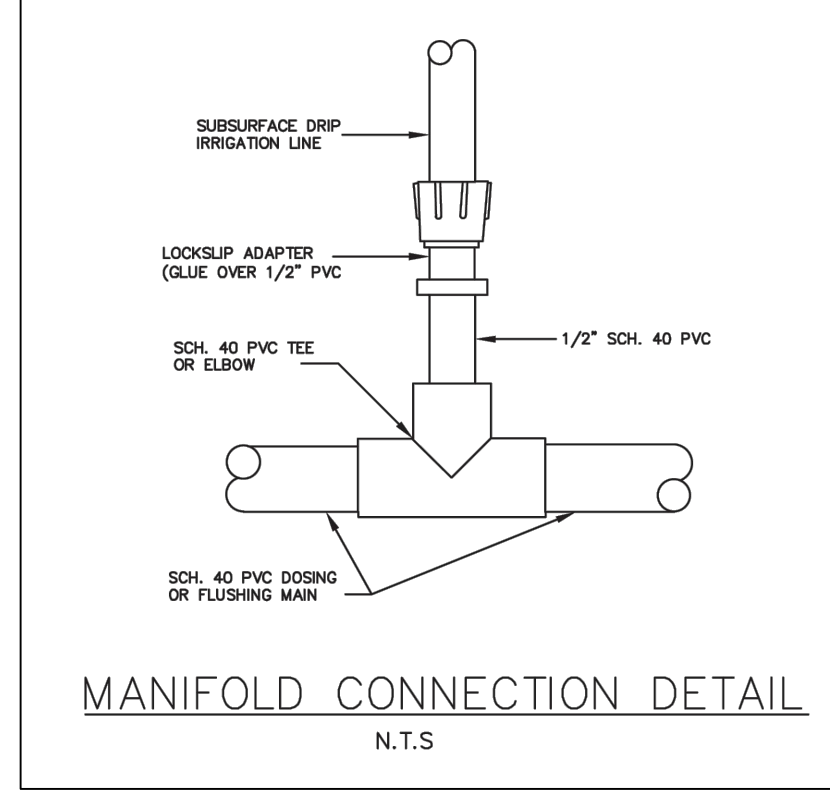
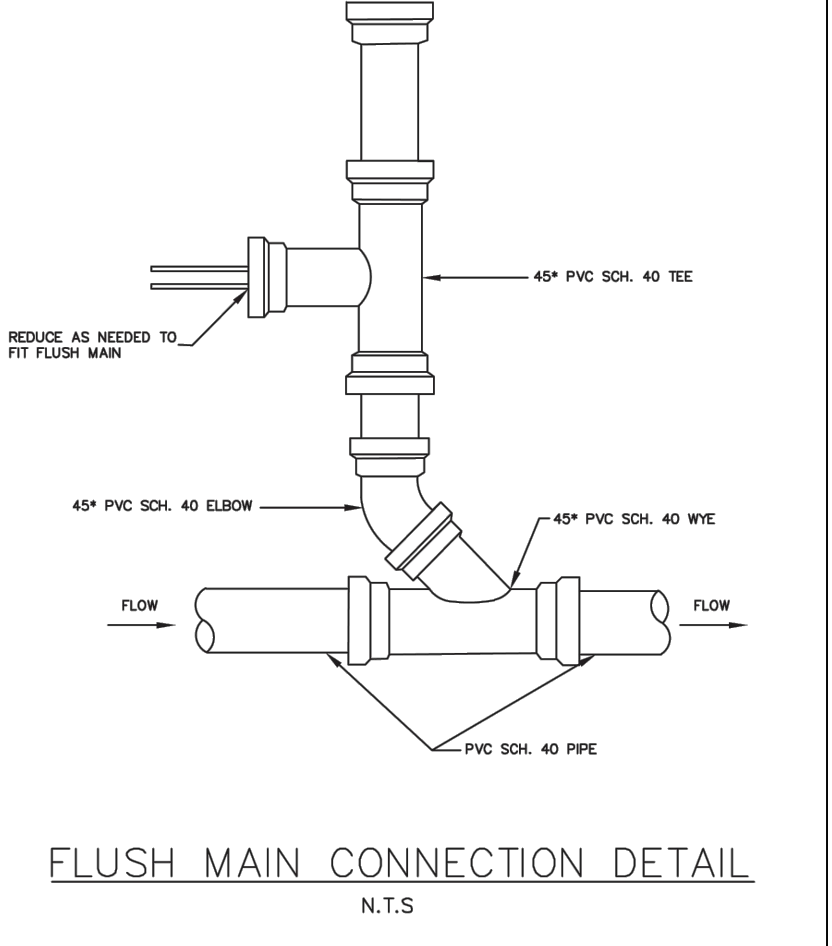
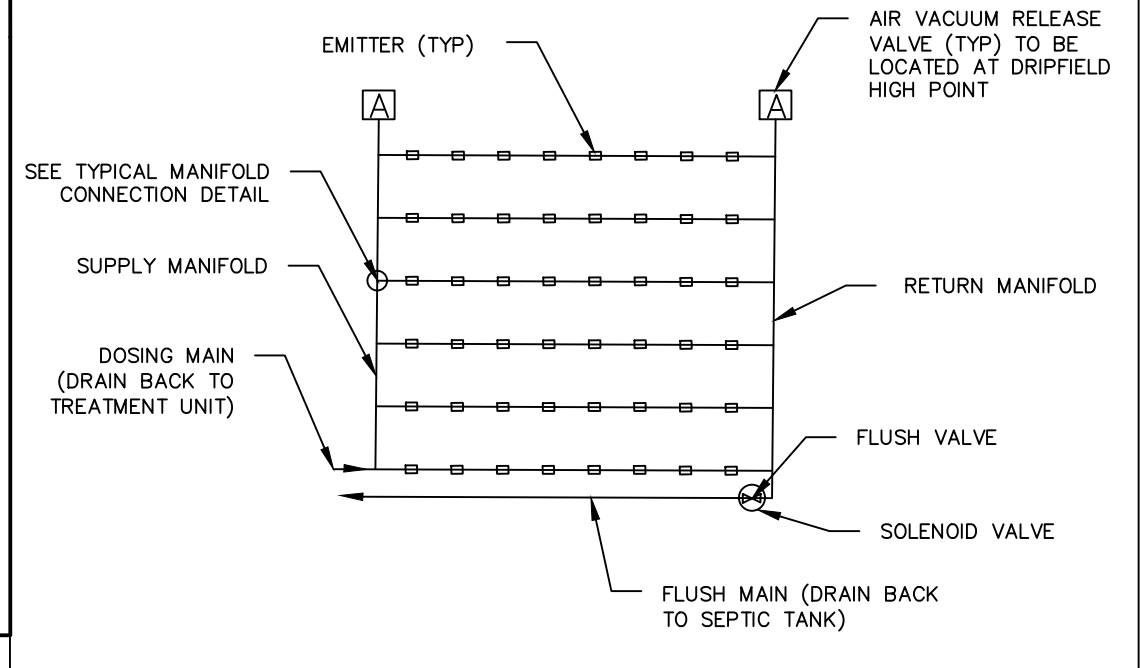
DRIP IRRIGATION INSTALLATION NOTES

- METHOD OF INSTALLING DRIP TUBING:
- REMOVE ORGANIC LAYER OR 0-HORIZON FROM BENEATH AREA OF PROPOSED DRIP FIELD TO LIGHT-COLORED SUITABLE SOIL LAYER, PROVIDING A MINIMUM OF 42 INCHES OF EFFECTIVE SOIL DEPTH BELOW EACH EMITTER.
  - ADD SUITABLE SOIL TO ELEVATION OF PROPOSED BOTTOM OF DRAINFIELD.
  - LAY DRIP TUBING 12 INCHES BELOW FINAL GRADE, TAKING CARE TO EXCLUDE EXCESSIVE SOIL AND PVC FLASHING FROM THE INSIDE OF THE TUBING. A SYSTEM WILL BE FLUSHED THEN PRESSURIZED AND TESTED FOR LEAKING PATTERNS.
  - DRIP IRRIGATION SYSTEMS SHALL MEET ALL SETBACKS REQUIRED PER THE STATE OF FLORIDA DEPARTMENT OF HEALTH EXCEPT FOR THE FOLLOWING: SETBACK FROM DRIP EMITTER LINES TO BUILDING FOUNDATIONS AND PROPERTY LINES SHALL BE NO LESS THAN 2 FEET.
  - FOR MOUND SYSTEMS THERE SHALL BE A MINIMUM 18-INCH SEPARATION BETWEEN THE SHOULDER OF THE FILL AND THE NEAREST DRIP EMITTER LINE.

TYPICAL DRIP FIELD DETAIL



TYPICAL DRIP IRRIGATION FIELD LAYOUT

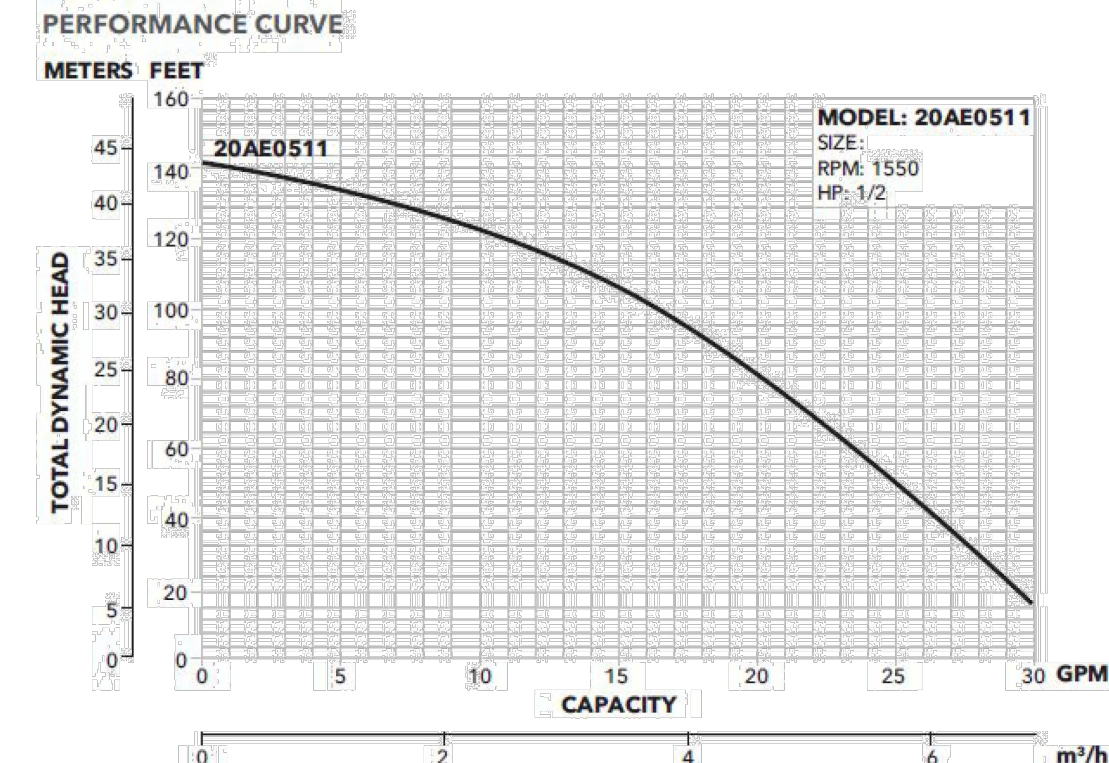


DRIP IRRIGATION SYSTEM CALCULATIONS

ESTIMATED FLOW:  
A/C FLOOR AREA = 5,448 S.F.  
TOTAL NUMBER OF BEDROOMS = 5 BEDROOMS  
PER THE AVERAGE ANNUAL WATER USE DATA FOR THE SUBJECT PROPERTY.  
THE MINIMUM REQUIRED TREATMENT CAPACITY = 580 G.P.D. (PER TABLE I - AEROBIC SYSTEMS 62-6)

DRIP IRRIGATION DISPOSAL FIELD SIZE:  
LOADING RATE : 0.80 G.P.D./S.F.  
SYSTEM REDUCTION : 40%  
((580 G.P.D./0.8 G.P.D./S.F.) \* 60%) = 435 S.F.  
DRIP IRRIGATION DISPOSAL FIELD SIZE REQUIRED = 435 S.F.  
DRIP IRRIGATION DISPOSAL FIELD SIZE PROVIDED = 437 S.F.  
FACTOR OF SAFETY FOR UNOBSTRUCTED AREA (TOTAL) DRIPFIELD AREA= 1.5 X 435 SF= 653 SF  
UNOBSTRUCTED AREA REQUIRED = 653 S.F.  
UNOBSTRUCTED AREA PROVIDED = 656 S.F.

ATU TANK FLOATATION:  
PROPOSED FLOTATION MITIGATION OF SEPTIC TANK  
ESTIMATED WET SEASON WATER TABLE=1.50'  
CALCULATED TANK DEPTH INTO WET SEASON WATER TABLE= 1.5' - (-2.55') = 4.05' SUBMERGED  
TANK BUOYANCY FOR TANK (600 GALLON)  
WEIGHT OF 600 GALLON TANK (EMPTY) WITH AN 8' LID= 19,000 LBS  
SOIL VOLUME ABOVE THE SEPTIC TANK LID TO GRADE= 1.5' \* 13.33' \* 6.20= 124 FT<sup>3</sup>  
SOIL DOWNWARD FORCE=124FT<sup>3</sup> \* 100LBS/FT<sup>3</sup>= 12,400 LBS  
TOTAL DOWNWARD FORCE= 31,400 LBS  
UPWARD FORCE= ESTIMATED WET SEASON WATER TABLE-BOTTOM OF SEPTIC TANK\*SEPTIC TANK LENGTH\*SEPTIC TANK WIDTH\*62.4LB/FT<sup>3</sup>  
UPWARD FORCE= 20,886.29 LBS  
FACTOR OF SAFETY FOR UPWARD FORCE= 20,886 LBS\*1.1= 22,975 LBS  
UPWARD FORCE-DOWNWARD FORCE



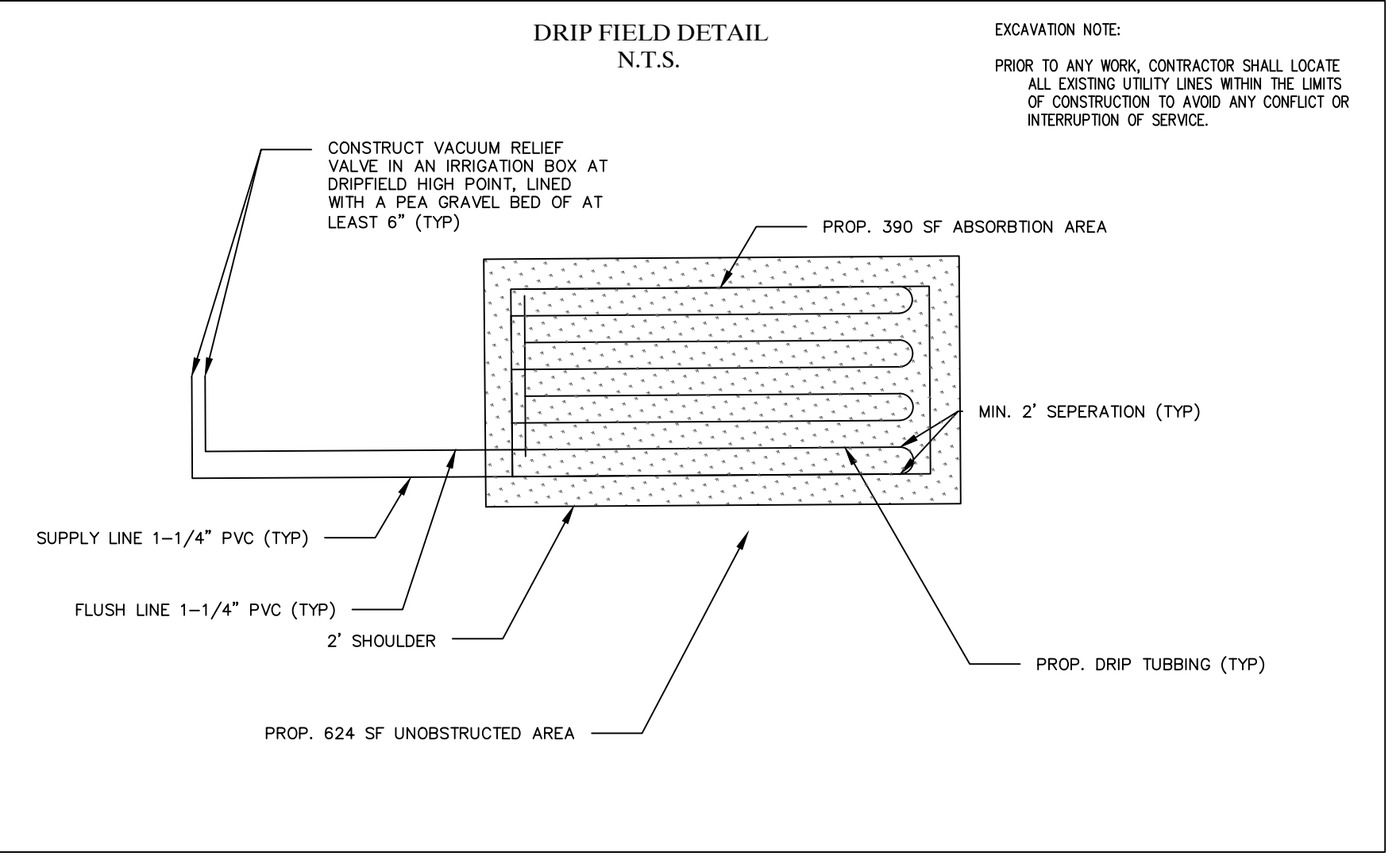
THE HOOT AEROBIC TREATMENT SYSTEM

- AERATION CHAMBER- WHERE AIR IS INTRODUCED INTO SEWAGE FOR DIGESTION.
- CLARIFIER- A STILL CHAMBER WHERE SOLIDS SETTLE OUT AND THE CLEAR EFFLUENT RISES.
- TROY AIR LINEAR AIR BLOWER- LONG LIFE, EFFICIENT LINEAR BLOWER WHICH COMPRESSES ATMOSPHERIC AIR AND UNDER PRESSURE DELIVERS IT TO THE TANK. MAY BE REMOTELY MOUNTED UP TO 50' FROM SYSTEM. MUST MAINTAIN 1/8\"/>

GENERAL CONSTRUCTION NOTES:

- ALL SEPTIC SYSTEM CONSTRUCTION TO BE IN ACCORDANCE WITH CHAPTER 62-6 - F.A.C.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD LOCATE ANY UNDERGROUND UTILITIES, CABLES, ETC. WITHIN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE, OR MAKE ARRANGEMENTS FOR RELOCATION OF ANY UTILITIES FOUND.
- THIS SEPTIC SYSTEM IS DESIGNED FOR USE WITH BIODEGRADABLE PRODUCTS ONLY. USE OF ANY OTHER PRODUCTS MAY CAUSE PREMATURE FAILURE.
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88), AND DEPARTMENT OF NATURAL RESOURCES BENCHMARK R-102.
- HOUSE FLOOR MUST BE AT AN ELEVATION TO PROVIDE GRAVITY FLOW BETWEEN HOUSE PLUMBING AND SEPTIC TANK. IF NOT FEASIBLE, DOSING TANK AND PUMP MUST BE ADDED TO SYSTEM.
- SEED AND MULCH, OR SOIL, ALL DISTURBED AREAS.
- ROOF RUN-OFF TO BE DIRECTED AWAY FROM DRAINFIELD.
- NO GUARANTEE AS TO THE FUNCTIONALITY OR THE LIFE EXPECTANCY OF THE SEPTIC SYSTEM IS WARRANTED OR IMPLIED BY THE ENGINEER.
- MATERIAL/PRODUCT DEFICIENCIES ARE THE RESPONSIBILITY OF THE MANUFACTURER/SUPPLIER. WORKMANSHIP IS THE RESPONSIBILITY OF THE INSTALLER. THE UNDERSIGNED ENGINEER DOES NOT GUARANTEE OR WARRANT EITHER OF THE ABOVE.
- SEE HOOT AEROBIC SYSTEMS, INC., DRIP DISPOSAL DESIGN & INSTALLATION GUIDE FOR PRECAUTIONS TO PREVENT THE MALFUNCTION OF THE PROPOSED SEPTIC SYSTEM.

DRIP FIELD DETAIL N.T.S.



**Netafim Bioline® Drirperline Design Recommendations - Based on Soil Loading Rate**

**General Instructions:** Fill in the violet-shaded cells. Output information will automatically be calculated and shown in blue-shaded cells. Do not attempt to enter data into the blue-shaded cells. It will erase the formula and potentially impact other output data. To save your information as a text file for future reference or submission, fill in the information in the project's name and address fields below. The name you choose for "Job Name/Homeowner" will become the name of the text file. It will be saved on your computer when you click the "Save to File" button at the bottom of the sheet. A file folder will be created for you called "Netafim" and the file will be stored there. For example, if the Job Name / Homeowner for the project is Mr. & Mrs. Jones, all of your information will be saved in a file folder called "Netafim" and the file in this folder will be called "Mr. & Mrs. Jones.txt".

**Job Name / Homeowner:** 44 Bimini Cove Dr.  
**Address:** 44 Bimini Cove Dr.  
**City, State, Zip:** Ocean Ridge, Florida  
**Permit Agency:** Palm Beach County Health Department  
**Installer Name:** TJD  
**Designed By:** JRH  
**Date:** 9/11/2014

System Data Input		Calculation Outputs	
Gallons Per Day*	580	Application Area Required (square feet)	435
	*Not incl. 40% red.	Application Area Provided (square feet)	435
Gallons Per Day*	348	Total Amount of Bioline® Required (feet)	218
	*incl. 40% red.	Total Number of Emitters in the Drifield	218
Soil Loading Rate (Gallons / Sq. Ft. / Per Day (GPD))	0.8		
Selected Emmitter Flow Rate (GPH)	0.92	<b>Zone Information</b>	
Selected Emmitter Spacing (inches)	12	Number of Zones	1
Flush Velocity (fps)	2	Amount of Bioline® Per Zone (feet)	218
		Number of Emitters Per Zone	218
		Minimum Number of Laterals Per Zone	2
		Maximum Number of Laterals Per Zone	6
		Number of Laterals That Will be Used	4
		Maximum Length of Bioline® Laterals Based on Inlet Pressure	187
		Holding Capacity of Drirperline Per Zone (Gallons)	3.3
		Additional Flow Requirement to Accommodate Flushing Velocity	6.4
		<b>Holding Capacity of Piping</b>	
		Holding Capacity (Gallons) of Supply Line & Supply Manifolds	3.4
		Holding Capacity (Gallons per Zone) of Bioline	2.9
		Holding Capacity (Gallons) of Supply Line, Manifolds and Drirperline	6.3
		<b>Head Loss Data - Dosing &amp; Flushing Cycle</b>	
		Friction Loss per 100' (gpi) in Supply Line & Manifolds	0.9
		Friction Loss in Supply Line & Supply Manifolds (gpi)	2.4
		Friction Loss in Supply Line & Supply Manifolds (Feet of Head)	0.4
		Additional Pressure Required for Return Manifolds and Piping to Tank (gpi)	6.0
		Additional Pressure Required for Return Manifolds and Piping to Tank (Feet of Head)	1.0
		TDH (Total Dynamic Head) in Feet of Head	102.9
		<b>Control Settings Information</b>	
		Total System Runtime Per Day (Minutes)	174
		Total Runtime Per Zone Per Day (Minutes)	174
		Total System Dosing Events Per Day	16
		Runtime For Each Dose (Minutes)	11
		Off Time Between Doses in the Same Zone (Hours to nearest 0.1)	1.3
		<b>Miscellaneous Information</b>	
		Dosing Volume Per Emmitter Per Dose (gallons)	0.17
		Inches Per Week of Dosing	14.97
		Volume of a Single Dose (gallons)	36.7
		<b>Pump Selection</b>	
		Pump Flow Rating (GPM)	3.7
		TDH (Total Dynamic Head in Feet of Head)	102.9
		Pump Manufacturer	Goody
		Pump Model	20AE0511

REV.	PER	TOWN	COMMENTS	DATE	BY
11/26/24	JRH				
11/12/24	JRH				

REV. PER TOWN COMMENTS  
REV. PER TOWN COMMENTS  
REVISIONS  
DATE  
BY  
FILE NAME: T1007-ENG.dwg

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UTILITY DETAILS  
44 BIMINI COVE DRIVE  
OCEAN RIDGE, FL 33435

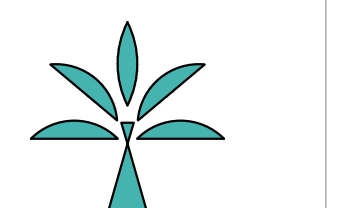
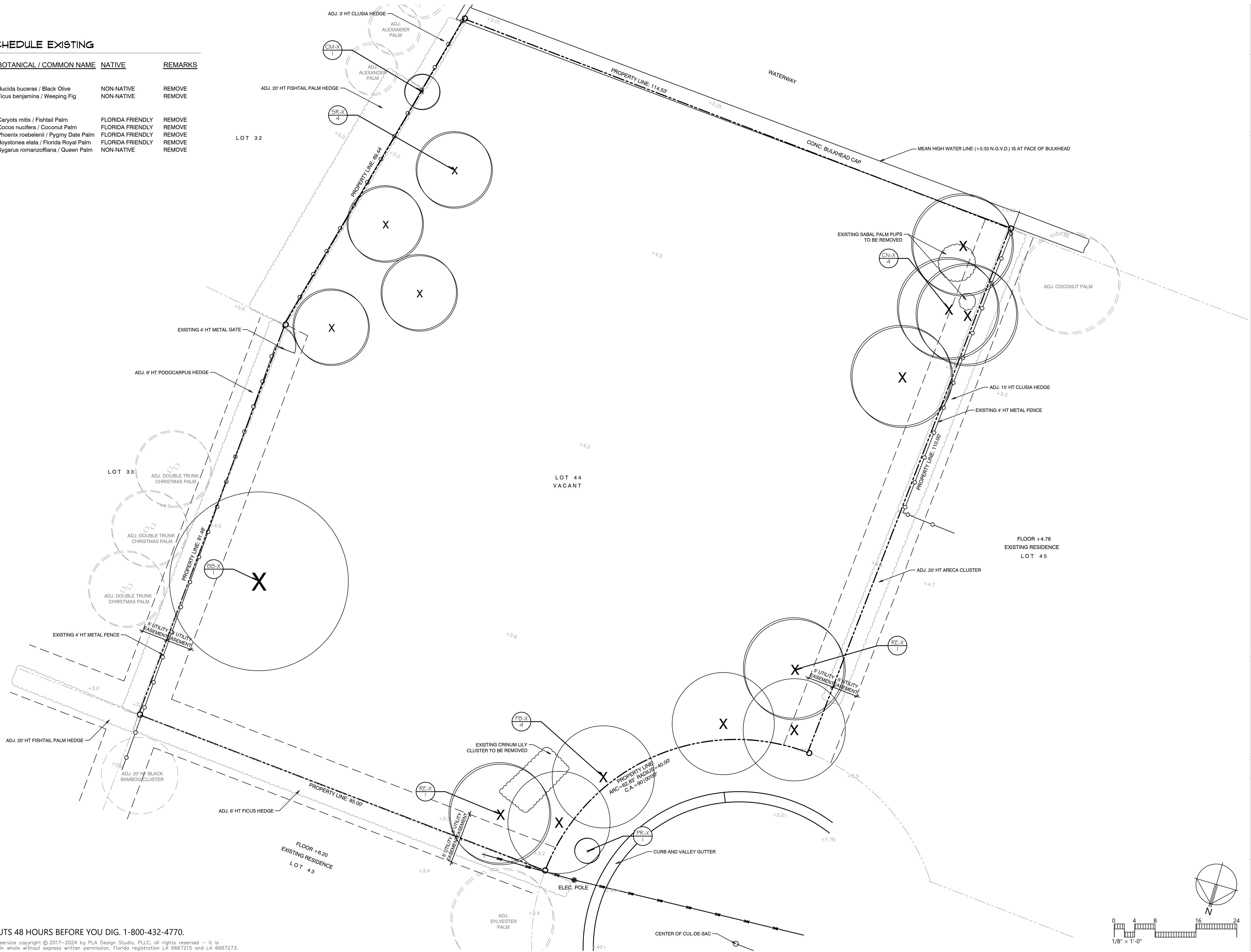
DATE 10/11/24  
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F.B./ PG. ----  
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PROFESSIONAL ENGINEER  
LICENSE NO. 82227  
STATE OF FLORIDA  
- FOR THE FIRM -  
DATE

JOB # 11007  
SHT.NO.  
4  
OF 4 SHEETS

**PLANT SCHEDULE EXISTING**

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	REMARKS
<b>TREES</b>				
BB-X	1	Bucida buceras / Black Olive	NON-NATIVE	REMOVE
FB-X	4	Ficus benjamina / Weeping Fig	NON-NATIVE	REMOVE
<b>PALM TREES</b>				
CM-X	1	Caryots mitis / Fishtail Palm	FLORIDA FRIENDLY	REMOVE
CN-X	4	Cocos nucifera / Coconut Palm	FLORIDA FRIENDLY	REMOVE
PR-X	1	Phoenix roebelenii / Pygmy Date Palm	FLORIDA FRIENDLY	REMOVE
RE-X	2	Roystonea elata / Florida Royal Palm	FLORIDA FRIENDLY	REMOVE
SR-X	4	Sygarus romanzoffiana / Queen Palm	NON-NATIVE	REMOVE



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 2. SUBMISSION 11/18/24  
 3. SUBMISSION 11/25/24  
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**44 BIMINI COVE DRIVE**  
 44 BIMINI COVE DRIVE, OCEAN RIDGE, 33435  
 SINGLE FAMILY RESIDENTIAL ZONING

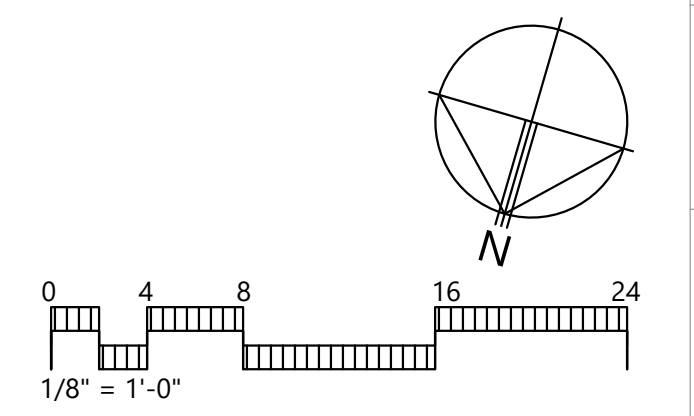
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seal  
 Stephanie Portus FL Reg LA 6667215  
 Beth Dawson FL Reg LA 6667273  
 project number 24-116  
 drawn by BD/JS  
 sheet name

**LANDSCAPE DISPOSITION**

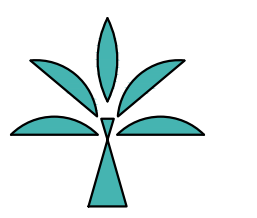
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 Beth Dawson FL Reg LA 6667273

project number  
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drawn by  
 BD/JS

sheet name

LANDSCAPE PLAN

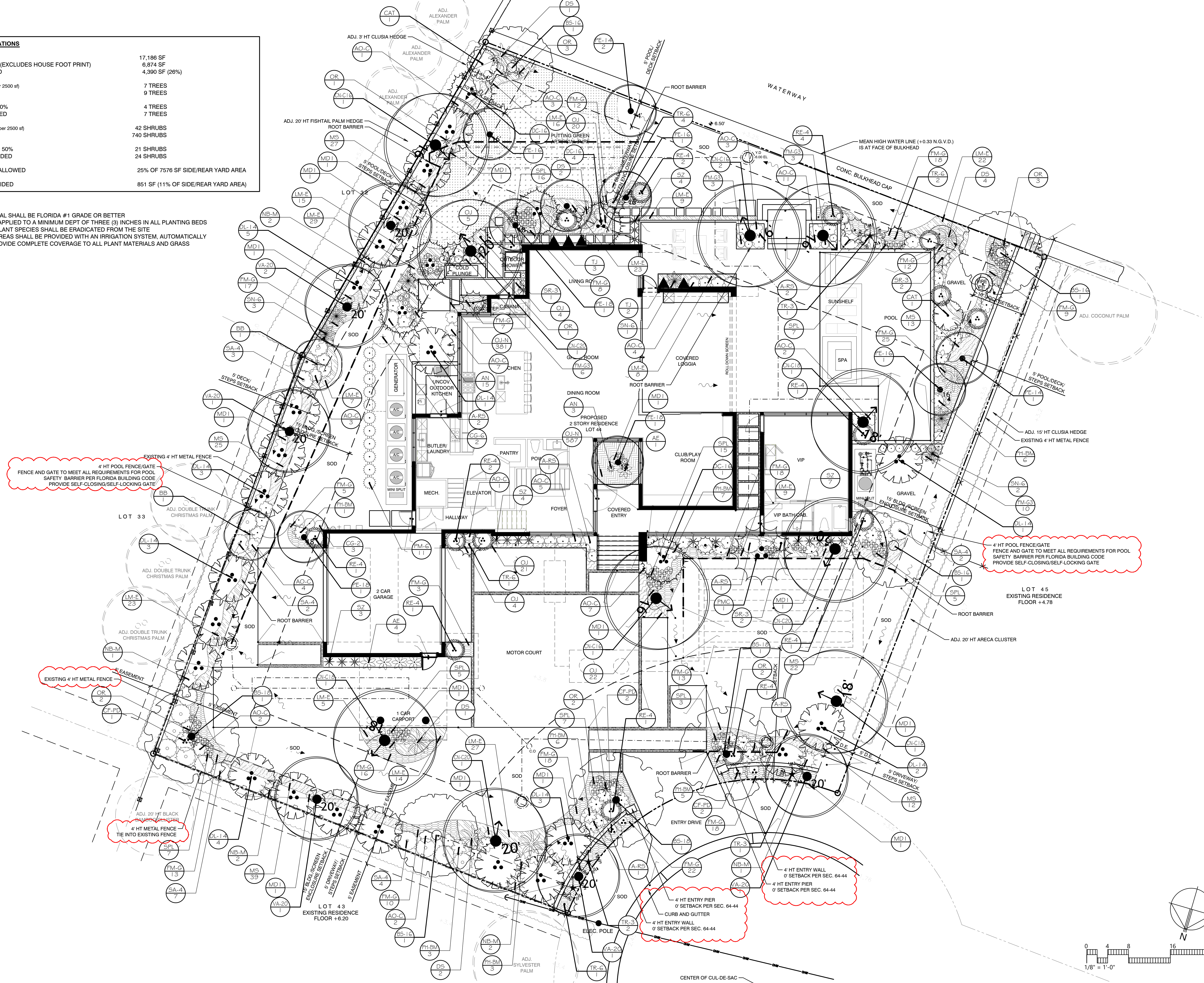
SUBMISSION  
 11/25/24

sheet number  
 L-2

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	17,186 SF
40% MAX IMPERVIOUS (EXCLUDES HOUSE FOOT PRINT)	6,874 SF
IMPERVIOUS PROVIDED	4,390 SF (26%)
TREES REQUIRED (1 per 2500 sf)	7 TREES
TREES PROVIDED	9 TREES
NATIVE TREES REQ'D 50%	4 TREES
NATIVE TREES PROVIDED	7 TREES
SHRUBS REQUIRED (6 per 2500 sf)	42 SHRUBS
SHRUBS PROVIDED	740 SHRUBS
NATIVE SHRUBS REQ'D 50%	21 SHRUBS
NATIVE SHRUBS PROVIDED	24 SHRUBS
ARTIFICIAL TURF MAX ALLOWED	25% OF 7576 SF SIDE/REAR YARD AREA
ARTIFICIAL TURF PROVIDED	851 SF (11% OF SIDE/REAR YARD AREA)

- PLEASE NOTE:
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER
  - MULCH SHALL BE APPLIED TO A MINIMUM DEPT OF THREE (3) INCHES IN ALL PLANTING BEDS
  - ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE
  - ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM, AUTOMATICALLY OPERATED, TO PROVIDE COMPLETE COVERAGE TO ALL PLANT MATERIALS AND GRASS



4' HT POOL FENCE/GATE  
 FENCE AND GATE TO MEET ALL REQUIREMENTS FOR POOL  
 SAFETY BARRIER PER FLORIDA BUILDING CODE  
 PROVIDE SELF-CLOSING/SELF-LOCKING GATE

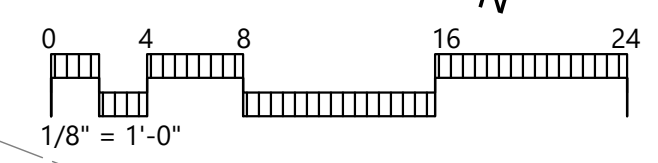
4' HT POOL FENCE/GATE  
 FENCE AND GATE TO MEET ALL REQUIREMENTS FOR POOL  
 SAFETY BARRIER PER FLORIDA BUILDING CODE  
 PROVIDE SELF-CLOSING/SELF-LOCKING GATE

EXISTING 4' HT METAL FENCE  
 EASEMENT

4' HT METAL FENCE  
 TIE INTO EXISTING FENCE

4' HT ENTRY WALL  
 0' SETBACK PER SEC. 64-44  
 4' HT ENTRY PIER  
 0' SETBACK PER SEC. 64-44

4' HT ENTRY WALL  
 0' SETBACK PER SEC. 64-44  
 4' HT ENTRY PIER  
 0' SETBACK PER SEC. 64-44



**PLANT SCHEDULE PROPOSED**

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	SPREAD	CALIPER	REMARKS
<b>TREES</b>								
BB	2	Bucida buceras `Shady Lady` / Shady Lady Black Olive	FLORIDA FRIENDLY	FIELD GROWN	16` HT	5`-6` SPD	6` CAL	GRADE #1. SINGLE LEADER. STRAIGHT TURNK. DENSE, SYMMETRICAL CANOPY.
BS-18	3	Bursera simaruba / Gumbo Limbo	NATIVE	COLLECTED	18` HT	16`-20` SPD	8` CAL	STANDARD, FULL, DENSE, SYMMETRICAL CANOPY
BS-16	4	Bursera simaruba / Gumbo Limbo	NATIVE	FIELD GROWN	16` HT	12`-14` SPD	5` CAL	GRADE #1. SINGLE LEADER. FULL DENSE SYMMETRICAL CANOPY.
<b>PALM TREES</b>								
CAT	2	Chamaedorea cataractarum / Cat Palm	NON-NATIVE	15G/17"	5` HT	4` SPD		SHADE GROWN, FULL TO BASE, GOOD COLOR
CN-C16	4	Cocos nucifera `Green Malayan` / Coconut Palm	NON-NATIVE	FIELD GROWN	16` HT	14` SPD	-	CURVED TRUNK. FULL INTACT HEAD.
CN-C18	3	Cocos nucifera `Green Malayan` / Coconut Palm	NON-NATIVE	FIELD GROWN	18` CT	16` SPD	-	CURVED TRUNK. FULL INTACT HEAD.
CN-C20	3	Cocos nucifera `Green Malayan` / Coconut Palm	NON-NATIVE	FIELD GROWN	20` CT	18` SPD	-	CURVED TRUNK. FULL INTACT HEAD.
DC-16	6	Dypsis cabadae / Cabada Palm	FLORIDA FRIENDLY	FIELD GROWN	16` HT	10` SPD	-	GRADE#1. TRIPLE. FULL HEADS. UPRIGHT GROWTH. GOOD COLOR. SUBMIT PHOTO TO LA FOR APPROVAL.
DL-14	22	Dypsis lutescens / Areca Palm	FLORIDA FRIENDLY	B&B	12`-14` HT	6`-7` SPD		DENSE FOLIAGE, MULTI, HEAVY, FULL TO BASE
PE-14	3	Ptychosperma elegans / Alexander Palm Single	FLORIDA FRIENDLY	B&B	14` HT	10` SPD	-	SINGLE. FULL HEAD. STRAIGHT, UNSCARRED TRUNK.
PE-16	3	Ptychosperma elegans / Alexander Palm Single	FLORIDA FRIENDLY	B&B	16` HT	10` SPD	-	MATCHING SINGLE. FULL HEAD. STRAIGHT, UNSCARRED TRUNK.
PE-18	3	Ptychosperma elegans / Alexander Palm Single	FLORIDA FRIENDLY	B&B	18` HT	10` SPD	-	MATCHING SINGLE. FULL HEAD. STRAIGHT, UNSCARRED TRUNK.
PMC	1	Ptychosperma macarthurii / Macarthur Palm	FLORIDA FRIENDLY	100G/36"	20` HT			MATCHING CLUMP. FULL HEADS, UNSCARRED TRUNKS. MATCHING. MIN. 5 TRUNKS-AVAILABLE FROM D`ASIGN SOURCE BOTANICALS. SUBMIT PHOTO
RE-4	14	Rhapis excelsa / Lady Palm	FLORIDA FRIENDLY	7G/14"	4` HT	3`-4` SPD	-	SHADE GROWN. LOW BRANCHING. FULL TO BASE.
TR-3	4	Thrinax radiata / Florida Thatch Palm	NATIVE	15G/17"	3`-4` HT	2`-3` SPD	-	GRADE#1. SINGLE. FULL DENSE HEAD. GOOD COLOR.
TR-6	8	Thrinax radiata / Florida Thatch Palm	NATIVE	25G/21"	6` HT	3`-4` SPD	-	GRADE#1. SINGLE. FULL DENSE HEAD. GOOD COLOR.
VA-20	6	Veitchia arcinea / Montgomery Palm Single	FLORIDA FRIENDLY	B&B	20` HT	16` SPD	-	SINGLE. FULL HEAD. STRAIGHT UNSCARRED TRUNK.

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	WIDTH	REMARKS
<b>SHRUBS</b>							
A-RS	8	Alocasia `Regal Shields` / Alocasia `Regal Shields`	NON-NATIVE	7G/14"	3`-4` HT	30` W	INTACT LEAVES, FUL POT, GOOD COLOR
AO-C	55	Alocasia odora `California` / Dwarf Elephant Ear	NON-NATIVE	3G/10"	18` HT	24` W	FULL DENSE FOLIAGE, INTACT LEAVES
AE	5	Aspidistra elatior / Cast Iron Plant	FLORIDA FRIENDLY	3G/10"	2`-3` HT	2` W	FLORIDA FANCY, SHADE GROWN. FULL POT. AVIALBLE FROM EXCELSA GARDENS
AN	18	Asplenium nidus `Osaka` / Japanese Birds Nest Fern	NON-NATIVE	3G/10"	1.5` HT	1.5` W	FULL DENSE POT. INTACT LEAVES. GOOD COLOR. SHADE GROWN.
CG-6	2	Clusia guttifera / Small-Leaf Clusia	FLORIDA FRIENDLY	25G/21"	6` HT	4` W	FULL TO BASE. LOW BRANCHING. DENSE INTACT FOLIAGE. NO VOIDS.
CG-2	3	Clusia guttifera / Small-Leaf Clusia	FLORIDA FRIENDLY	3G/10"	2` HT	2` W	FULL TO BASE. LOW BRANCHING. DENSE INTACT FOLIAGE. NO VOIDS.
CF-PD	5	Cordyline fruticosa `Pink Diamond` / Pink Diamond Ti	FLORIDA FRIENDLY	7G/14"	3`-4` HT	2`-3` W	FULL. LOW BRANCHED. INTACT LEAVES. MIN 3 PPP. GOOD COLOR.
DS	10	Dioon spinulosum / Narrow Leaf Dioon	NON-NATIVE	15G/17"	4` HT	3`-4` W	SYMMETRICAL FOLIAGE, INTACT FRONDS, GOOD COLOR.
FM-G3	22	Ficus microcarpa `Green Island` / Ficus Green Island	FLORIDA FRIENDLY	7G/14"	3` HT	18` W	FULL, DENSE FOLIAGE TO BASE, SHEAR TO 3` HT
MD1	14	Monstera deliciosa / Split-Leaf Philodendron	NON-NATIVE	3G/10"	1`-2` HT	1`-2` W	FULL DENSE FOLIAGE. INTACT LEAVES. GOOD COLOR.
NB-M	8	Nephrolepis biserrata `Macho` / Macho Fern	NATIVE	3G/10"	1`-2` HT	1`-2` W	FLORIDA FANCY. FULL. LOW BRANCHED.
OR	14	Phalaenopsis spp/ Oncidium spp / Moth and Dancing Lady Orchids	FLORIDA FRIENDLY	AIR RT PRUNING CONT			20% ONCIDIUM SPP AND 80% PHAELENOPSIS SPP MIX. ATTACH TO TREE, VERIFY COLOR WITH CLIENT
PH-BM	31	Philodendron `Burle Marx` / Burle Marx	FLORIDA FRIENDLY	3G/10"	2` HT	1.5` W	FULL POT. LOW BRANCHED. INTACT FOLIAGE. GOOD COLOR. SHADE GROWN.
PM-6	11	Podocarpus macrophyllus `Maki` / Shrubby Yew	FLORIDA FRIENDLY	25G/21"	6`-7` HT	30` W	FULL, DENSE FOLIAGE TO BASE. SHEAR TO 6` HT.
SZ	18	Sansevieria zeylanica / Mother-in-law Tongue	NON-NATIVE	7G/14"	3` HT	18` W	PARTIALLY SHADE GROWN. FULL DENSE POT. INTACT LEAVES.
SA-4	18	Schefflera arboricola / Dwarf Schefflera Green	NON-NATIVE	7G/14"	3`-4` HT	3`-4` W	GREEN-BUSH, FULL TO BASE, UPRIGHT GROWTH, NO VOIDS. GOOD COLOR
SPL	65	Spathoglottis plicata / Ground Orchid	NON-NATIVE	3G/10"	24` HT	18` W	FULL DENSE POT. INTACT LEAVES. BLOOMING
SN-6	6	Strelitzia nicotai / Giant Bird of Paradise	FLORIDA FRIENDLY	7G/14"	6`-8` HT	3`-4` W	FULL, DENSE FOLIAGE, INTACT LEAVES. 3-5 PPP
SR-3	5	Strelitzia reginae / Orange Bird of Paradise	FLORIDA FRIENDLY	7G/14"	3` HT	2`-3` W	FULL, DENSE FOLIAGE, LOW BRANCHED, INTACT LEAVES. 3-5 PPP
TJ	5	Trachelospermum jasminoides / Star Jasmine Trellis	FLORIDA FRIENDLY	15G/17"	10` HT	2` W	TRELLIS. FULL. LOW BRANCHED. AVAILABLE FROM GARDEN INSTURIES, INSTALL DIAMOND PATTERN ON WALL

CODE	QTY	BOTANICAL / COMMON NAME	NATIVE	CONTAINER	HEIGHT	WIDTH	SPACING	REMARKS
<b>SHRUB AREAS</b>								
FM-G	244	Ficus microcarpa `Green Island` / Green Island Ficus	NON-NATIVE	3G/10"	16` HT	14` W	18" o.c.	FULL DENSE FOLIAGE TO BASE.
LM-E	207	Liriope muscari `Emerald Goddess` / Liriope	FLORIDA FRIENDLY	1G/6"	12` HT	10` W	18" o.c.	FULL DENSE POTS. GOOD COLOR.
MS	138	Microsorium scolopendrum / Wart Fern	NON-NATIVE	1G/6"	10`-12` HT	8`-10` W	16" o.c.	FULL DENSE POT. SHADE GROWN. GOOD COLOR.
OJ	76	Ophiopogon japonicus / Mondo Grass	FLORIDA FRIENDLY	1G/6"	6`-8` HT	6`-8` W	12" o.c.	FULL DENSE POTS. NO LEAF SPOTS.
OJ-N	968	Ophiopogon japonicus `Nana` / Dwarf Mondo Grass	FLORIDA FRIENDLY	4` POT	6` HT	6` W	4" o.c.	PLANT BETWEEN JOINTS AND AROUND STEP PADS-FULL DENSE POTS, NO LEAF SPOTS-PLANT POT TO POT

MISC	BOTANICAL NAME / COMMON NAME	QTY	REMARKS
BIO	Bio Barrier-Typar or equal	Verify LF in field	PROVIDE BIO BARRIER ROOT CONTROL AT ROOTBALLS AS REQUIRED BY UTILITIES
GRAVEL	Selected by client	Verify quantity in field	PROVIDE MIN. 2" THICK APPLICATION PROVIDE OPTIONAL BLACK ALUMINUM EDGING ALONG LANDSCAPE BEDS-PERMALOC `CLEAN LINE` OR EQUAL
MULCH	Grade B+ Cypress Mulch	Verify quantity in field	MINIMUM 3" DEPTH
SOD	`Empire` Zoysia	Verify SF in field	MINIMUM 16"X24" PIECES, GRADED #1 OR BETTER, SEE LANDSCAPE SPECIFICATIONS SHEET

**NOTES**

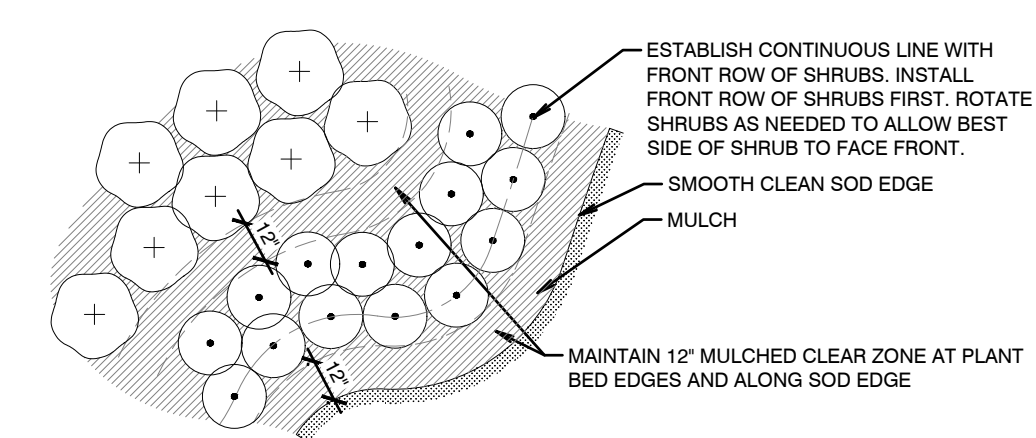
TREES OR PALMS PLANTED IN SOD SHALL HAVE MULCH RINGS TO PROTECT THEM FROM LAWN MAINTENANCE EQUIPMENT AND STRING TRIMMERS.

ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER, AS DESCRIBED IN GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, TALLAHASSEE FLORIDA, LATEST EDITION.

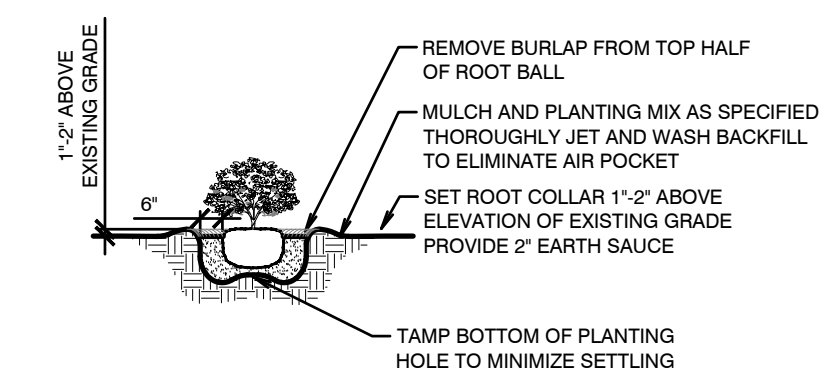
TO PROTECT AGAINST GANODERMA PALM FUNGUS, ALWAYS REMOVE ALL PALM STUMPS FROM PROPERTY.

PLA DESIGN STUDIO TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION.

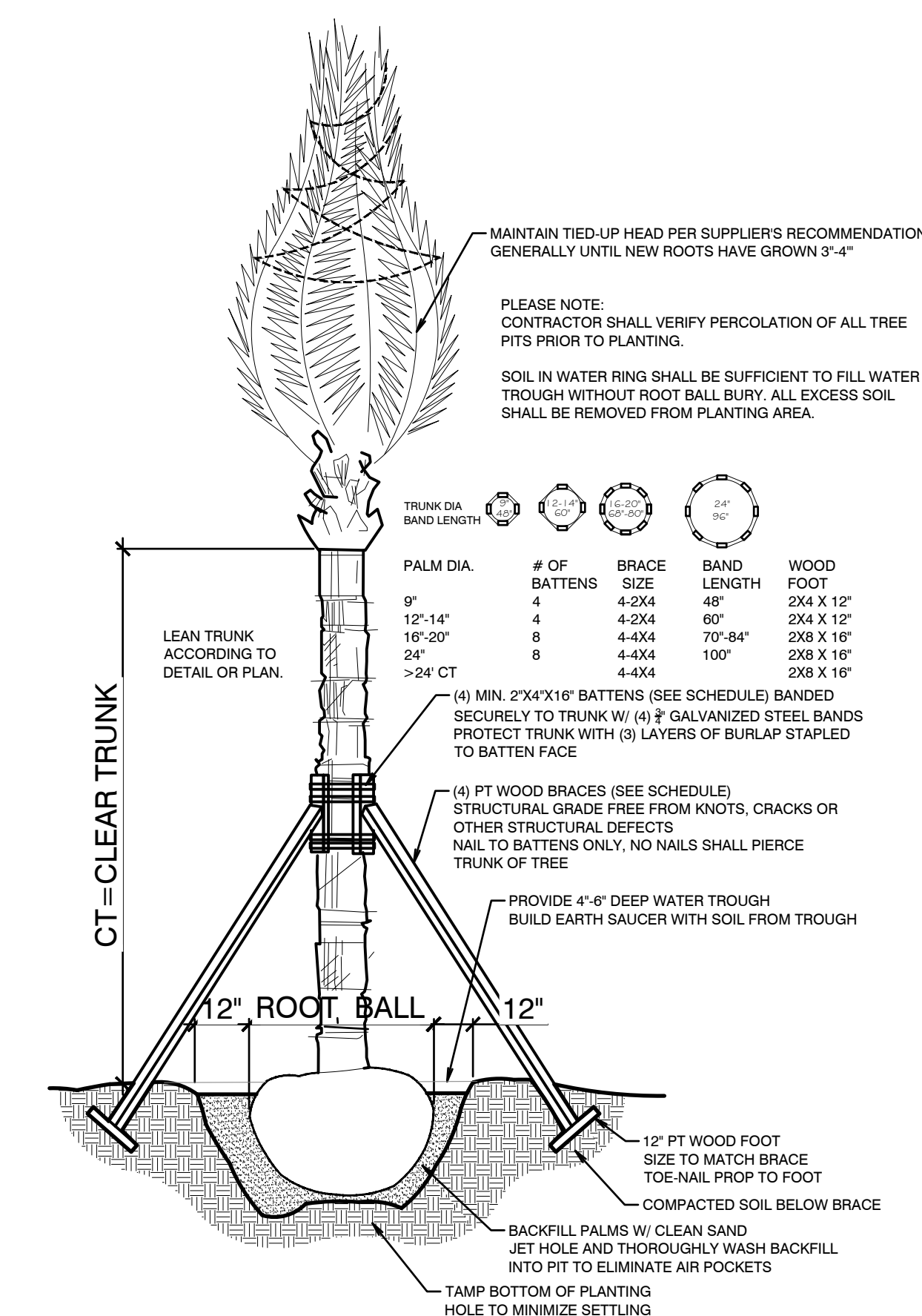
ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED.



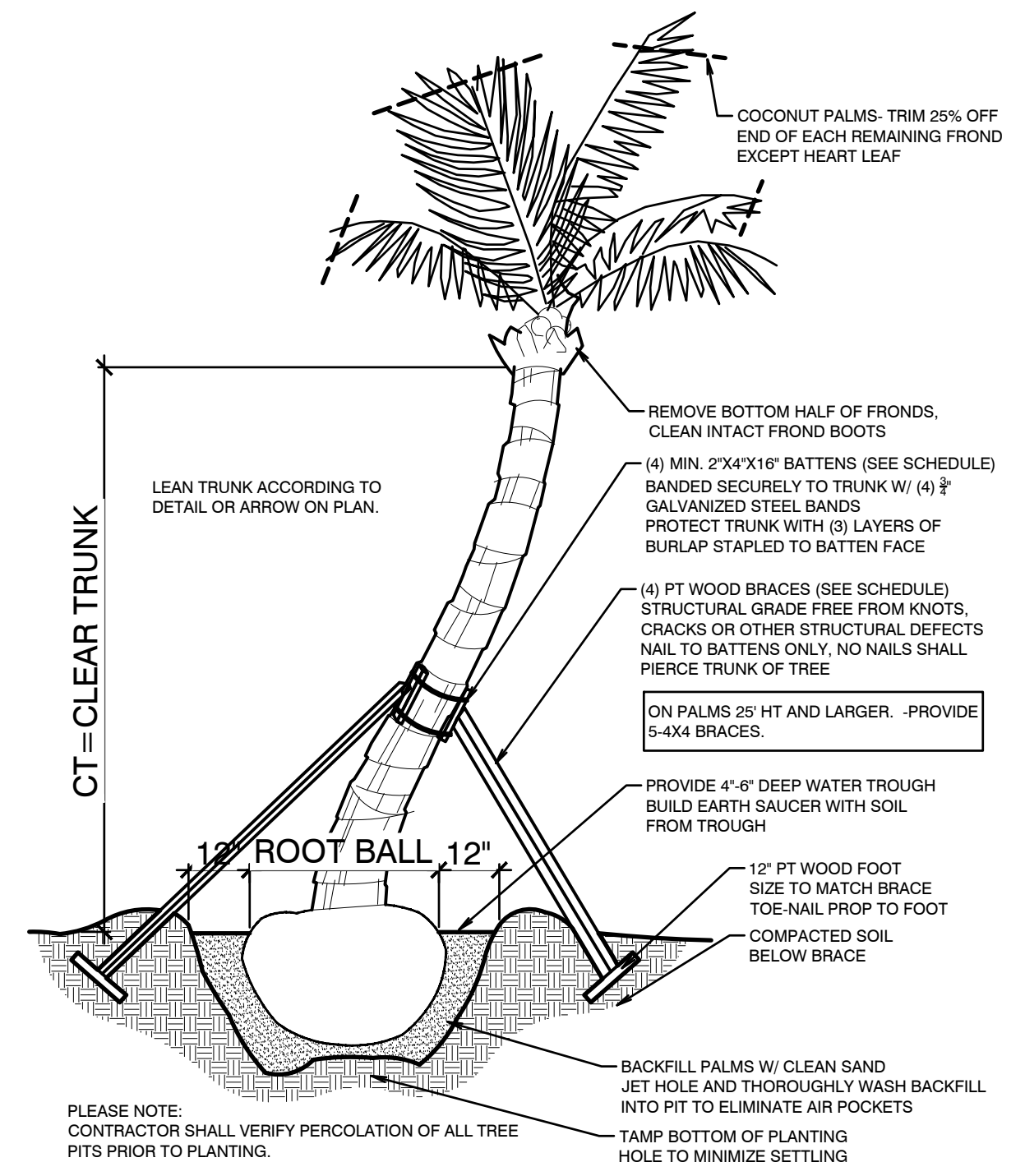
**SHRUB/ GROUND COVER LAYOUT**



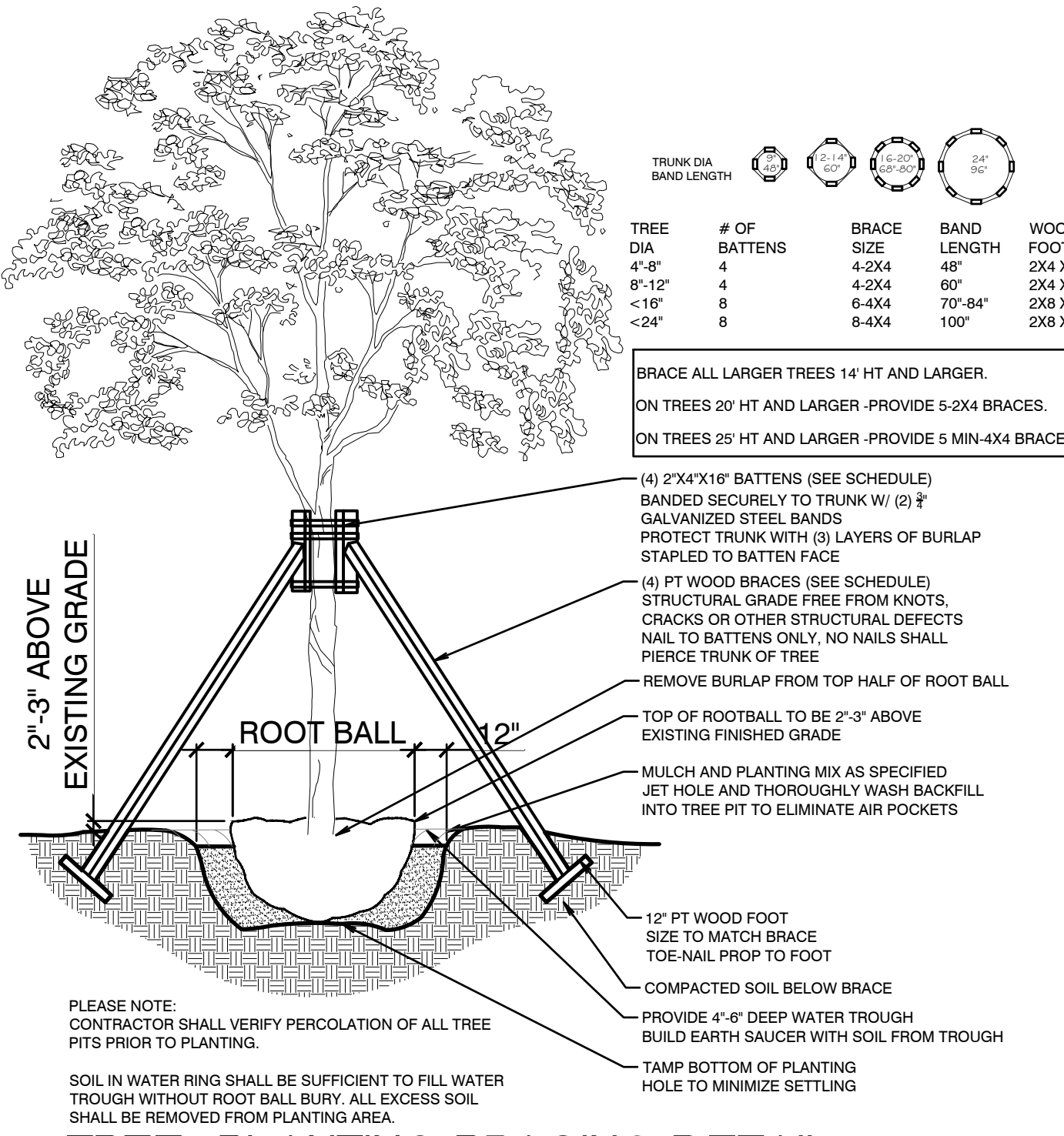
**SHRUB/ GROUND COVER DETAIL**



**PALM PLANTING / BRACING DETAIL**



**CURVED PALM PLANTING DETAIL**



**TREE PLANTING BRACING DETAIL**

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drawn by BD/JS  
sheet name

LANDSCAPE SCHEDULE AND DETAILS

SUBMISSION 11/25/24

L-3

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## 1.0 GENERAL

### 1.1 DESCRIPTION OF WORK:

**A.** Extent of landscape development work is shown on the Drawings and in the related Schedules.

**B.** The work consists of furnishing all plants, materials, equipment, necessary specialties and labor required for the installation of plant and other materials as shown on the Drawings and/or in the Specifications.

**C.** Excavation, filling and grading required to establish elevations shown on the Drawings are not specified in this Section. Refer to earthwork Section.

### 1.2 REFERENCE PUBLICATIONS:

The following standards form a part of the Specifications:

**A.** Florida Department of Agriculture "Grades and Standards for Nursery Plants", most recent edition.

**B.** American Joint Committee on Horticultural Nomenclature "Standardized Plant Names Dictionary"

**C.** The American Standard for Nursery Stock" (2004 edition).

**D.** American National Standards Institute-ANSI

-ANSI A300 and ANSI Z60.1-most recent edition

**E.** Florida Friendly Best Management Practices for Protection of Water Resources

by Green Industries, Florida Dept of Environmental Protection, Rev Dec 2008

**F.** IFAS -Institute of Food and Agricultural Sciences, University of Florida.

<http://hort.ufl.edu/woody/index.html>

### 1.3 INSTALLER - CONTRACTOR QUALIFICATIONS:

**A.** The Contractor shall be State licensed and regularly engaged in the installation of living plant material. Labor crews shall be controlled and directed by a landscape foreman professionally trained and well versed in landscape installation, plant materials, reading blueprints and coordination between the job and nursery and shall be able to communicate with the Owner and the Landscape Architect.

**B.** The Contractor shall be licensed and shall carry any necessary insurance and shall protect the Landscape Architect and Owner against all liabilities, claims or demands for injuries or damage to any person or property growing out of the performance of the work under this contract. All workers shall be covered by Workmen's Compensation Insurance.

**1.4 SUBMITTALS:** Refer to schedule of submittals.

### 1.5 COORDINATION:

**A.** Coordinate and cooperate with other trades and contractors to enable the work to proceed as rapidly and efficiently as possible.

**B.** The Contractor shall be responsible to preclude plant installation. Install trees, large B&B material, shrubs, and ground cover plants before lawns are installed.

**C.** Commencement of Work: Landscape Contractor shall notify Landscape Architect at least 7 days in advance of scheduled commencement of work. Landscape Contractor shall review plans and/or field layouts with Landscape Architect at least 2 days prior to installation or on the site as needed

**1.6 INSPECTION OF SITE:** Prior to the award of the contract, the Contractor shall acquaint himself with all site conditions. Should utilities or other improvements not shown on the Drawings be found during excavations, Contractor shall promptly notify the Landscape Architect or Owner for instructions as to further action. Failure to do so will make Contractor liable for any and all damage arising from his operations subsequent to discovery of such utilities not shown on Drawings.

### 1.7 PROTECTION OF EXISTING PLANTS AND SITE CONDITIONS:

**A.** The Contractor shall provide, install and maintain the necessary precautions to protect all persons and property, including the general public from harm or injury due to the work.

**B.** The Contractor shall take precautions to protect existing site conditions. Should damage be incurred, the Contractor shall repair the damage to return the object or area to its original condition at no additional charge.

**C.** Utility Locates - Regardless of utilities that may or may not be shown on the drawings, the Contractor shall be responsible to have utilities located in the area of work before the work commences. The Contractor shall also verify and comply with any requirements or clearances to plant materials that may be required by any Utility company.

**1.8 CHANGES IN THE WORK:** The Owner reserves the right to substitute, add or delete any material or work as the work progresses. Adjustment to the Contract Sum shall be approved by the Owner by a written Change Order, prior to execution. The Owner shall be given (2) week notice for the opportunity to review and approve all plant materials delivered to the job site prior to installation. When unit prices have been established, they shall prevail for all Contract Additions. For Contract Reductions, the Owner shall receive full credit, based on unit pricing, if changes are implemented prior to delivery of plant materials. If Owner changes are made prior to installation, Owner shall receive a credit for labor to install plants, less costs associated with purchase and delivery. The Landscape Architect assumes no financial or material responsibility for any changes made by, or on behalf of the Owner.

### 1.9 OWNER'S OBSERVATION:

**A.** The Landscape Architect of Owner assumes no responsibility for the Contractor's means and methods in the execution of this contract beyond the observation to ensure, to the Owner's satisfaction, that the Design Intent of the Drawings and Specifications are being properly interpreted. This observation and checking will not relieve the Contractor of any responsibility for the performance of his work in accordance with the Drawings and the Specifications (including proper planting practices or other material or performance deficiencies).

**B.** The Landscape Architect and Owner reserve the right to reject any portion of the work, material or workmanship which does not conform to the Contract Documents and Standard set forth herein.. Rejected work shall be removed and/or corrected by the Contractor, at his own expense, at the earliest possible time and prior to final payment.

### 1.10 PROJECT CONDITIONS:

**A.** Familiarization with Overall Project Requirements: The Contractor shall review and become familiar with the Design Intent of the Drawings and Specifications related to the Contractor's Work including but not limited to: Civil engineering and Drainage Plans, Architectural layouts, project area access, contractor equipment access, existing and proposed utility locations, Irrigation Plans, Outdoor Lighting Plans, Paving Plans, Project Sequence and Timing plans, Town/HOA/neighborhood requirements, etc.

**B.** Obstructions: The Contractor shall exercise care in digging and other work so as not to damage existing work, including underground pipes, sprinklers, control cables and hydrants of watering systems. Should such overhead or underground obstruction be encountered which interferes with planting, the Landscape Architect shall be consulted for consideration for alternate installation of plants to clear such obstructions. The Contractor shall be responsible for the immediate repair of any damage caused by his work.

**C.** After notice to proceed, the Contractor shall complete landscape work in a timely manner, as portions of site become available. Actual planting shall be performed only when weather and soil conditions are suitable in accordance with locally accepted practice.

**D.** Contractor shall coordinate landscape and planting work with other trades, such as, the irrigation (sprinkler) installer, electrician, lighting installer, paving installer, and sod installer; Landscape installer shall coordinate to ensure that no plantings will interfere with the proper functioning of the sprinkler system. The Contractor shall point out to the Irrigation installer situations where minor adjustment or relocation or addition of sprinkler heads may be most beneficial for the whole. The location of specimen plant materials, trees, palms and large shrubs shall prevail over irrigation head placement.

### 1.11 ACCEPTANCE:

**A.** At the discretion of the Owner, early acceptance of the work may be obtained for progress payment of approved phases; or when the time between commencement of the work and substantial completion exceeds 90 days (at no fault of the contractor). Early acceptance shall be contingent upon a satisfactory inspection of the completed landscape work by the Landscape Architect and/or the Owner.

**B.** Substantial Completion of the Work is the point in construction when the Work is sufficiently complete in accordance with the Contract Documents; all related clean-up has been performed; and the Landscape Architect provides an opinion that the Owner can utilize the work as intended.

**C.** Final Completion is the completion of all work included in the Contract Documents except the Contractor's responsibility to correct the work to the satisfaction of the Owner and the Landscape Architect. The Warranty Period and Maintenance period shall commence upon Final Acceptance.

### 1.12 WARRANTY PERIOD and CORRECTION OF THE WORK:

**A.** For a period of twelve months from the date of acceptance, all new plant materials except grass shall be alive and healthy, upright and in satisfactory growth for each specific kind of plant. There shall be no signs of nutrient deficiency, disease or insect infestations.

**B.** Plants which are rejected shall be replaced or corrected within two weeks of rejection. Replacement material shall be the same species, size and quality as called for in the Contract. A new correction of the work period of twelve (12) months shall begin upon replacement and acceptance by the Landscape Architect of all replacement plants, this includes plants which are discovered at any time to have been planted at an improper depth.

**C.** The installer shall repair damage to other plants or lawns that occurs during the plant replacement process at no cost to the Owner.

**D.** Plants which have been approved and subsequently die or are damaged by washout, wind storm, traffic, vandalism, or demonstrable failure of the Owner to maintain after Substantial Completion of the Work is not covered in this correction of the work provision

## 2.0 PRODUCTS

### 2.1 MATERIALS LIST:

**A.** Plant species and size shall conform with the Plant List and information noted on the Drawings.

**B.** The quantities given in the Plant List are intended for the convenience and as a guide for the bidder and does not relieve the bidder of his responsibility to do a comprehensive plant take off from the Drawings. Information on the drawings control.

### 2.2 PLANT MATERIALS:

**A.** All plant material shall be nursery grown unless otherwise noted. Plants shall be graded Florida No. 1 or better and shall be sized as outlined under Grades & Standards for Nursery Plants, State Bar of Florida. Palms shall be grown from certified seed.

**B.** Collected material when specified or approved shall be in good health, free from disease, insect or weed infestation. Testing may be required at the discretion of the Landscape Architect and/or the Owner and shall be provided at no additional cost.

**C.** Plants materials must equal or exceed the measurements specified in the plant list, which are the minimum acceptable sizes. Those plants specified as specimens are to be approved by the Landscape Architect before being brought to the site. Unless otherwise noted on the drawings, these plants shall be Florida Fancy.

**D.** Height of plant materials shall be measured from the top of the ball to the top of the plant with branches (or fronds) in normal position. Their width shall be measured across the normal spread of the branches (or fronds). In cluster type palms the main trunk shall meet the height requirement and all other trunks shall be 3/4 or more of the required height unless otherwise noted on the drawings. Where symmetry is required, match plants used as nearly as possible to the satisfaction of the Landscape Architect.

**E.** Plants that meet the height requirements, specified, but do not have the normal balance of height and spread typical for the respective plant, shall not be accepted.

**F.** Abbreviations on the Drawings are as follows:

**B&B** - field grown plant "balled and burlapped".

**Cal** - caliper/diameter measured at (152.4 mm) above soil line. For trunks larger than 4" (88.4 mm) diameter, the caliper measurement shall be determined at 12" above soil line.

**CT** - clear trunk measurement from top of ball to first branching.

**CW** - clear wood, in palms the distance from soil line to lowest living frond leaf base. **DBH** - caliper or diameter measured 4 feet (1.22 meters) above soil line

**GW** - Greywood, in palms, mature trunk from ground to base of the green crown shaft.

**OA** - overall height from top of ball to top of current season's growth or last open frond in normal position in palms.

**Spd** - spread or average distance across the average diameter of plant branching structure.

**G** - Root packaging and Containers: Plant materials in containers shall have a well established root system and shall not be root bound. All plant materials not in containers shall be balled and burlapped and dug with a firm natural ball of earth. Balls shall be firmly wrapped with burlap or similar biodegradable materials and bound with twine, cord or wire mesh. The minimum ball sizes will be in accordance with "Grades & Standards for Nursery Plants". No plant shall be accepted if the root ball has been cracked or broken. All containers and root balls shall be kept moist at all times. All plants which cannot be planted immediately on delivery shall be kept moist and protected from drying winds and sun.

**H.** Container Grown Plants: Plants grown in containers will be accepted as "B&B", providing that all other specified requirements are met. Container grown plants shall meet plant sizes as specified on the plant list. Drawings and specifications by container sizes. Minimum root balls of container grown material shall be no more than 25% less proportionately than that stated in latest edition of Florida "Grades & Standards" for nursery plants. Plants shall have been grown in the container for a max. of 2 years prior to installation and shall exhibit a fully developed root system throughout when removed from container. There shall be no girdling or circling roots exceeding 50% of the pot circumference.

**I.** Substitution: Plant substitution by the Contractor will be considered by Landscape Architect only upon submission of proof that the plant is not obtainable in the type and size specified. Should the specified plant indeed not be available, the Landscape Architect shall determine the nearest equivalent replacement in an obtainable size and variety. The unit price of the substitute item shall not exceed the bid item replaced, without owner approval.

**2.3 PLANTING SOIL:** Planting soil shall be free draining, sandy loam and shall contain a 5% minimum and a 15% maximum amount of decomposed organic matter. Planting soil shall be free of clay, stones, plants, roots, and other foreign materials which might be a hindrance to planting operations or be detrimental to good plant growth. It shall have a pH between 6.0 and 7.0. Soil shall be delivered in a loose friable condition and applied in accordance with the planting specifications.

**2.4 PEAT:** Horticultural peat composed of not less than 60% decomposed organic matter by weight, on an oven dried basis. Peat shall be delivered to the site in a workable condition free from lumps.

### 2.5 WATER:

**A.** Clean Water for planting will be available at the site and shall be provided by the Owner unless special provision is determined in the Contract Documents.

**B.** Contractor shall determine the source and suitability of the Owner's water. In the event the water source is not suitable, the Owner shall be given written notice of such at least two weeks prior to the commencement of Work.

### 2.6 SOIL TESTING:

**A.** Landscape Contractor shall provide testing of existing soils on Site for all soil types, including imported soils, in the planting area. No less than 2 representative samples shall be submitted to and tested by an independent professional testing lab for analysis and fertility recommendations.

**B.** Soil Testing Lab - Call for info, testing services, fees and Import permit.

Micro-Macro International P 706-548-4557 F 706-548-4891 Web: www.mmilabs.com  
183 Paradise Blvd, Suite 10B, Athens, Georgia, 30607

### 2.7 COMMERCIAL FERTILIZER and PLANTING AMENDMENTS:

**A.** Fertilizer and fertilization rates for the project shall be provided and applied based on the results of the soils test. Follow all Manufacturer's Label Rates and application recommendations.

**B.** Commercial fertilizer shall be slow-release organic formulation containing nitrogen, phosphorus and potassium, not to exceed an analysis of 6-6-6. Nitrogen shall be not less than 50% of the total N. Organic nitrogen shall not be derived from the sodium form of nitrate. Iron shall be in the chelated form, not be less than 2% and magnesium shall not be less than 2%. Fertilizers shall be delivered to the site unopened in original containers, each bearing the manufacturer's ingredients and guaranteed analysis. Submit a copy of the Manufacturer's guaranteed analysis and proof of delivery to the Landscape Architect. Any fertilizer that becomes caked or otherwise damaged is unacceptable.

**C.** Microbial Additives: Mycorrhizal and microbial additives shall provided as specified in the Schedule of Soil amendments. Contractor shall submit a copy of the manufacturer's label/ product use instructions that include: all ingredients, guaranteed analysis and application rates. All supplements shall be supplied in fresh, unopened packaging prior to product expiration. Product that becomes caked or otherwise damaged is unacceptable and shall not be used.

### 2.8 MISCELLANEOUS LANDSCAPE MATERIALS:

**A.** Mulch: Shredded hardwood mulch-grade "A" -veries color. Mulch shall not contain chunks larger than 1 inch (25.4 mm) in diameter, branches, stones or other foreign material that will prevent its eventual decay.

Alternate Mulches: Pine Bark Nuggets - Jumbo size, Pine Straw

**B.** Gravel Mulch: Provide samples of all gravels to Landscape Architect for approval prior to ordering. Gravel shall be used only where specifically indicated on the plans of the size and type shown. Unless otherwise specified it shall be water-worn, hard, durable gravel, washed free of loam, sand, clay and other foreign substances. It shall be a minimum of 2" (44.2 mm) deep and shall be contained with gravel stops. It shall be a maximum of 1-1/2" (38.1 mm), a minimum of 3/4" (19 mm) and of a readily-available natural gravel color range.

**C.** Braces, Battens and Stakes-Provide braces, battens, stakes and deadman of sound new pressure-treated lumber, free of knot holes and other defects. Braces shall be pressure-treated 2x lumber (4x lumber where appropriate) and shall be secured to battens and stakes with a min of (2) -16D, db) head galv. forming nails. Battens shall be 2x4 pressure treated lumber and padded with burlap. Battens shall be secured to tree trunks with 3/4" Stainless steel or galvanized banding. Stakes shall be pressure-treated 2x lumber and shall be driven to within 2" of the surrounding grade.

**D.** All exposed ground-stakes shall be painted with a high-visibility, contrasting fluorescent paint until substantial completion. Braces and stakes shall be repainted a dark walnut brown stain unless otherwise noted. Stakes and braces shall be placed within mulch beads and oriented away from walking areas.

**D.** Guys and Anchors: Provide one of the following: 1) wire guys shall be two- strand, twisted, pliable galvanized iron wire not lighter than 12 gauge. Provide new hose cut to required lengths to protect tree trunks from damage by wires. Hose shall be not less than 1/2" (12.7 mm) dia. 2) Woven Polyethylene Webbing -shall be min 2" wide. Trunks and stems shall be wrapped at least twice and secured with adjustable knots. Stakes per Sec C, above.

**E.** Soil Mix for annual or seasonal color beds: 2 parts top soil, 1 part fine pine bark mulch (1/2" (12.7 mm) pieces, 1 part coarse sand and 50 pounds (1,8662 kg) composted cow manure per cubic yard (.76455 cubic meters). Mix in Osmocote fertilizer and micro-organisms at label rates, see 2.7C.

**F.** Planter Soil Mixture: a loose, friable blend consisting of: 5 parts coarse sand, 2 parts peat humus or bagged topsoil and 3 parts pinebark; Mix in Osmocote fertilizer and microorganisms at label rates. see 2.7C.

## 3.0 EXECUTION

### 3.1 PREPARATION, SITE WORK AND COORDINATION:

**A.** Preparation: Contractor shall inspect the site to verify that finish grades (accurate within 2" (51 mm), have been established in accordance with Civil Engineer's Drainage Plan and the Landscape Architect's shaping and grading Plan or other job requirements prior to beginning any planting operations. Coordinate with Landscape Architect and General Contractor for release of areas before planting operations begin.

**B.** Rough Grading and Shaping - Rough grading and bulk filling of site shall be the general responsibility of the General Contractor unless otherwise noted. Rough grade shall include placement and distribution of bulk fill material sufficient to generally be within -4" of final grade for landscape and within -2" of final grade for sod areas. Rough grades shall conform with the general intent of the drainage and grading plans. Rough grades may be field adjusted to allow for fill as generated by planting activities.

**C.** Finish Grading - Finish and final grading shall be reviewed, approved and released by Landscape Architect or authorized Project Manager. Landscape Contractor shall notify LA/ Project Manager, in writing, 3 days before planting work in a given area is expected to commence. Finish Grades are the responsibility of the Landscape Contractor -including box blading and leveling of open sod areas

Finish grades of all planting areas shall be at 2" below pavement, after planting unless otherwise noted. Finish grades shall include any top soil and soil amendments as specified. If at any time the sub-grade is determined to be inadequate for proper design, the Project Manager should be given notification in writing.

**D.** Top soils -The supply, placement and grading of Top soils shall be the responsibility of the Landscape Contractor unless other determined in the Construction Documents.

**E.** Irrigation-The Landscape Contractor shall closely coordinate with the Irrigation installer. Irrigation system shall be installed according to Irrigation Plans and Specifications with any necessary field adjustments to complement the Landscaping Plans. Spray zones for sod and planted areas as described shall have 105% head to head coverage, matched precipitation rates and uniform water distribution with equipment as outlined. Drip emitters shall be installed per schedule. Drip and spray irrigation shall be fully operational and accepted before any mulch, stone, or short matting is installed. Above, landscape contractor is responsible for all fine grading subject to review and acceptance by Landscape Architect, before sod is installed.

**F.** Landscape Lighting - The Landscape Contractor shall closely coordinate with the Lighting installer. Outdoor and site lighting system shall be installed according to the Lighting Plans and Specifications with any necessary field adjustments to complement the Landscaping Plans. Landscape lighting conduit shall be coordinated and installed in conjunction with irrigation trenching where ever applicable. Lighting conduit shall be installed and/or adjust AFTER major trees and palms are installed and before shrubs/ground covers are installed. In-ground fixtures or other work requiring excavation, must be installed before sod, stone mulch and landscape mulch are installed. Lighting stub-ups/placements shall be reviewed approved and released by Landscape Architect before mulch,stone, ground covers or sod are installed.

**G.** Mulch, Edging and Stone Mulch-Before mulch of any kind is installed, Finish Grading, Operational Irrigation, Lighting conduit, in-ground fixtures and metal edging shall be in place and accepted and released by either Landscape Architect or General Contractor.

**H.** Sod - Before sod of any kind will be installed, Finish Grading, Operational Irrigation, Lighting conduit, in-ground fixtures, metal edging and mulch shall be in place and accepted and accepted by Landscape Architect. As noted above, landscape contractor is responsible for all fine grading subject to review and acceptance by Landscape Architect, before sod is installed.

**I.** Removal of Rubbish: Any objectionable materials, such as stones/construction debris be encountered during planting operations, they shall be promptly removed from the site by the landscape installer.

### 3.2 PROTECTION OF PLANTS:

**A.** Root Protection: All field grown trees, palms and plants shall be hand dug with sharp shovels or approved tree-spade. Backhoe-dug trees shall not be accepted. Roots shall be cleanly cut with sharp instruments. Balled and burlapped plants: plants designated "B&B" shall be dug with firm, moist earth of sufficient diameter above, landscape contractor is responsible for the root protection system, necessary for full recovery of plant. Balls shall be firmly wrapped with burlap or similar materials and bound with twine, cord, or wire mesh. All collected plants shall be "B&B". Trees, palms and plants shall not be dug during periods of excessive heat or drought unless supplemental water is applied for at least 5-7 days in advance.

**B.** Handling -containerized plants shall be handled by their container w/ proper support given to all parts of plant to prevent damage. Trees and palms shall only be handled w/ padded slings rated for 10x the weight of carried load. Trunks shall be wrapped min. 2X prior to cinch loop. No chain, rope or padded webbing shall be used to handle trees and palms.

**C.** Protection During Transporting: All plant material shall be protected from possible injury or breakage of branches. Provide all necessary splints, stakes, kraft paper wrapping and sleeves to secure and protect roots, stems and foliage of plant materials during shipment. All plants transported by open trucks or sea-containers shall be adequately covered to prevent windburn, drying or damage to plants.

**D.** Protection After Delivery: Plants which cannot be planted immediately on delivery to the site shall be kept moist at all times and provided protection from the drying of wind and sun. All plants shall be kept moist as necessary until planted. Storage period shall not exceed 72 hours. In plants cannot be installed within 48 hours, they shall be "heeled-in" earth trench rows and maintained in healthy, moist condition until final installation.

**E.** Protection of Palms: A minimum number of fronds shall be removed from the crown of palm trees to facilitate moving/handling. Remaining fronds shall be tied and braced if required.

**F.** Protection During Planting: Trees moved by winch or crane shall be thoroughly protected from chain marks, girdling or bark slippage by means of burlap, padding, wood battens or other approved methods.

**G.** Plants that show symptoms of bark compression, girdling or bark slippage or other damage are unacceptable.

**H.** Special Treatment and Handling: Sabal Palms (Cabbage Palms) shall be "hurricane cut" in the field prior to transport. Clear trunk shall be as specified after the minimum number of fronds have been removed. Sabal Palms shall be taken from moist, "black" growing areas. All burm marks on Sabal Palm trunks shall be removed. Collected or Field Dug Specimen Palms - All field dug palms, (except-Adonidia, Cocos, Phoenix, Washingtonia, Ptychosperma, Hypophorbe sp.) palms shall be root pruned for 2 months in advance of being lifted and moved. All palms shall be watered for 1 week prior to digging in the field. Heads shall have the lower 50% of fronds removed or as otherwise determined by Supplier. Heads shall be securely tied and secured before transporting. Heads shall remain tied-up until new root growth is visible or as otherwise determined by Supplier. All Palms shall have heads tied and braced during shipping & handling. Canary Date Palms shall have heads securely stabilized with 4x4 wood splints

### 3.3 PLANTING OPERATIONS:

**A.** Layout: The location for plants and outlines of areas to be planted are indicated on the Drawings. All plant locations shall be laid out, painted/flagged in field by the Contractor, to the satisfaction of the Landscape Architect before planting operations commence. In general, all trees, palms and accent plants shall be laid out, planted and approved by the Landscape Architect prior to the layout of shrubs/ground covers. Notify Landscape Architect and Owner for directions if site conditions requires the addition of soil over existing roots or where construction or utilities below ground or overhead are encountered, or where changes have been made in the construction - DO NOT PROCEED - Any necessary adjustments will be directed by the Landscape Architect.

**B.** Clearances: Shrub/hedge material shall be planted a min. of 30" (0.75 m) away from wall or other obstructions (including parking stops). Groundcover (1 gal or less) material (except sod) shall be planted 16" (10.41 m) away from pavement or edging unless otherwise noted. Vines shall be attached with copper wire to brass screws in lead anchors to walls. Make minor adjustments as may be required.

**C.** All planting holes shall have straight, vertical sides and flat horizontal bottoms. The diameter of a hole shall not be less than twice the diameter of the root ball or 24 inches (609.6 mm) greater than the root ball, whichever is smaller. The depth of a hole shall not be deeper than the root ball. The bottoms of planting holes shall be tamped to minimize settling.

**D.** Contractor shall confirm that all planting holes are free draining and percolate water. If hardpan, compacted soils, clay or rock are encountered, immediately notify Landscape Architect to determine remedial measures.

**E.** Backfill and Soil Amendments-Backfill shall be clean, fine, granular loamy soil unless otherwise noted. All palms shall be backfilled w/ clean, washed, salt-free sand. Clumpy or rocky soils shall be screened or replaced w/ appropriate material prior to backfilling. Refer to soil report recommendation for fertilizer type/rates. Additionally, Mycorrhizae and soil bacteria shall be added at the manufacturer's recommended rates (see 2.7c). The following minimum rates of soil mix apply: 1/2 cubic yard per tree and 1 cubic yard per 50 shrubs.

**F.** All plants shall be handled and installed in accordance w/ the Construction Documents and best appropriate horticultural practices. The soil and mulch shall be thoroughly mixed and set in the proper size of planting pit so that the top surface of the Root Collar/root ball will be 1"-2" above the final grade. Verify adequate percolation of the planting hole. Set plants straight and plumb unless otherwise noted. Select trees, palms and accents shall be leaned, oriented or faced as determined by Landscape Architect or as shown on the drawings.

**G.** B&B plants are set with bottom 1/3 of planting pit backfilled w/ existing site soil. Remove burlap, rope, wires, etc. from any trunk and top surface of balls. Do not remove burlap from underneath. All remaining wrapping material shall be biodegradable. No material shall encircle the trunk. Complete backfilling w/ native soil (or specified soil mix) and water thoroughly to remove voids. After planting has been completed, form a rough ground base, then plant, extending to the limits of the pit. Some wire wrapping and bundling may remain to maintain the integrity of the root ball. Review removal requirements in advance with the Landscape Architect.

**H.** Container Grown Plants: Shall, when delivered, have sufficient root growth to hold earth intact when removed from container and shall not be root bound. Plant pits for container materials shall be formed flat on the bottom to avoid air pockets at the bottom of root balls. Containers shall be removed carefully to prevent damage to plant or root system.

## 3.0 EXECUTION CONT.

**1.** Remediation of Root Defects - The Contractor shall inspect all plant material for root defects including but not limited to: root-bound containers, circling roots, girdling roots; sub grade, embedded root collars; adventitious roots; etc. All Root Collars shall be exposed and visible at the time of planting. Plants with two (2) or more girdling roots; plants from root-bound containers; or plants with circling roots greater than 75% of the pot circumference shall be rejected and replaced at the Contractor's expense. Plants with minor root defects shall be trimmed with clean, sanitized, sharp tools according to proper horticultural practice prior to planting. Plants shall be well watered prior to, and after, root trimming procedures. Plants that die as a result of root pruning are considered excessively defective and shall be replaced at Contractor's expense.

**External Circling Roots** - shear off outer 1"-2" of rootball circumference

**Internal Circling Roots** - radial cuts to interrupt circle, remove 2" min. section of root.

**Girdling Roots**-cut and remove the 2" min. section of the girdling root at the surface.

**Root Knots** - trim or remove. For more information- refer to University of Florida- IFAS Website

<http://hort.ufl.edu/woody/index.html>

For Root management -Refer to <http://hort.ufl.edu/woody/roots.html>

**J.** Setting Trees and Shrubs: Unless otherwise specified, all trees and shrubs shall be planted in pits, centered to such depths that the finished grade level of the Root Collar, after settlement, shall be the same as, or slightly above, that at which the plant was originally grown. They shall be planted upright and faced to give the best appearance or relationship to adjacent structures. The Contractor shall be responsible to raise and re-set all plant materials where root collars are found below finish grade at their own expense.

Along slopes, a soil terrace shall be formed so that the top of the Root Collar is level with existing grade on the up-slope side. No burlap shall be pulled out from under the balls. Tree boxes, platforms, wire, lifting loops and surplus binding from top and sides of the balls, shall be removed. Some wire or binding may remain if tight and necessary for rootball integrity. Any broken and frayed roots shall be cut off cleanly. Backfill soil shall be placed and tamped thoroughly and shall be settled by watering. No filling around trunks or on top of root balls will be permitted. After the backfill settles, additional soil shall be filled in to the level of the finished grade allowing for 2" (44.1 mm) of mulch. Form a shallow saucer around each plant by digging a trough of soil along the edge of the plant pit. This trough shall be 3"-4" (75 mm) diameter. The saucer shall be filled with mulch and shall be equipped with supplemental irrigation (bubblers).

**K.** Setting Palms: All palms shall be planted in sand thoroughly washed in during planting operations and with a shallow saucer depression left at the soil line for future watering.

**L.** Backfilling: When the plant pit has been excavated as specified above and the plant has been set, the pit shall be backfilled with clean soil mix. All backfill shall be watered thoroughly to settle and consolidate soil and eliminate voids. Provide a shall trough around the outside of the rootball for water retention. Tops of all rootballs shall be left exposed and free of soil backfill materials. Do not distribute any excess soil in any existing planted bed.

**M.** Pruning: Remove dead/broken branches from all plant material. Thin out internal branching and prune to retain type, growth habit and individual species with as much height and spread as is practicable. Make all pruning cuts with a sharp instrument next to branch collar to ensure elimination of stubs. Headback" or "Hat Rack" cuts, right angle to line of growth, will not be permitted.

**N.** Guying and Staking: Guy and stake all trees, including palms, immediately after planting. Trees less than 1 1/2" (38.1 mm) in caliper shall be staked with vertical wood or metal stakes along the trunk. Stake shall be driven through the root ball and embed 12" min. into sub-grade. Attach tree trunk to the stake with 3/4" width elastic pruning tape. Double wrap trunk to avoid chafing. Tie firmly, but not tightly to the stake. Stake shall be cut off at least 12" below the top of the plant. Trees 1 1/2" (38.1 mm) in caliper and greater but less than 12" OA shall be guyed in 3 directions with double strands of No.12 galvanized wire (or rated woven polyethylene webbing) attached to approved stakes or anchors driven into the ground. Such anchors shall be secured with galvanized wire to prevent supplemental irrigation (bubblers).

**O.** Staking and Bracing: When staking palms and broadleaf trees, no nails or fasteners shall directly penetrate the trunks. Wood battens: 12"-1

**Town of Ocean Ridge, Florida**  
**Planning & Zoning Board Agenda Memorandum**

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**To:** Planning & Zoning Board Members  
**From:** Corey O’Gorman, Town Planner  
**Meeting Date:** December 17, 2024  
**Subject:** Town of Ocean Ridge Comprehensive Plan

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**1. BACKGROUND**

At the Planning & Zoning Board meeting on November 19, 2024, the Planning & Zoning Board reviewed and discussed draft amendments to the Comprehensive Plan. The discussion generated several questions and requests for additional information as follows:

- What changes are required by Florida Statutes and/or no longer required?
- What issues might need the attention of the Town?
- Request that staff summarize the proposed changes so that the board can discuss them on a policy level and note the rationale for those changes.
- It was pointed out that there is only one (1) multifamily Future Land Use designation but two (2) multifamily zoning districts, and it might be appropriate to provide a medium density designation.
- Provide a complete document in PDF.

To address the questions and requests from last month’s meeting, attached to this memo are the following:

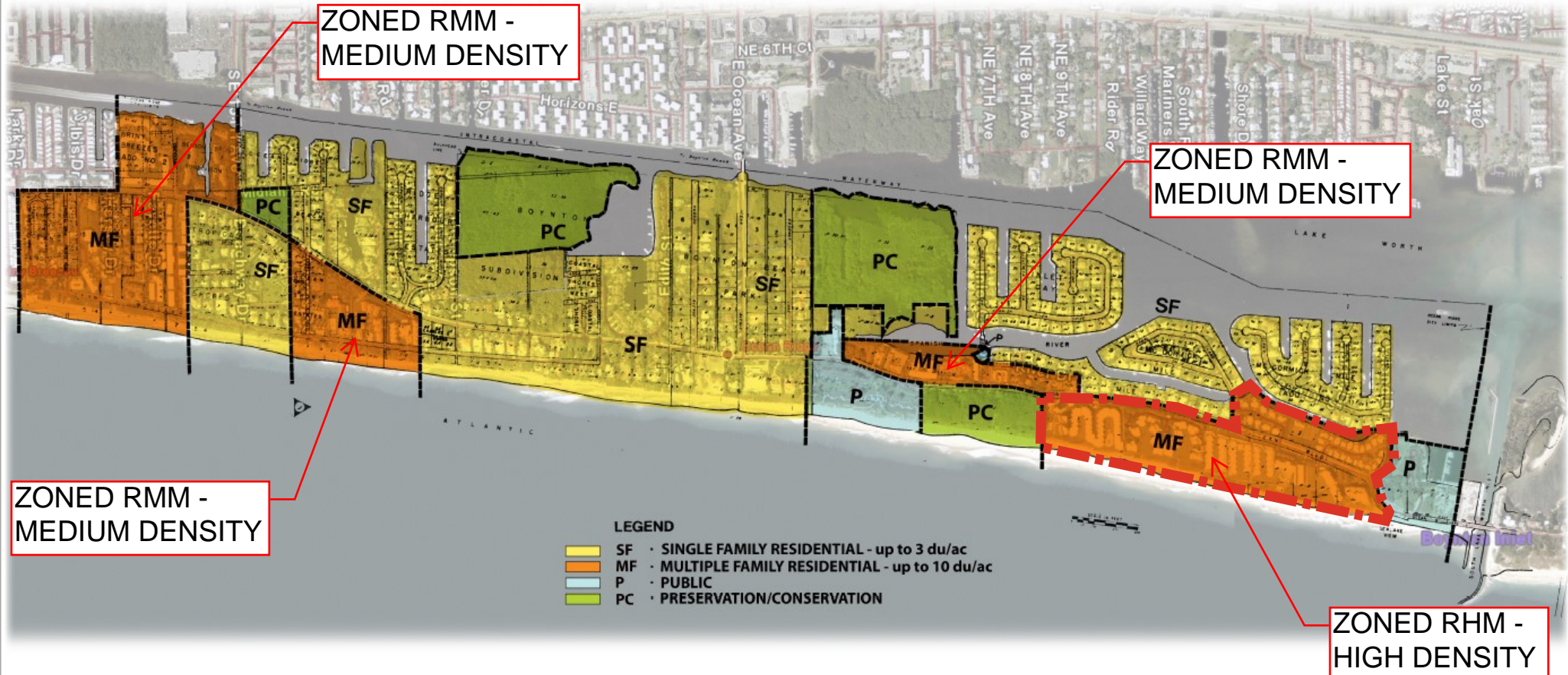
- Marked-up Future Land Use Map specifying where properties are zoned high density (RHM) and where properties are zoned medium density (RMM).
- A “Summary of 2024 Comprehensive Plan Updates and Directives” which includes introduction, Notification Letter Amendments and Additional Statutory Based Amendments.
- A complete PDF version of the plan including the updated maps.

**2. STAFF RECOMMENDATION**

Hear a presentation from Town Staff and Planning Consultants, discuss and provide input on the proposed amendments.

Town of  
**Ocean Ridge**  
Florida

Future Land Use Map  
2029



## **SUMMARY OF 2024 COMPREHENSIVE PLAN UPDATES AND DIRECTIVES**

### **I. INTRODUCTION**

The Ocean Ridge Evaluation and Appraisal Report (EAR) comprehensive plan amendments (2024 Plan) are preparing response to the provisions of Section 163.3191, Florida Statutes (F.S.), which require that the planning program be an ongoing process.

In order to ensure the ongoing process, F.S. Section 163.3191(1) requires each local government to prepare a formal evaluation of its comprehensive plan every seven years and notify the state land planning agency of the results. The purpose of the evaluation is to identify amendments to the comprehensive plan necessary to reflect relevant changes in state requirements since the last update. In addition, local governments are encouraged to update comprehensive plans to reflect changed local conditions.

In response to F.S. Section 163.3101(1) requirements, the Ocean Ridge Evaluation and Appraisal Notification Letter (Notification) was submitted to the State Land Planning Agency on April 1, 2024 (Ref: Exhibit 1). The Town received confirmation of the Notification from the Florida Department of Commerce (FDC) in a letter dated April 2, 2024 (Ref: Exhibit 2).

The following principal 2024 Plan amendment categories are included in the EAR review process to meet state comprehensive planning requirements per the FDC confirmation letter and changed local conditions:

#### **A. Notification Letter Comprehensive Planning Requirements.**

1. Coordination with the Lower East Coast and Boynton Beach 10-Year Water Supply Plans (F.S. 163.3177 (4)(a).
2. Coordination with county and regional coastal management and resiliency programs.
3. Minor text amendments.

#### **B. Additional Florida Statutes Based Amendments**

1. Updates to the planning period and population projections.
2. Update of the data and analysis and related Objectives and Policies of 2024 Plan elements.

#### **C. Changes in Local Conditions Amendments**

1. Format revisions incorporated within the 2024 Plan.
2. Local issue amendments.

The following 2024 Plan revisions to the current adopted Comprehensive Plan (2019 Plan) are identified by underline (additions to current text) or ~~strike through~~ (deletions of current text) format.

## II. NOTIFICATION LETTER AMENDMENTS

The following EAR-based amendments are incorporated in the Wastewater, Solid Waste, Drainage, Potable Water and Natural Groundwater Aquifer Recharge Element:

These revisions address changes to F.S. related to water supply from entity other than the local government.

Policy 1.3.3: In compliance with Chapter 163, Part II, F.S., the Town shall ~~adopt~~ continue to participate in the preparation of the Water Supply Facilities Work Plan ~~(attached) by the City of Boynton Beach.~~

Policy 1.3.4: The Town's ~~Water Supply Facilities Work Plan~~ population and water demand projections and conservation policies shall be updated within 18 months after the South Florida Water Management Districts updates its Lower East Coast Regional Water Supply Plan.

Policy 1.3.5: The Town shall annually advise potable water users, during the dry season, to reduce usage for landscaping irrigation and to properly time irrigation activities.

Policy 1.3.6: The Town shall enforce all water use restrictions consistent with water shortage or water shortage emergency declarations in accordance with a South Florida Water Management Shortage Plan.

The following 2024 Plan revisions to the Coastal Management Element have been made:

These revisions were proposed during meetings with Town Staff regarding current circumstances in the community.

Objective 1.2: Maintain the current estuarine protection policies by permitting no new private direct drainage outfalls into the Intracoastal Waterway. ~~Improve the water quality by outfall elimination and possible public sewer line extension.~~

Policy 1.4.2: Continue to use land use controls to prevent construction that impacts the dune and its vegetation system. Development applications for oceanfront properties shall provide a vegetative analysis, during the land development review process, of the existing dune and its vegetation.

Policy 1.4.3: The Town shall coordinate with local and state agencies to continue beach restoration and renourishment activities within the Town.

Policy 1.4.4: The Town shall coordinate with Palm Beach County to examine the possible impacts of shore protection structures, such as groins, revetments or seawalls on the Town's beaches.

Policy 2.1.7: ~~By the year 2022, the Town shall initiate a study or participate~~ Participate with local and regional governments in a regional governmental study studies which will assist in evaluating ~~to evaluate~~ the Town's vulnerabilities to the

effects of sea level rise. The ~~study shall~~ studies should assist the Town in examining ~~examine~~ the following:

- a. Areas of the Town which experience periodic flooding;
- b. Identification of natural areas impacted by sea level change;
- c. Identification of infrastructure impacted by sea level change, including drainage systems within the Town.
- d. Evaluate the option to establish Adaptation Action Area(s) pursuant to Chapter 163.3164, Florida Statutes;
- e. Identify policies and land development regulations to be modified to address sea level change;
- f. Identify funding sources for infrastructure to address the impacts of sea level change;
- g. Identify seawall locations, lengths and heights; and
- h. Identify the Coastal Construction Control line and the structures impacted.

Objective 2.2: The Town shall continue to coordinate with ~~the Palm Beach County Comprehensive Emergency Management Plan to achieve a post-disaster redevelopment plan.~~ adjacent local governments, Palm Beach County, Treasure Coast Regional Planning Council, the State of Florida and the Federal Emergency Management Agency in preparing post-disaster redevelopment plans to reduce or eliminate the exposure of human life and public and private property to natural hazards.

Policy 2.2.1: ~~The Town shall maintain a post-disaster redevelopment plan in concert with the Countywide Post Disaster Redevelopment Plan.~~ Actively participate with Palm Beach County in the scheduled updates of the Local Mitigation Strategy, Community Emergency Management Plan, and Post Disaster Redevelopment Program. Incorporate appropriate recommendations from the updates within the Comprehensive Plan or other Town programs, as necessary.

Policy 2.2.3: Participate with the Treasure Coast Regional Planning Council and the Palm Beach County Public Safety Department and Division of Emergency Management to maintain an updated plan for emergency evacuation related to potential hurricane impact.

Policy 2.2.4: In the event of a disaster, provide for repair, relocation, or structural modification of damaged infrastructure and services, consistent with federal funding requirements. Priority shall be given to immediate clean-up actions, and the maintenance of critical municipal services.

Policy 2.2.5: Maintain and update a Flood Hazard and Property Protection Information page on the Town's website to keep residents and property owners informed regarding flood hazards, flood insurance, flood safety, property protection, and drainage system maintenance issues.

~~Policy 2.3.2: By the year 2022, the Town shall conduct a study or participate in a regional governmental study regarding the stormwater drainage systems within Town. Such study will identify areas of improvement where the system can be more efficient. The study should identify possible enhancements such as capital improvements, drainage system upgrades, development code modifications and possible adjustments to the finished floor elevations and the Town's master drainage plan.~~

### III. ADDITIONAL FLORIDA STATUTES BASED AMENDMENTS

The Town's comprehensive plan must include a planning period for at least a ten-year period and population projections of at least 10 and 20-year periods. The 2020 Census population of Ocean Ridge was established at 1,830 residents. Future Town population generated by the Palm Beach County Planning Division, a professionally accepted source, is projected at 1,964 residents by 2035 and 1,978 residents by 2045.

Florida Statutes Chapter 163.3177(1)(f) requires the Comprehensive Plan to be based upon relevant and appropriate data and analysis. In this regard data and analysis has been updated in the 2024 Plan. In some cases, the data and analysis updates have resulted in revisions to the 2024 Plan Elements. The following is an element-by-element summary of the 2024 Plan data and analysis updates:

#### 1. Future Land Use:

- a. Vacant land analysis. The amount of vacant land available for future development is inconsistent throughout the 2019 plan. A review of Palm Beach County Property Appraiser data and aerial photograph review indicates that remaining development potential is limited to 15 vacant single-family residential lots. This figure is now incorporated throughout the 2024 Plan.
- b. Population Projections. Table 1 Population Projections has been updated to incorporate 10 and 20-year populations projections.
- c. Historic Property Regulations. In meetings with Town staff, it was determined that there are no historic or archaeological sites in the Town. As a result, Objective 5 and related Policies have been deleted from the 2019 Plan.

#### 2. Transportation:

- a. Update of Traffic Count Data. Traffic count data on Ocean Avenue, State Road A-1-A and East Woolbright Avenue have been updated using information provided by the Florida Department of Transportation. Updated information indicates that the Town's Level-of-Service (LOS) standards have not been compromised by current traffic volumes.
- 3. Housing.
  - a. Update of Demographics and Housing Data. Table 3 – 2022 Demographic Characteristics Analysis is added to the 2024 Plan, updating outdated Census data from 2010 and 2020. Table 3 also added Florida, as opposed to the United States, for comparison purposes. Updated Text using the data in Table 3 is also included in the 2024 Plan.
- 4. Wastewater, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge.
  - a. Table 4 Infrastructure Needs Projections. Table 4 is revised in the 2024 Plan based upon the updated 10 and 20-year population projections update.
  - b. Deletion of the Boynton Beach and Ocean Ridge 10-Year Water Supply Plans. The 2008 City of Boynton Beach 10-Year Water Supply Facilities Work Plan and the 2009 Town of Ocean Ridge Water Supply Facilities work Plan are currently fully included in the Town's 2019 Plan. The Boynton Beach 2008 Plan and the Town's 2009 Plan have been deleted from the 2024 Plan and replaced by the current requirements for municipalities with no water supply responsibility. Refer to Section II.A for a more detailed discussion.
- 5. Coastal Management. No data and analysis revisions are made.
- 6. Conservation Element. No data and analysis revisions are made.
- 7. Recreation and Open Space.
  - a. Recreation and Open Space Update. Table 5 and Map 7 are added to the 2024 Plan updating, listing and locating recreation and conservation facilities in Ocean Ridge. The discussion of existing recreation and open space areas is updated to reflect the data presented in Table 5.
- 8. Intergovernmental Coordination. No data and analysis revisions are made.
- 9. Capital Improvements.

- a. Update of Level-of-Service Projections. Table 6 Level-of-Service Projection Summary is added to the 2024 Plan revising services demand based upon the updated 10 and 20-year population projections.
- b. Addition of Map 8 Flood Map. The current FEMA Map is included in the 2019 Plan.

The Goals, Objectives and Policies of each Element of the 2019 Plan were also reviewed and discussed with Town staff and consultants to clarify meaning, intent and/or direction. Major revisions which add new, or revised direction to existing policy, or address new issues are summarized as follows:

1. Future Land Use:

- a. Delete Objective 5 and Policies 5.1 and 5.2:

~~Objective 5: Maintain historic property regulations that preserve historic houses or identify and preserve archaeological sites.~~

~~Policy 5.1: Maintain land Land development regulations to shall include provisions that assure special review of any renovation or demolition permit applications of any applicable historic structures in the Town.~~

~~Policy 5.2: Town staff shall work with the State Division of Historical Resources to locate archaeological sites (if possible) and assess their condition.~~

- b. Revise Objective 6:

~~Objective 6: Restrict development to 1,730 dwelling units~~ Development in the entire Town shall be controlled by uses, densities and intensities assigned by the Future Land Use Map and the land development code.

2. Transportation: No major revisions.

3. Housing.

- a. Revise Objective 1.4 and Policies 1.4.1 and 1.4.2:

~~Objective 1.4: Where feasible, accommodate a fair share of the County's group homes~~ Accommodate community residential homes subject to state requirements and manufactured modular housing concepts subject to compliance with the Town's land development regulations

~~Policy 1.4.1: The Town shall continue to work with Palm Beach County and State~~ regulatory agencies to a) permit group and foster care community

~~residential homes, per F.S. 419, of 6 residents or less in all residential districts if State HRS and Town site plan review standards are met, b) to permit manufactured or prefabricated modular housing that meets the building code and c) to enact multifamily zoning provisions that bring new construction within reach of moderate income households.~~

Policy 1.4.2: Modular housing prototypes shall be reviewed for consistency with the Town's character and land development regulations prior to accepting land development and building permit applications.

b. Delete Objective 1.5 and Policy 1.5.1:

~~Objective 1.5: Historic resources listed in the National Register of Historic Places shall be subject to all applicable Town, State and federal legislation.~~

~~Policy 1.5.1: Prior to designating any structure or archaeological site as significant and worthy of the protection, the Town Commission shall consider, but not be limited to, the following standards:~~

- ~~a. The significance of the site as a landmark;~~
- ~~b. The role of the site in the Town's history or archaeological past.~~

~~The Town shall encourage that these sites be maintained in their historic and/or archaeologically significant state, and not be significantly altered, threatened, or removed.~~

4. Wastewater, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge.

a. Revise Policy 1.2.3:

Policy 1.2.3: Potable Water. In cooperation with Boynton Beach, the Town's water distribution system shall provide the Town's population an average of 175 gallons of finished water per person per day. 200 gallons per person per day and shall be reduced to a Level of Service standard of 175 gallons per person per day by 2013. Prior to the issuance of a building permit, the Town shall confirm with the City of Boynton Beach that adequate water supplies to serve the new development will be available no later than the anticipated date of issuance of the certificate of occupancy.

5. Coastal Management.

a. Revise Objective 1.2:

Objective 1.2: Maintain the current estuarine protection policies by permitting no new private direct drainage outfalls into the Intracoastal Waterway. ~~Improve the water quality by outfall elimination and possible public sewer line extension.~~

b. Delete Policy 2.3.2:

~~Policy 2.3.2: By the year 2022, the Town shall conduct a study or participate in a regional governmental study regarding the stormwater drainage systems within Town. Such study will identify areas of improvement where the system can be more efficient. The study should identify possible enhancements such as capital improvements, drainage system upgrades, development code modifications and possible adjustments to the finished floor elevations and the Town's master drainage plan.~~

6. Conservation Element. No major revisions.

7. Recreation and Open Space. No major revisions.

8. Intergovernmental Coordination.

a. Revise Policies 1.3.2 and 1.3.3:

Policy: 1.3.2 The Town will work with the School District on population projections and school siting in accordance with Section 163.3177(6)(h)(2) of the Florida Statutes.

Policy 1.3.3: The Town shall abide by, and participate in, the “Interlocal Agreement between the School Board of Palm Beach County and Municipalities of Palm Beach County for Coordinated Planning”, adopted by the Palm Beach County Board of County Commissioners through Resolution 2015-1864.

9. Capital Improvements.

a. Revise Policy 1.1.2:

Policy 1.1.2: Staff and engineering studies shall form the basis for the annual preparation of a five year and ten-year capital improvement program. The capital improvement program preparation shall be incorporated within the Town's annual budget process. Systematic renovation/replacement criteria shall be used in this process.

b. Revise Objective 1.6:

Objective 1.6: The Town shall adopt a Capital Improvements Program covering at least 5 and 10 fiscal years and ~~shall adopt a Capital Budget on an annual basis~~ as part of the Town’s annual budgeting process.

c. Revise Policy 1.6.2:

Policy 1.6.2.: ~~The Schedule of Capital Improvements in Table 9A is hereby adopted as the Town’s Five-Year Capital Improvement Plan.~~

<p style="text-align: center;">Table 9A Town of Ocean Ridge Five-Year Schedule of Capital Improvements Plan</p>					
Improvement	2009/2010	2010/2011	2011/2012	2012/2013	2013/2014
Maintenance of Town facilities	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000
Coconut Road Drainage improvements	\$500,000				

~~The Island Drive Bridge repair, the Inlet Cay Seawall repair and Coconut Road Drainage improvements are being funded through existing balance reserves. Funding for Maintenance activities is generated from the Town’s General Operating Revenue. Funding Projected funding for capital projects are estimates. If additional Capital Improvement work is anticipated, the above Table 9A shall to be updated annually to reflect the planning, and available funding sources and amounts costs of such activities.~~

**IV. NOTIFICATION LETTER AMENDMENTS**

No significant changes in local conditions have been identified.

# **TOWN OF OCEAN RIDGE, FLORIDA 2024 EAR-BASED AMENDMENTS TO ADOPTED COMPREHENSIVE PLAN**



**Prepared By:  
Town of Ocean Ridge, Florida  
Urban Design Kilday Studios, Planning Consultant**

**LISTING OF COMPREHENSIVE PLAN ELEMENTS**

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# Future Land Use Element

## Data and Analysis Update

The Town of Ocean Ridge is a small residential community located in the southern portion of Palm Beach County, east of Boynton Beach. It is approximately 635.6 acres in size and located entirely on the barrier island, bordered by the Atlantic Ocean to the east and the Intracoastal Waterway to the west. To the north is unincorporated land under county jurisdiction. This land is primarily used as a water access park to the Boynton Inlet (aka Lake Worth Inlet), located just to the north of the Town. This Inlet is not within the jurisdiction of Ocean Ridge but is considered to have a major impact on and is a key characteristic ~~for~~ of the Town.

To the south of Ocean Ridge is the Town of Briny Breezes, which consists almost entirely of a single mobile home park. South of Briny Breezes is a similar small town to Ocean Ridge, known as Gulf Stream. These old Florida residential municipalities form a string of small residential pearls between the large cities of Boynton Beach and Delray Beach.

Ocean Ridge is a beach-oriented town characterized primarily by single family homes with lush, well maintained landscaping and extensive outdoor recreational opportunities. There are also Intracoastal and beachfront condominiums, and cooperative ~~a few~~ multi-family buildings scattered throughout the Town. There are very little few commercial improvements left in Town.

Although early houses were typically mansions, especially those with frontage on the ocean, today the town is extensively subdivided, with fewer large mansions and more moderate sized, distinguished homes. The majority of the town grew as subdivisions between the Atlantic Ocean and the Intracoastal Waterway. In an effort to maintain a tranquil setting, commercial and industrial uses ~~have been prohibited~~ are not permitted. There are 24 vacant lots that remain throughout the town that are designated for single family housing.

The Town has four Future Land Use designations: Single Family Residential, Multiple Family Residential, Public and Preservation/Conservation. There are no Industrial or Commercial Future Land Use designations within the Town. The Single Family Residential Future Land Use designation has a maximum density of three dwelling units per acre. The Multiple Family Residential Future Land Use designation has a maximum density of 10 dwelling units per acre.

Although there are no designated areas for Industrial or Commercial uses, the Town is located within Palm Beach County's Urban Service Boundary and all dwelling units within the town are within two miles of commercial or industrial uses. Many of the homes ~~of~~ are less than one mile from these uses. Sidewalks connect the Town's neighborhoods with the adjacent non-residential land uses. This proximity and option for alternative transportation provides for energy conservation and lower greenhouse gas emissions.

There has been little change in Ocean Ridge since the adoption of the original Comprehensive Plan. The stability of the Town is primarily due to its near built-out status, small size and water-locked location. Since the great majority of the land is built-out, the primary concern for the Town is redevelopment. The ~~current~~ permanent resident population estimate per the ~~2010-2020~~ census for the Town was ~~1,786~~ 1,830 persons. Housing status, economic and social conditions, the provision of essential utilities and services, and the financial feasibility of accommodating the limited growth potential ~~has~~ have incurred minimal change since the 1989 Comprehensive Plan was adopted.

~~The future population~~ Population projections for the Town used the methodology and studies undertaken by the Shimberg Center for Affordable Housing, Rinker School of Building Construction, College of Design, Construction and Planning at the University of Florida. Are prepared by the Palm Beach County Planning Division for planning programs throughout the county.

Two planning periods are required by Florida Statutes: 10-years and 20-years. Population growth during the 2025 to 2035 period is projected at 65 residents. Population growth during the 2035 to 2045 period is projected at 14 residents.

**Table 1 - Population Projections**

	<u>2020</u>	<u>2025</u>	<u>2030</u>	<u>2035</u>	<u>2040</u>	<u>2045</u>	<u>Delete Column</u>
	<u>2010</u>	<u>2016</u>	<u>2020</u>	<u>2025</u>	<u>2030</u>	<u>2035</u>	<u>2040</u>
<b>Population Projection</b>	<u>1,830</u>	<u>1,899</u>	<u>1,932</u>	<u>1,964</u>	<u>1,972</u>	<u>1,978</u>	
	<u>1,786</u>	<u>1,780</u>	<u>1,808</u>	<u>1,837</u>	<u>1,851</u>	<u>1,845</u>	<u>1,857</u>

Source: U.S. Census, Shimberg Center, University of Florida Palm Beach County Planning Division 2024.

## Future Land Use Element

### GOALS, OBJECTIVES, & POLICIES

**GOAL: PROTECT AND ENHANCE THE RESIDENTIAL CHARACTER AND NATURAL ENVIRONMENT OF OCEAN RIDGE.**

**Objective 1: Restrict future development to vacant and upland parcels that have package sewer service or that have soil characteristics capable of supporting septic systems.**

Policy 1.1: ~~Arrange the future land use map so that all significant Single Family Residential, Multiple Family Residential, and Public land uses shall occur development occurs on upland parcels, as shown on Map 1 2035 Future Land Use and so that wetland Wetland areas are shall be designated for Preservation/Conservation use. Significant development shall include but not be limited to buildings, parking lots and thoroughfares.~~ **Require** the demonstration of adequate on-site sewage disposal capabilities prior to issuance of development permits. Capabilities may include: 1) soil conditions suitable for anticipated septic tank loads; and/or 2) package treatment facilities.

Policy 1.2: ~~Enforce development code regulations that require~~ **Require** the demonstration of adequate on-site sewage disposal capabilities prior to issuance of development permits. Capabilities may include: 1) soil conditions suitable for anticipated septic tank loads; and/or 2) package treatment facilities.

Policy 1.3: ~~Enforce developmental code regulations that permit~~ **Permit** new development to proceed only when it can be connected to central water service.

Policy 1.4: ~~Enforce development code regulations that require~~ **Require** installation of easily-accessible sewer system connections for future use should public sewer facilities become available in Ocean Ridge.

Policy 1.5: The Town shall retain those tracts designated Preservation/Conservation which are now in its ownership.

Policy 1.6: ~~Enforce development code regulations that prohibit~~ **Prohibit** the issuance of development orders and permits which would result in a level-of-service for any public facility below the level established in this comprehensive plan.

**Objective 2: Achieve the rehabilitation or removal of unsound and poorly maintained structures wherever they occur in Ocean Ridge.**

Policy 2.1: ~~Enforce development code regulations that require~~ **Require** buildings and structures to be maintained in sound condition or razed.

Policy 2.2: Adopt Town administrative policies which ensure that unsound buildings, should any exist, will be identified and then razed or rehabilitated in accordance with development code regulations enacted pursuant to Policy 2.1.

**Objective 3: Eliminate all existing uses which are inconsistent with the character of Ocean Ridge and prevent such uses from being established in the future.**

Policy 3.1: Maintain the future land use map so that agriculture, commercial and industrial uses are not permitted in Ocean Ridge. The Town Commission of Ocean Ridge has determined these uses to be incompatible with the Town’s existing and desired future residential character.

Policy 3.2: ~~Maintain development code regulations that require~~ Require, after a period of amortization, the removal of all hotels, motels, or other commercial uses.

Policy 3.3: ~~Enforce development~~ Development code regulations ~~which shall~~ address the location and extent of residential, public, preservation/conservation and park uses in accordance with the future land use map.

Policy 3.4: ~~Enforce development code regulations that prohibit~~ Prohibit agricultural, commercial, and industrial land uses in accordance with the future land use map. The Town Commission of Ocean Ridge has determined these uses to be incompatible with the Town’s existing and desired future residential character.

**Objective 4: Perpetually maintain or improve the current quality and extent of existing natural resources as identified in the coastal management and conservation elements of this plan.**

Policy 4.1: Land containing flora and fauna that are endangered, threatened, or of special concern designated by federal, state or county agencies shall be identified by the applicant during the development review process.

Policy 4.2: ~~Enforce development code regulations that limit~~ Limit development of areas designated on the future land use map as Preservation/Conservation in accordance with the section of this land use element entitled “Future Land Use Categories.”

Policy 4.3: ~~Enforce development code regulations that protect~~ Protect potable water well fields and prime aquifer recharge areas, should any be established, from adverse impacts of development.

Policy 4.4: Applications for development permits in V1 through V30 floodplains as designated by the Federal Emergency Management Agency shall be approved only if significant alteration of the functions of the flood plain will not occur and if the proposed development is consistent with the performance standards regulating development.

Policy 4.5: ~~Enforce development code regulations that require~~ Require on-site runoff management facilities sufficient to ensure that post development runoff rates, volumes and pollutant load will not exceed pre-development conditions.

Policy 4.6: ~~Enforce development code regulations that prohibit~~ Prohibit extraction of natural resources.

Policy 4.7: ~~Enforce development code regulations that require~~ Define and require reasonable environmental protections attendant to all development adjacent to water bodies and Preservation/Conservation areas, including an environmental report requirement.

~~**Objective 5: Maintain historic property regulations that preserve historic houses or identify and preserve archaeological sites.**~~

~~Policy 5.1: Maintain land Land development regulations to ~~shall~~ include provisions that assure special review of any renovation or demolition permit applications of any applicable historic structures in the Town.~~

~~Policy 5.2: Town staff shall work with the State Division of Historical Resources to locate archaeological sites (if possible) and assess their condition.~~

~~**Objective 6: Restrict development to 1,730 dwelling units** Development in the entire Town shall be controlled by uses, densities and intensities assigned by the Future Land Use Map and the land development code.~~

~~Policy 6.1: Arrange the future land use map so that the number of dwelling units (excluding hotels) in Ocean Ridge will not exceed 1,730.~~

~~Policy 6.2: Enforce development code regulations that limit development in areas designated on the Future Land Use Map as single family residential and medium density multiple family residential in accordance with the section of this land use element entitled "Future Land Use Categories."~~

~~Policy ~~6.3~~ 6.1: Future land use within the Town shall be depicted within four land use categories. These categories are: Single Family Residential, Multiple Family Residential, Public and Preservation/Conservation. The Single Family Residential Future Land Use designation shall have a maximum density of three dwelling units per acre. The Multiple Family Residential Future Land Use designation shall have a maximum density of 10 dwelling units per acre.~~

~~Policy 6.2 The Single Family Residential Future Land Use designation shall have a maximum density of three dwelling units per acre. The Multiple Family Residential Future Land Use designation shall have a maximum density of 10 dwelling units per acre.~~

~~Policy 6.3: The development code shall include zoning districts and specific standards per Objective 9 necessary to direct development activity in each of the future land use categories.~~

~~**Objective 7: Allow without unnecessary delay the maximum amount of development within each of the future land use categories permitted by the Future Land Use Map and provided that such development is consistent with the goals and other objectives of this plan. For the**~~

**purposes of this objective, such development is defined as that which is permitted by the future land use map.**

Policy 7.1: Arrange the future land use map to accommodate the maximum amount of residential development consistent with the goals and other objectives of this plan.

Policy 7.2 7.1: Enact and enforce Land development code regulations that shall address the locations and extent of residential, recreational, conservation, education and public land uses in accordance with the future land use map and the policies and descriptions of including specific types, sizes, densities, and intensities of land contained in this element. development.

Policy 7.3 7.2: Continue policies that require the Town administrative and building officials to process all applications for development permits and orders in a timely manner, if consistent with the this plan and the development code. This policy is intended to facilitate development, but it shall not be interpreted to encourage or permit short cuts in the development review process or to permit or encourage any development or use of land in a manner inconsistent with this plan or the Town’s Code or other applicable regulations.

**Objective 8: If any new streets are constructed, use the development code to achieve adequate rights-of-way and other easements for the underground installation, where possible, of utility lines including electric, telecommunications, water and sewer lines.**

Policy 8.1: ~~Enforce development code regulations which require~~ Require that rights-of-way on all newly platted streets be adequate to accommodate utility lines.

Policy 8.2: ~~Enforce development code regulations which require~~ Require that easements be designated within private property when such easements are necessary to the provision of utility lines.

**Objective 9: Manage future growth and development through the utilization of innovative development code regulations which implement this plan.**

Policy 9.1: Maintain the development code to contain specific and detailed regulations that implement this Comprehensive Plan, and:

- Regulate the development of land in accordance with the arrangement of land use categories articulated ~~in~~ on the future land use map;
- Regulate the land use categories of this plan in accordance with the sections of this land use element entitles “Future Land Use Categories,”
- Regulate the subdivision of land:
- Regulate signage;

- Regulate development of areas subject to seasonal or periodic flooding and require provision of drainage and stormwater management;
- Specifically, prohibit the issuance of development orders and permits which would result in a level of service for any public facility below the level adopted in this *Comprehensive Plan*;
- Require on-site runoff management facilities sufficient to ensure that post-development runoff rates, volumes and pollutant loads will not exceed pre-development conditions;
- Require the provision of on-site open space ~~for all development~~ and on-site buffering where different types of development are adjacent;
- Require the provision of on-site facilities which ensure safe and convenient traffic flow and vehicle parking needs;
- Protect potable water wellfields and aquifer recharge areas, should any ever be established, from adverse impacts of development; and
- Protect environmentally sensitive land (particularly conservation areas) from the adverse impacts of development.

~~Policy 9.2: Enforce development code regulations that address the location and extent of proposed residential, recreational, conservation, education, and public uses in accordance with the future land use map and the policies and descriptions of types, sizes, densities and intensities of land contained in this element.~~

Policy ~~9.3~~ 9.2: Any proposed development within an environmentally sensitive area, as defined in the Conservation Element, shall include an environmental assessment report as part of the development review process.

**Objective 10: Achieve a future development and redevelopment pattern that is consistent with sound planning principles; the goals, objectives and policies of this plan, and the residential character desired for Ocean Ridge.**

Policy 10.1: Development shall be directed to upland parcels within the Town. Wetlands, as designated by the U.S. Army Corps of Engineers, shall be preserved and not developed, unless expressly permitted by the U.S. Army Corps of Engineers and the South Florida Water Management District and consistent with the Town's Policies.

Policy 10.2: Consider the enactment of flexible development code regulations including, but not necessarily limited to, planned unit developments and cluster zoning provisions.

Policy 10.3: ~~Enforce subdivision and other plat regulations that permit local~~ Local streets and individual lots ~~to shall~~ have access to higher level streets including, but not limited to, State Road

A1A. This policy is intended to protect the residential character of Ocean Ridge by inhibiting extraneous traffic flow.

Policy 10.4.: With any requested Future Land Use Plan amendment that would increase the intensity and density of the parcel, the applicant shall provide a justification statement to the satisfaction of the Town indicating that the increased density meets all aspects of this Comprehensive Plan and the Town's Concurrency Management program.

Policy 10.5.: Any new development or redevelopment conducted by the Town on public facilities shall incorporate, when feasible, energy-efficient design and construction techniques.

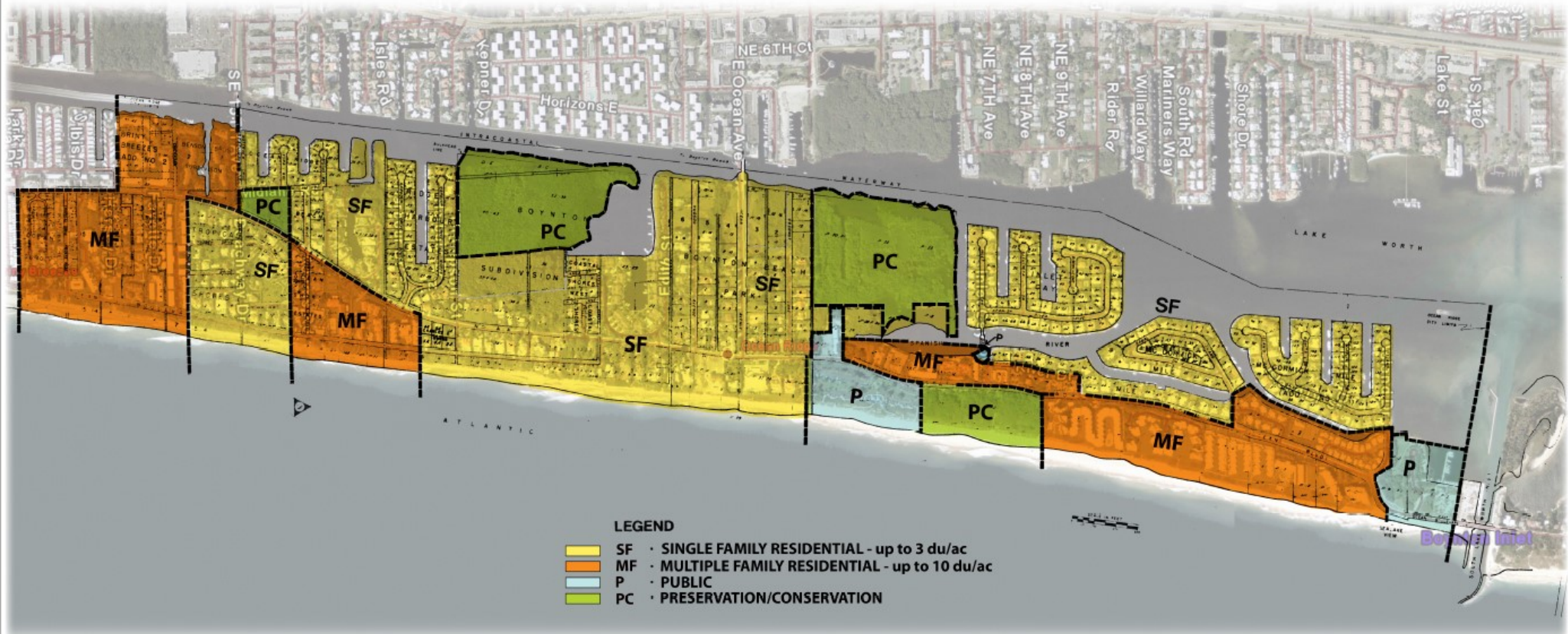
Policy 10.6: The Town shall regulate development and redevelopment efforts in the Town to maximize aesthetic, environmental, recreational and economic resources while enhancing resilience to sea level rise impacts.

Policy 10.7: Any new streets proposed as part of a planned development, subdivision, or redevelopment effort shall conform to the Town Code with regards to the rights-of-way and pavement widths. Proposed new streets and other infrastructure shall provide evidence that facility design reflects its resiliency to the effects of sea level rise and other flooding impacts.

**Map 1 – 2035 Future Land Use**

Town of  
**Ocean Ridge**  
Florida

Future Land Use Map  
2029



## Transportation Element Data and Analysis Update

There is only one main arterial roadway through the Town; State Road A1A, which bisects the Town in a north-south direction. As identified on Metropolitan Planning Organization Palm Beach Transportation Planning Agency (TPA) and Palm Beach County maps, State Road A1A is a constrained roadway, limited by existing conditions, including physical, environmental or policy constraints, to a maximum of two lanes. This constrained roadway and is also identified as a shared facility, and marked with appropriate signage, for vehicular and bicycle use.

There are two arterial roadways within the Town’s jurisdiction; This is the eastern terminus of East Woolbright Road and the eastern terminus of Ocean Avenue. Both roadway are two-lane facilities and are classified as urban minor arterial roadways. State Road A1A and Ocean Avenue are maintained by the State while East Woolbright Road is maintained by Palm Beach County. All three of the roadways have an adopted level of service of “D,” which is reflected in incorporated within the Town’s Comprehensive Plan. These roadways are generally operating below this the adopted level of service, as indicated illustrated by traffic count data for 2020, 2021 and 2023 presented in the table below Table 2.

### Traffic Counts (Daily Trips) on Arterial Roadways within Town of Ocean Ridge

	2003	2004	2005	2006	2007	2008	Level of Service “D” ADT
State A1A	11,787	11,457	11,224	13,261	9,606	6,802	12,300
Ocean Avenue	7,633	6,652	6,836	7,469	5,784	6,289	12,300
East Woolbright Road	12,226	11,013	12,750	13,312	10,894	10,785	12,300

Source: Palm Beach County Engineering Department, Traffic Division

Table 2 - Traffic Counts (Daily Trips) on Arterial Roadways within Town of Ocean Ridge

Roadway	Location	2020	2021 (1)	2023	Level of Service “D” ADT/ 2-Way /Peak
Ocean Ave.	At East end of the bridge	11,400	16,700	13,200	15,200/1,480
State A1A	South of Ocean Ave.	6,100	9,300	6,600	15,200/1,480
State A1A	North of Woolbright	4,800	8,600	5,900	15,200/1,480

East Woolbright	At West end of the bridge	6,700	10,100	7,500	15,200/1,480
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(1) According to FDOT District 4 staff, a principal cause of the traffic count spike in 2021 was a response to the COVID 19 virus.

**Source: Florida Department of Transportation Florida Traffic Online 2024**

Local roadways under the control of the Town are operating within its adopted level of service standard of “C”, per Section 63-17(a)(1) of the Land Development Code. Developments that influence overcapacity on Town roads are responsible for either mitigating their impact or demonstrating that impacts are not created. Ample opportunities exist for developers to mitigate their impacts through the Palm Beach County Concurrency regulations.

It is projected that all future land uses and associated trips can be accommodated by the existing traffic circulation network. In conclusion, the roadways within the Town’s jurisdiction are satisfactory with only typical maintenance planned. ~~There are no planned~~ Planned capital improvement projects that would incur the expenditure of Town funds ~~projected~~ for either the 5 or 10 year planning periods will be addressed as part of the annual budget approval process.

The Town of Ocean Ridge has a bicycle-pedestrian pathway located along the west side of State Road A1A, south side of East Woolbright Road and along both sides of Ocean Boulevard. This pathway is popular with Town residents and provides an alternative means of transportation within the community. The pathway connects the Town to various Palm Beach County parks, and adjacent municipalities and commercial areas. The use of the pathway aids in the state-mandated reduction of greenhouse gas emissions within the State.

Currently, no public transportation routes and facilities exist or are planned for the Town by the local public transportation provider, PalmTran. No public transit routes or facilities have been identified for the Town within the 2030 Palm Beach County Metropolitan Planning Organization Palm Beach County Transportation Planning Agency (TPA) transit map.

## Transportation Element

### GOALS, OBJECTIVES, & POLICIES

**GOAL: TO MAINTAIN A TRANSPORTATION SYSTEM THAT MEETS THE CIRCULATION NEEDS OF OCEAN RIDGE IN A SAFE AND EFFICIENT MANNER, BUT DOES NOT ADVERSELY IMPACT RESIDENTIAL, PUBLIC OR PRESERVATION/CONSERVATION USES.**

**Objective 1.1: Retain without substantial modification, the existing adequate circulation system, as depicted on Map 2 - 2035 Transportation Map.**

Policy 1.1.1: Utilize level of service “D” as the peak hour standard for all arterial roadways and “C” for all local roadways.

Policy 1.1.2: Continue to use the development plan review process to control roadway access points and on-site traffic flow.

**Objective 1.2: By reducing maintaining land use intensities, the Town shall avoid the need for any new roadways or widenings.**

Policy 1.2.1: Retain the existing circulation system, avoiding the widening of roadways and bridges leading into the Town.

Policy 1.2.2: Retain the bicycle-pedestrian path along State Route A1A.

Policy 1.2.3: New development or redevelopment is encouraged to provide a pedestrian connection to the State Route A1A pathway.

Policy 1.2.4: The Town shall continue to work with the Florida Department of Transportation to secure and retain the pedestrian crosswalks and crosswalk signage across State Route A1A within the municipality.

Policy 1.2.5: The Town shall promote pedestrian and bicycle safety within the Town and within the State Route A1A pathway. This may include public safety programs and information on the Town’s website and/or newsletter.

**Objective 1.3: Coordinate Town transportation planning with regional and State agencies in order to retain the current roadway system characteristics.**

Policy 1.3.1: The Town Commission shall continue to coordinate with the ~~MPO~~ TPA, FDOT and regional transportation planning agencies to seek viable alternatives to roadway widening or bridge relocation, as necessary.

Policy 1.3.2: Resist through litigation, if necessary, all attempts by ~~MPO~~ TPA, FDOT, and others to force roadway or bridge widening and bridge relocation.

Policy 1.3.3: The Town shall continue to coordinate with ~~MPO~~ TPA, Palm Beach County, Palm Tran and surrounding communities to identify any potential alternative transportation opportunities within the area.

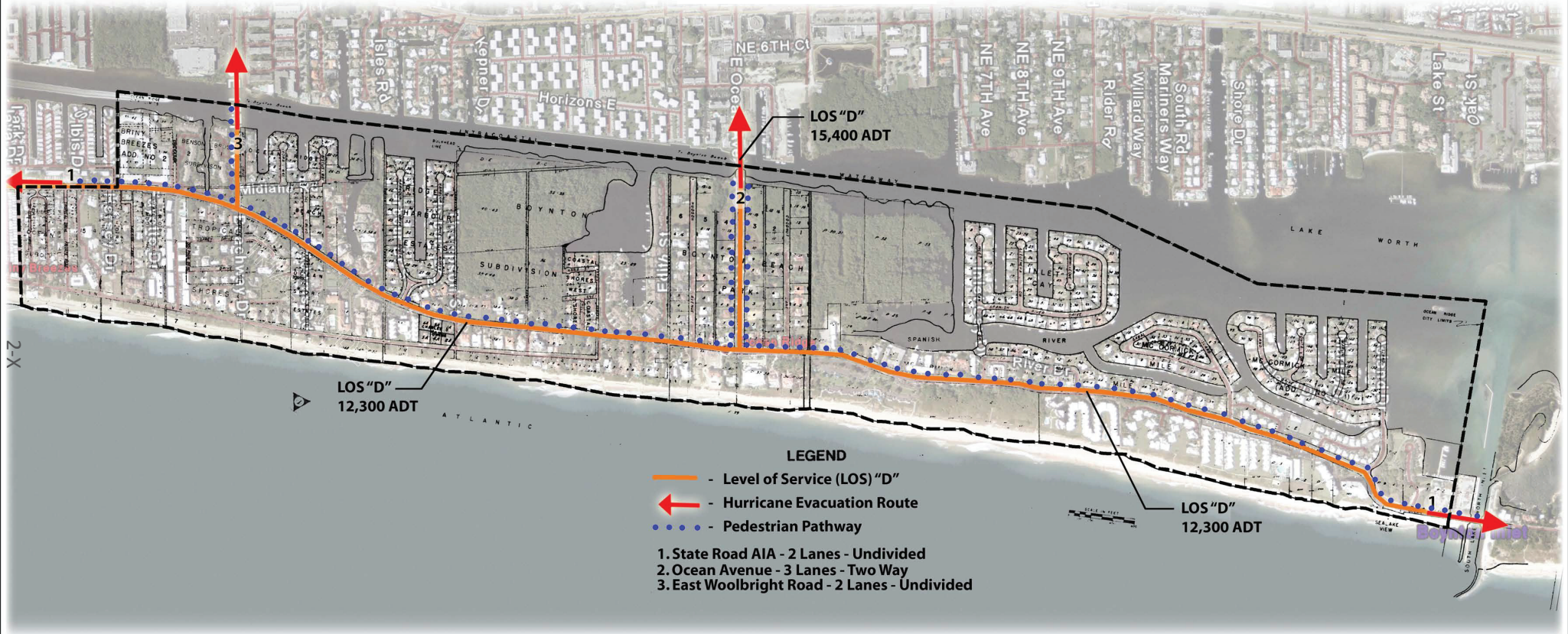
**Objective 1.4: Use the development code to protect existing street rights-of-way for which the Town Commission determines there exists a present or potential future need.**

Policy 1.4.1: Use the development review process to protect the existing major street rights-of-way. No additional rights-of-way are needed or desired.

**MAP 2 - 2035 Transportation Map**

Town of  
**Ocean Ridge**  
 Florida

Map 2 - 2035 Transportation  
 Map



- LEGEND**
- - Level of Service (LOS) "D"
  - ← - Hurricane Evacuation Route
  - - Pedestrian Pathway
1. State Road AIA - 2 Lanes - Undivided
  2. Ocean Avenue - 3 Lanes - Two Way
  3. East Woolbright Road - 2 Lanes - Undivided



# Housing Element

## Data and Analysis Update

The Town of Ocean Ridge is a small residential community located in the southern portion of Palm Beach County. It is approximately 635.6 acres in size and located entirely on the barrier island, bordered by the Atlantic Ocean to the east and the Intracoastal Waterway to the west.

Ocean Ridge is a beach-oriented town characterized primarily by single family homes with lush, well maintained landscaping and extensive outdoor recreational opportunities. There are also Intracoastal and beachfront condominiums and a few multi-family buildings scattered throughout the Town. There are very little commercial improvements left in Town.

Although early houses were typically mansions, especially those with frontage on the ocean, today the town is extensively subdivided, with fewer large mansions and more moderate sized, distinguished homes. The majority of the town grew as subdivisions between the Atlantic Ocean and the Intracoastal Waterway. In an effort to maintain a tranquil setting, commercial and industrial uses have been prohibited. The approximately 25 vacant lots that remain throughout the town are designated for single family housing.

The stability of the Town is primarily due to its near built-out status, small size and water-locked location. The future Future Town population projections for the Town, presented in Table 1, used the methodology and studies undertaken by the Palm Beach County Planning Division (2024) the Shimberg Center for Affordable Housing, Rinker School of Building Construction, College of Design, Construction and Planning at the University of Florida (September 2006) Population growth during the 20-year 2025 to 2045 period is projected at 79 residents per Table 1 in the Future Land Use Element. Growth during the 20-year period is can be accommodated by a combination of factors, including new residential construction, an increase in the average household size, and an increase in the percentage of resident-occupied households.

### Population Projections

	2000	2005	2009	2014	2019	2024	2029
<b>Population Projection</b>	1,636	1,655	1,681	1,705	1,724	1,739	1,747

Source: — U.S. Census, Shimberg Center, University of Florida (2006)

A comparison of Town demographic characteristics with those of Palm Beach County and the State of Florida is presented in Table 3. An understanding of the Town’s demographic characteristics, coupled with population projections is essential to the formulation of housing policies.

**Table 3 - 2022 Demographic Characteristics Analysis**

<b>Characteristic</b>	<b>Ocean Ridge</b>	<b>Palm Beach County</b>	<b>Florida</b>
<b>Population</b>			
Population	1,712	1,494,805	21,634,529
Median Age	60	45	42
Persons 65 +	687	365,029	4,520,647
<b>Housing</b>			
Housing Units	1,638	708,303	9,915,957
Single-Family Units	830	420,982	6,894,224
Multiple-Family Units (2+)	808	287,321	3,021,733
Renter-occupied housing	152	179,619	2,767,517
Median value of owner-occupied homes	\$ 1,055,100	\$ 368,300	\$ 292,200
Median rent of renter-occupied homes	\$ 1,957	\$ 1,700	\$ 1,444
<b>Households</b>			
Households	891	589,594	8,353,441
Average Household Size	1.92	2.49	2.53
Average family size	2.45	3.13	3.11
Owner-Occupied Households	739	409,975	5,585,924
Householder 65+	522	250,108	3,107,758
Renter-Occupied Households	152	179,619	2,767,517
<b>Income</b>			
Median Household Income	\$ 107,813	\$ 76,066	\$ 67,917
Median Family income	\$ 224,674	\$ 93,221	\$ 81,514

Source: 2022 ACS 5-Year Estimates Data Profiles

According to the 2000 2022 Census estimates, the median age for the Town is 56.7 60 years, old. The median age for while that of Palm Beach County is 41.8 45 years and for the U.S. the average State of Florida is 35.3. 42 years. The number of persons over 65 years in the Town was 586- 687 residents, or 35.8% 40.1% of the total population. In comparison, The the percentage of population over 65 years in Palm Beach County is 23.2%, was- 24.4% and that of the State of Florida was 20.9%, with the national percentage being 12.4% by comparison. This indicates that the The Town has a significantly older-higher population aged 65 years and older than both base than the Palm Beach County and the Nation-State of Florida.

The average household size for the Town is 1.87 1.92 persons and an average family size of 2.45 persons. The total number of households for the Town is 875 891 with 404 522 or 46.2% 58.6% of the households having individuals over 65 years of age. Palm Beach County has an average household size of 2.34 2.49 persons, and an average family size of 2.89. 3.13 persons. The total number of households for the County is 474,175 589,594 with 37.6% 42.4% of the households having individuals over 65 years of age. This is

further indication of the older retirement status of the Town in comparison with the County.

The total number of housing units for the Town is ~~1,449~~ ~~1,557~~ ~~1,638~~, with occupied housing units being ~~875~~ ~~891~~ or ~~60.4~~ ~~57.2%~~ ~~54.3%~~. The percentage of high school graduates or higher in the Town is 94.3% with the percentage of persons with a bachelor's degree or higher being 42.9%. The County's percentage of high school graduates or higher is 83.8% with 27.7% with a bachelors degree or higher. The Town's median household income in ~~1999-2022~~ was ~~\$70,625~~ ~~107,813~~ while the median family income was ~~\$99,184~~ ~~\$224,674~~. and the per capita income was ~~\$76,088~~.

Within the original 1989 Comprehensive Plan, two potential historical structures were identified. Since the Comprehensive Plan was adopted, the structures have been redeveloped. ~~during the past 10 years~~. There are no historic structures identified within the Town. ~~A new policy has been added to provide for a process of identifying historic and/or significant structures in the future.~~

~~The Town's demographics , when~~ ~~When~~ compared to ~~the federal average~~ ~~Palm Beach County~~, the Town's median ~~household income in 1999-2022~~ of ~~\$107,813~~, and median family income of ~~\$50,046~~ ~~\$224,674~~ and per capita of ~~\$21,587~~ is ~~were~~ significantly higher. The median income per household for the County was ~~\$45,062~~ ~~\$76,066~~ and a median family income ~~per family of \$53,701~~ was ~~\$93,221~~ The median per capita income for Palm Beach County was ~~\$28,801~~.

~~There were 454 owner-occupied single family homes in the town in 2000 with an~~ ~~The average median~~ value of an owner-occupied home in Ocean Ridge in 2022 was ~~\$433,300~~, ~~\$1,055,100~~ as compared to the ~~federal average~~ of ~~\$119,600~~ and the ~~2000 County average median~~ of ~~\$135,320~~ ~~\$368,300~~. The current average house ~~2024 median home~~ value in the County per Zillow Real Estate estimates is ~~\$486,715~~. ~~The increase in value of County properties would also apply to the properties within the Town.~~

These statistics clearly indicate ~~the average resident of households in~~ Ocean Ridge is ~~are typically~~ older, in a higher income bracket and owns a higher value home than ~~those of the typical American family and also higher than~~ the typical Palm Beach County resident.

# Housing Element

## GOALS, OBJECTIVES, & POLICIES

**GOAL: TO ASSURE THE AVAILABILITY OF A MIX OF HOUSING TYPES IN SOUND CONDITION.**

**Objective 1.1: Assist the private sector in providing the “in-fill” housing that Ocean Ridge can accommodate. “In-fill” housing is new housing on scattered vacant lots in neighborhoods which are largely developed.**

Policy 1.1.1: Utilize the Future Land Use Plan and zoning map as the criteria to achieve a diversity of housing types consistent with the established character and scale of the Town of Ocean Ridge.

Policy 1.1.2: Continue a municipal development application review process that minimizes delay yet assures quality control.

**Objective 1.2: Continue to maintain a housing stock with no structurally substandard units.**

Policy 1.2.1: The building inspector shall enforce the Town ordinance on “unsafe buildings” to prevent substandard housing; this also provides demolition program techniques and the basis for rehabilitation.

Policy 1.2.2: The Town shall support energy efficiency and the use of renewable energy resources in existing housing and in the design and construction of new housing.

Policy 1.2.3: New housing within the Town is encouraged to incorporate energy and resource efficient fixtures into its construction, such as low flow shower heads.

**Objective 1.3: Achieve quality multifamily development that is affordable to families with moderate incomes and authorize **manufactured modular** housing, if required by State law, in the land development regulations.**

Policy 1.3.1: The Town staff shall make a special effort to provide timely and technically helpful development reviews of plans submitted by any developer that intends to provide quality multifamily units at densities consistent with the future land use element of this plan in order to facilitate moderate income housing. This includes any developer using public authority financing or other subsidies, although given the Town’s lack of vacant medium density parcels and high land costs, housing for low income housing would require rent subsidies greater than those currently available from State or Federal agencies. For this reason, non-profit or both private sector and governmental housing does do not appear feasible. Low- and moderate-income housing is available in nearby areas.

Policy 1.3.2: Retain the multifamily land use designation in southern Ocean Ridge.

**Objective 1.4: ~~Where feasible, accommodate a fair share of the County's group homes~~ Accommodate community residential homes subject to state requirements and manufactured modular housing concepts subject to compliance with the Town's land development regulations**

Policy 1.4.1: The Town shall ~~continue to~~ work with Palm Beach County and State regulatory agencies to a) permit ~~group and foster care~~ community residential homes, per F.S. 419, of 6 residents or less in all residential districts if State ~~HRS~~ and Town site plan review standards are met, b) ~~to permit manufactured or prefabricated modular housing that meets the building code and~~ c) ~~to enact multifamily zoning provisions that bring new construction within reach of moderate income households.~~

Policy 1.4.2: Modular housing prototypes shall be reviewed for consistency with the Town's character and land development regulations prior to accepting land development and building permit applications.

**Objective 1.5: ~~Historic resources listed in the National Register of Historic Places shall be subject to all applicable Town, State and federal legislation.~~**

Policy 1.5.1: ~~Prior to designating any structure or archaeological site as significant and worthy of the protection, the Town Commission shall consider, but not be limited to, the following standards:~~

- ~~a. The significance of the site as a landmark;~~
- ~~b. The role of the site in the Town's history or archaeological past.~~

~~The Town shall encourage that these sites be maintained in their historic and/or archaeologically significant state, and not be significantly altered, threatened, or removed.~~

# Wastewater, Solid Waste, Drainage, Potable Water and Natural Groundwater Aquifer Recharge Element

## Data and Analysis Update

### Infrastructure Level of Service Analysis

**Table 4 presents projections of the Town’s principal infrastructure service demands for the 20-year planning period.**

**Table 4 - Infrastructure Needs Projections**

<b>LOS/Year</b>	<b>2020</b>	<b>2025</b>	<b>2030</b>	<b>2035</b>	<b>2045</b>
<b>Population Projection</b>	<u>1,830</u>	<u>1,899</u>	<u>1,932</u>	<u>1,964</u>	<u>1,978</u>
<b>Average Finished Potable Water 131 gallons per capita per day</b>	<u>239,730 gal/day</u>	<u>248,769 gal/day</u>	<u>253,092 gal/day</u>	<u>257,284 gal/day</u>	<u>259,118 gal/day</u>
<b>Sanitary Sewer, 115 per gallons per capita per day(1)</b>	<u>210,450 gal/day</u>	<u>218,385 gal/day</u>	<u>222,180 gal/day</u>	<u>225,860 gal/day</u>	<u>227,470 gal/day</u>
<b>Solid Waste, 9.54 pounds per capita per day</b>	<u>17,092 lbs/day</u>	<u>18,116 lbs/day</u>	<u>18,431 lbs/day</u>	<u>18,737 lbs/day</u>	<u>18,870 lbs/day</u>
<b>Drainage, 24 hour, 3 year storm event and rainfall of one inch in one hour</b>	<b><u>Requirement placed on all development and redevelopment in the Town.</u></b>				

(1) Sanitary Sewer service in the Town is provided through private septic systems and package plants. The LOS analysis applies to all systems.

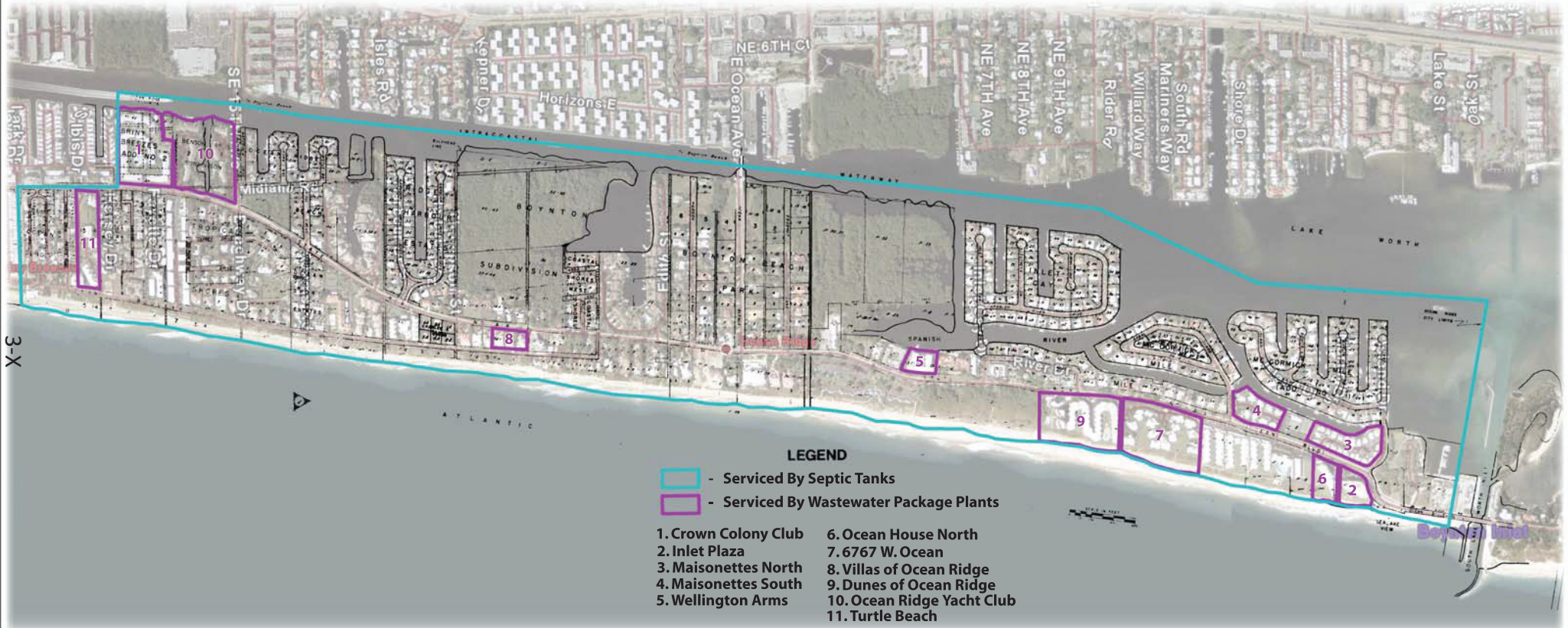
### **Sanitary Sewer Analysis**

The Town is not currently serviced by a central wastewater treatment facility. However, approximately ~~Approximately~~ ~~40%~~ ~~49%~~ of the Town’s dwelling units, within 11 multifamily projects, illustrated on Map 3, receive ~~its~~ wastewater treatment services from individual package plants while the remainder utilize septic tanks. ~~These package plants serve 11 multifamily projects within the Town. These~~ The package plants are ~~monitored~~ ~~regulated~~ by the Palm Beach County Health Department for consistency with all applicable state and local regulations. ~~With the~~ Based upon existing Future Land Use designations and the analysis regarding the existing vacant land within the Town, it is estimated that the Town will be able to build out with the potential for 26 multifamily homes in a single community and 58 15 single family homes. ~~It is~~

MAP 3 Package Treatment Plant Service Areas

Town of  
**Ocean Ridge**  
 Florida

Map 3 - Private Package Wastewater  
 Plant Service Areas



~~assumed that the future multifamily project would use a package plant for wastewater treatment and the~~ The single family homes would use septic systems, much like the similar to existing homes in the Town. ~~The acceptable~~ Acceptable soil conditions within the Town allow for septic systems to be provided.

The septic systems and small private sewer systems in place are able to ~~handle the~~ provide adequate wastewater ~~adequately~~ service at this time. Since the remaining developable land is minimal and ~~consists primarily of~~ primarily single family lots, septic systems would handle any new development as well. Developers are responsible for the cost of wastewater improvements necessary for their project.

The Town and County Health Department will continue to evaluate the current conditions of the existing sanitary sewer facilities and explore ways to improve the existing services through technological advancements or upgrades to the existing system.

### **Potable Water Water Supply Facilities Work Plan Update**

Per the Florida Department of Economic Opportunity Division of Community Development Bureau of Community Planning document entitled: "A Guide to the Preparation of the Water Supply Facilities Work Plan", local governments with no water supply responsibility need only compile the following data and analysis:

"Population and Water Demand Projections for at least a 10-year period, and a discussion of reuse and conservation methods to reduce demand during the projection period".

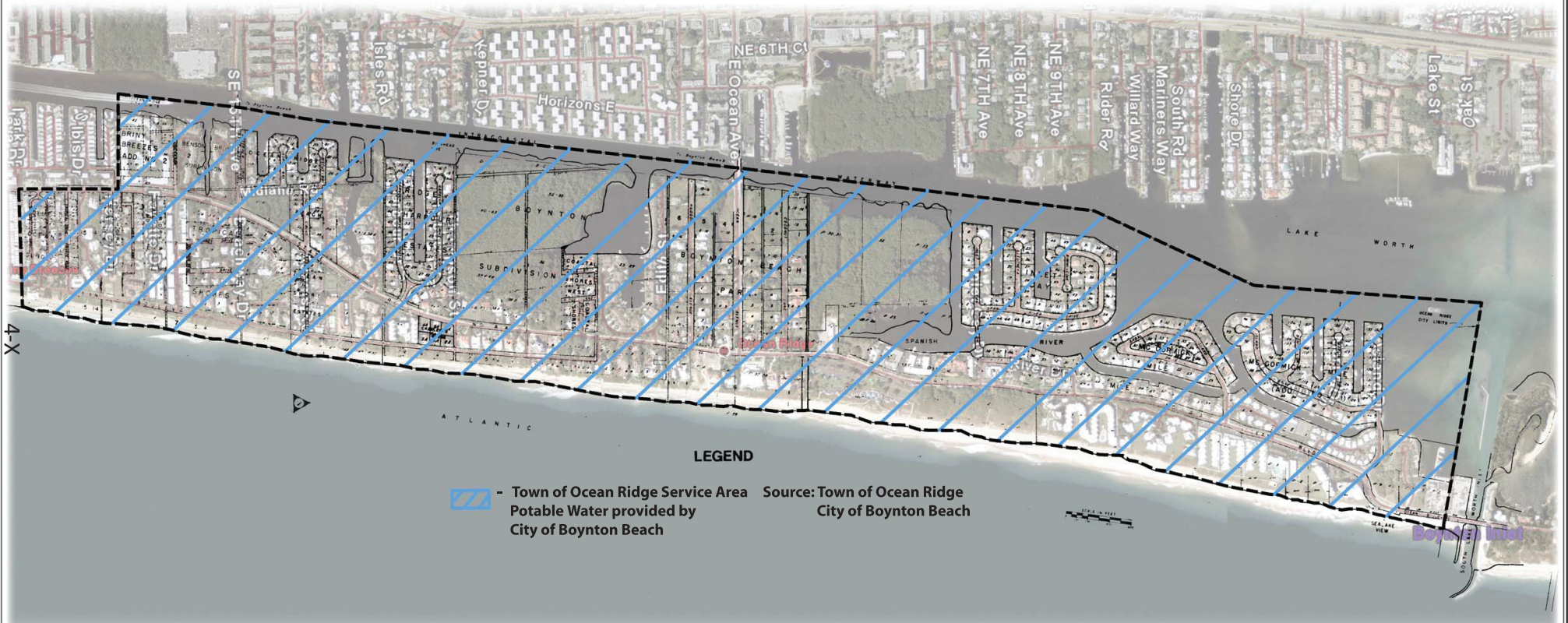
The Town is a part of the City of Boynton Beach potable water service area. The Town ~~of Ocean Ridge~~ purchases water from the City of Boynton Beach but owns and maintains the water lines and finances improvements to these water lines. The Town Potable Water Service Area is illustrated on Map 4. The City of Boynton Beach bills individual residents based on their water consumption. The agreement with Boynton Beach ~~(an attachment to the Town's Water Supply Plan,~~ was signed in 1990 ~~and has~~ for a 30 year timeframe. ~~At that time, the~~ The agreement ~~would~~ will continue until it is terminated by either party or extended through an amended agreement. The Town will continue to work closely with the City ~~with regards to~~ for the provision of potable water to the Town's residents.

According to the City of Boynton Beach's ~~Evaluation and Appraisal Report,~~ current 10-Year Water Supply Facilities Work Plan Update Report (August 2020) the City's Utilities Department ~~provides~~ is projected to provide potable water services for ~~an estimated 100,000~~ 121,542 people in 2025 within Boynton Beach, Ocean Ridge, the Town of Briny Breezes, and portions of the unincorporated areas of Palm Beach County. Using population data prepared by the Palm Beach County Planning Division, and the Boynton Beach finished water demand rate of 131 gallons of potable water per day the Town is projected to use 257,284 gallons per day in 2035 and 259,118 gallons per day in 2045.

**MAP 4 – Potable Water Service Area**

Town of  
**Ocean Ridge**  
Florida

Map 4 - Potable Water Service  
Area



**LEGEND**

 - Town of Ocean Ridge Service Area  
Potable Water provided by  
City of Boynton Beach

Source: Town of Ocean Ridge  
City of Boynton Beach



The City of Boynton Beach operates two water treatment facilities: the West Water Plant and the East Water Plant. In addition, the City has an interlocal agreement with Palm Beach County Water Utilities for the purchase up to 5 MGD of potable water if ever needed. It is estimated now that the Town's potable water demand is 0.33 MGD based upon the City of Boynton Beach's potable water level of service of 200 gallons per day per capita.

Policy 1.2.3. of the Town's Comprehensive Plan states, "In cooperation with Boynton Beach, the Town's water distribution system shall provide 189 gallons per person per day." The Town's level of service should be revised to reflect the level of service used by the water provider, the City of Boynton Beach. The Town will continue to assess its potable water system and investigate new technologies which will result in a lower rate of consumption.

Policy 1.2.3. of the Town's Comprehensive Plan shall be amended to read: "In cooperation with Boynton Beach, the Town's water distribution system shall provide Town population an average of 131 gallons of finished water per person per day. Prior to the issuance of a building permit, the Town shall confirm with the City of Boynton Beach that adequate water supplies to serve the new development will be available no later than the anticipated date of issuance of the certificate of occupancy".

### **Solid Waste Analysis**

The Solid Waste Authority (SWA) of Palm Beach County accepts all waste generated in the County. All SWA facilities are located outside of the Town and operated by SWA. According to Palm Beach County's EAR (approved October 19, 2004), the County, including and thereby the Town of Ocean Ridge, meets the requirements of CH. 403 F.S. through the Integrated Solid Waste Management Plan (ISWMP).

The Town contracts with Waste Management Inc. to provide pick-up and disposal of all solid waste. All Town residents are required to use this service. All waste collected is transported to the South County Transfer Station located in the City of Delray Beach.

The Town's long range planning for this sub-element is addressed within the County's adoption of the ISWMP. The Town will have adequate solid waste collection capacity for new development. The service is funded on a cost recovery basis by the users. Regional solid waste disposal and recovery facilities serve the Town. There are no capital improvement projects that would incur the expenditure of Town funds projected for either the 5 or 10 year planning periods.

### **Drainage Analysis**

The drainage system for the Town has developed during the past 80 years and continues to be an area for continued maintenance and improvement. The Town adopted a Level of Service Standard of 24 hour/3-year return storm water event and has adopted a storm water retention level of service standard for new development and major redevelopment which requires the retainment of the first one inch of runoff on the development site per hour.

The existing drainage facilities within the Town are swales and exfiltration trench design. The Town has undergone and continues to make significant improvements to its stormwater facilities. For example, the Town recently completed a 2.59 acre drainage/retention facility at the northwest corner of Woolbright Road and Ocean Boulevard. Additional improvements have been provided within the southern portion of the Town and along Coconut Lane. Stormwater/Drainage Infrastructure maintenance and capital projects are included in the Town's annual budget.

**Infrastructure Level of Service Analysis**

<b>LOS/Year</b>	<b>2009</b>	<b>2014</b>	<b>2019</b>	<b>2024</b>	<b>2029</b>
<b>Population Projection</b>	1,681	1,705	1,724	1,739	1,747
<b>Potable Water, 200 gallons per capita per day, 175 gallons per capita per day after 2013</b>	336,200 gal/day	298,375 gal/day	301,700 gal/day	304,325 gal/day	305,725 gal/day
<b>Sanitary Sewer, 115 per gallons per capita per day*</b>	193,315 gal/day	196,075 gal/day	198,260 gal/day	199,985 gal/day	200,905 gal/day
<b>Solid Waste, 9.54 pounds per capita per day</b>	16,036 lbs/day	16,265 lbs/day	16,446 lbs/day	16,590 lbs/day	16,666 lbs/day
<b>Drainage, 24 hour, 3 year storm event and rainfall of one inch in one hour</b>	<b>Requirement placed on all development and redevelopment in the Town.</b>				

## Wastewater, Solid Waste, Drainage, Potable Water and Natural Groundwater Aquifer Recharge Element

### GOALS, OBJECTIVES, & POLICIES

**GOAL: TO PROVIDE AND MAINTAIN THE PUBLIC INFRASTRUCTURE IN A MANNER THAT WILL ENSURE PUBLIC HEALTH, SAFETY, AND QUALITY OF LIFE.**

**Objective 1.1: Monitor and continue to upgrade the Town’s existing potable water system through a program of facility replacement.**

Policy 1.1.1: Continue the program of monitoring and assessing the Town’s water lines in order identify areas for functional upgrades **and reduce consumption rates.**

**Objective 1.2: The city shall provide an adequate level of service during the planning period including new facilities (as needed) concurrent with new development.;** **see policies for measurability.**

Policy 1.2.1: Drainage: Drainage facilities for new development and redevelopment shall accommodate a 24 hour, 3 year storm event and rainfall of one inch in one hour.

Policy 1.2.2: Sewage: Septic systems shall be the level of service except in case of package treatment plants where the level of service shall be at least 115 gallons per person per day.

Policy 1.2.3: Potable Water. In cooperation with Boynton Beach, the Town’s water distribution system shall provide **the Town’s population an average of 131 gallons of finished water per person per day. 200 gallons per person per day and shall be reduced to a Level of Service standard of 175 gallons per person per day by 2013.** Prior to the issuance of a building permit, the Town shall confirm with the City of Boynton Beach that adequate water supplies to serve the new development will be available no later than the anticipated date of issuance of the certificate of occupancy.

Policy 1.2.4: Solid Waste: Provide collection capacity of 9.54 pounds of solid waste per person per day, consistent with Solid Waste Authority waste generation rate estimates.

Policy 1.2.5: Coordinate activities with the Solid Waste Authority to maximize recycling efforts and provide public information to the Town’s residents regarding the disposal of hazardous household waste.

**Objective 1.3: The Town shall encourage water conservation through the installation of water-saving plumbing fixtures on new development and redevelopment.**

Policy 1.3.1: By 2013, The Town shall investigate, evaluate and adopt any necessary building code plumbing provisions to achieve water conservation practices.

Policy 1.3.2: In its capital budgets, the Town shall evaluate and implement, when feasible, water conserving techniques within its facilities. These techniques may include drought-tolerant landscaping, rain sensors on irrigation systems and low-use plumbing devices.

Policy 1.3.3: In compliance with Chapter 163, Part II, F.S., the Town shall adopt continue to participate in the preparation of the Water Supply Facilities Work Plan (attached) by the City of Boynton Beach.

Policy 1.3.4: The Town's Water Supply Facilities Work Plan shall be updated within 18 months after South Florida Water Management Districts updates its Lower East Coast Regional Water Supply Plan.

Policy 1.3.5: The Town shall annually advise potable water users, during the dry season, to reduce usage for landscaping irrigation and to properly time irrigation activities.

Policy 1.3.6: The Town shall enforce all water use restrictions consistent with water shortage or water shortage emergency declarations in accordance with a South Florida Water Management Shortage Plan.

**Objective 1.4: Protect the adjacent natural drainage feature (Intracoastal Waterway) and groundwater recharge by reviewing the development code provisions and revising as necessary.**

Policy 1.4.1: Through land development code techniques, 1) protect the natural drainage feature (Intracoastal Waterway) by supplementing the Corps of Engineers controls with setback and vegetation retention provisions and 2) assure adequate pervious or recharge areas in conjunction with new development.

**Objective 1.5: The Town shall continue to assess the status of the sanitary sewer system and its infrastructure.**

Policy 1.5.1: The Town shall consider innovations in technology, including hoot systems, when developing maintenance programs for the sanitary sewer system.

## Coastal Management Element

### GOALS, OBJECTIVES, & POLICIES

#### GOAL 1: TO CONSERVE, MANAGE AND SENSITIVELY USE THE ENVIRONMENTAL ASSETS OF OCEAN RIDGE'S COASTAL ZONE LOCATION.

**Objective 1.1: Retain most of the mangroves, and all of the hardwood hammock and beach dunes resulting in no net loss of public open space vegetative cover and an enhancement of marine resources.**

Policy 1.1.1: Continue to review development applications to assure adequate on-site drainage retention and vegetative cover preservation (particularly mangroves).

Policy 1.1.2: Coordinate with Palm Beach County officials to protect the coastal hardwood hammock from park or other facility intrusion.

Policy 1.1.3: Preserve the publicly owned mangrove and hammock areas in a manner that enhances their wildlife habitat and marine nursery functions.

Policy 1.1.4: Monitor and preserve the beach dune vegetation in Ocean Ridge by plantings as necessary. The Town will require the public and private sector landscaping firms to be knowledgeable regarding the property maintenance for dune vegetation.

Policy 1.1.5: The town will continue to encourage boat users to reduce speeds in the Town's waterways to protect manatees and reduce erosion and related impacts to canal banks and seawalls from excessive wake.

**Objective 1.2: Maintain the current estuarine protection policies by permitting no new private direct drainage outfalls into the Intracoastal Waterway. Improve the water quality by outfall elimination and possible public sewer line extension.**

Policy 1.2.1: Since the entire Intracoastal Waterway frontage is either residentially developed or under a public natural resource protection policy, continue to enforce development code provisions that protect vegetation, control run-off and marina sewage practices.

Policy 1.2.2: Cooperate with County and State agencies in their efforts to address the water quality of the Intracoastal Waterway by monitoring the private development permit requirements of their agencies.

Policy 1.2.3: The Town shall continue its investigation into the necessity and feasibility of a public sewer line.

**Objective 1.3: Continue the current pattern of shoreline uses, all of which are water-related, or dependent or otherwise which utilize their waterfront location.**

Policy 1.3.1: Maintain the zoning and conservation policies whereby all shoreline use is in mangroves (or other environmentally important vegetation), beach, park or residential with boat dock capability

Policy 1.3.2: Use the mechanisms outlined in the Intergovernmental Element to coordinate Intracoastal estuary policies with the City of Boynton Beach, Palm Beach County and the Town of Manalapan.

**Objective 1.4: Achieve more adequate renourishment of beaches to the south of the South Lake Worth Inlet through coordination with the applicable agencies; otherwise continue to protect the beach and dune system by development code setback requirements.**

Policy 1.4.1: Continue to urge County, State and Inlet District officials to implement the Corps of Engineers plan for increased sand pumping capability at the sand transfer pumping station.

Policy 1.4.2: Continue to use land use controls to prevent construction that impacts the dune and its vegetation system. Development applications for oceanfront properties shall provide a vegetative analysis, during the land development review process, of the existing dune and its vegetation.

Policy 1.4.3: The Town shall coordinate with local and state agencies to continue beach restoration and renourishment activities within the Town.

Policy 1.4.4: The Town shall coordinate with Palm Beach County to examine the possible impacts of shore protection structures, such as groins, revetments or seawalls on the Town's beaches.

**Objective 1.5: Preserve both resident and general public access to the beach.**

Policy 1.5.1: Coordinate with the City of Boynton Beach and the County to maintain general public parking and access via the two parks.

Policy 1.5.2: Maintain access points at the end of the street rights-of-way for local pedestrian and bicycle access.

Policy 1.5.3: The Town shall seek additional beach access for Town residents during the development review process for the redevelopment of multifamily projects.

**GOAL 2: TO MINIMIZE HURRICANE HAZARDS DAMAGES TO HUMANS LIFE AND PROPERTY FROM THE IMPACT OF CLIMATE CHANGE, INCLUDING SEA LEVEL RISE, CHANGES IN RAINFALL PATTERNS, AND EXTREME WEATHER EVENTS.**

**Objective 2.1: Continue the current Town policy of avoiding an increase in infrastructure capacity unless public safety so requires in order to direct future population concentrations away from "vulnerability" and in particular, the coastal "high hazard" areas, illustrated on Map 5, and east of the Coastal Construction Control Line, illustrated on Map 6, and thus maintain hurricane evacuation times.**

Policy 2.1.1: The Town shall not program any infrastructure capacity increase that would induce and subsidize development or increases in residential density. This shall not preclude the Town from 1) upgrading its waterlines, 2) installing sanitary sewers if deemed necessary for sanitary/environmental reasons and 3) replacing direct storm sewer outfalls with filtration structures.

Policy 2.1.2: Maintain the current basic density controls so that the Town will experience only minor new residential development and thereby not jeopardize hurricane evacuation times.

Policy 2.1.3: The Town shall maintain its building code, flood plain controls and coastal setback regulations to assure maximum protection of new development from hurricane damage. This shall be done in coordination with similar efforts by the County and the County Comprehensive Emergency Management Plan.

Policy 2.1.4: The Town shall work with the multifamily complex managers and all residents to identify those elderly or infirm individuals that may need special assistance early in the hurricane evacuation process in order to facilitate evacuation time.

Policy 2.1.5: The coastal high-hazard area is the area below the elevation of the category 1 storm surge line as established by a Sea, Lake, and Overland Surges from Hurricane (SLOSH) computerized storm surge model. Under the latest storm surge model, much of the Town is located in a coastal high-hazard area.

Policy 2.1.6: Continue to examine community-wide strategies to increase the resiliency of the Town to address future effects of coastal storms and climate change on the community.

Policy 2.1.7: ~~By the year 2022, the Town shall initiate a study or participate~~ Participate with local and regional governments in a regional governmental study studies which will assist in evaluating to evaluate the Town's vulnerabilities to the effects of sea level rise. The study shall studies should assist the Town in examining examine the following:

- a. Areas of the Town which experience periodic flooding;
- b. Identification of natural areas impacted by sea level change;
- c. Identification of infrastructure impacted by sea level change, including drainage systems within the Town.
- d. Evaluate the option to establish Adaptation Action Area(s) pursuant to Chapter 163.3164, Florida Statutes;
- e. Identify policies and land development regulations to be modified to address sea level change;
- f. Identify funding sources for infrastructure to address the impacts of sea level change;
- g. Identify seawall locations, lengths and heights; and
- h. Identify the Coastal Construction Control line and the structures impacted.

**Objective 2.2: The Town shall continue to coordinate with the Palm Beach County Comprehensive Emergency Management Plan to achieve a post-disaster redevelopment plan, adjacent local governments, Palm Beach County, Treasure Coast Regional Planning Council, the State of Florida and the Federal Emergency Management Agency in preparing post-disaster redevelopment plans to reduce or eliminate the exposure of human life and public and private property to natural hazards.**

Policy 2.2.1: ~~The Town shall maintain a post-disaster redevelopment plan in concert with the Countywide Post-Disaster Redevelopment Plan.~~ Actively participate with Palm Beach County in the scheduled updates of the Local Mitigation Strategy, Community Emergency Management Plan, and Post Disaster Redevelopment Program. Incorporate appropriate recommendations from the updates within the Comprehensive Plan or other Town programs, as necessary.

Policy 2.2.2: The Town shall collaborate with Palm Beach County to increase regional resilience by sharing technical expertise, assessing local vulnerabilities, advancing agreed upon mitigation and

adaptation strategies, and developing joint state and federal legislation policies and programs.

Policy 2.2.3: Participate with the Treasure Coast Regional Planning Council and the Palm Beach County Public Safety Department and Division of Emergency Management to maintain an updated plan for emergency evacuation related to potential hurricane impact.

Policy 2.2.4: In the event of a disaster, provide for repair, relocation, or structural modification of damaged infrastructure and services, consistent with federal funding requirements. Priority shall be given to immediate clean-up actions, and the maintenance of critical municipal services.

Policy 2.2.5: Maintain and update a Flood Hazard and Property Protection Information page on the Town's website to keep residents and property owners informed regarding flood hazards, flood insurance, flood safety, property protection, and drainage system maintenance issues.

**Objective 2.3: The Town shall adopt and implement policies that increase community resiliency and protect property, infrastructure, and cultural and natural resources from the impacts of climate change, including sea level rise, changes in rainfall patterns, and extreme weather events.**

Policy 2.3.1: The Town will require that the impact of sea level rise be addressed in all applications for Future Land Use Map amendments, rezonings and publicly funded construction projects. The

~~Policy 2.3.2: By the year 2022, the Town shall conduct a study or participate in a regional governmental study regarding the stormwater drainage systems within Town. Such study will identify areas of improvement where the system can be more efficient. The study should identify possible enhancements such as capital improvements, drainage system upgrades, development code modifications and possible adjustments to the finished floor elevations and the Town's master drainage plan.~~

Policy 2.3.32: The Town shall continue to utilize best practices and initiate mitigation strategies to reduce the risk of flooding in coastal areas that may result from high tide events, storm surge, flash floods, stormwater runoff, and the related impacts of sea level rise.

Policy 2.3.43: The Town will continue to participate in the National Flood Insurance Program Community Rating System (CRS) and strive to maintain or improve its current CRS rating

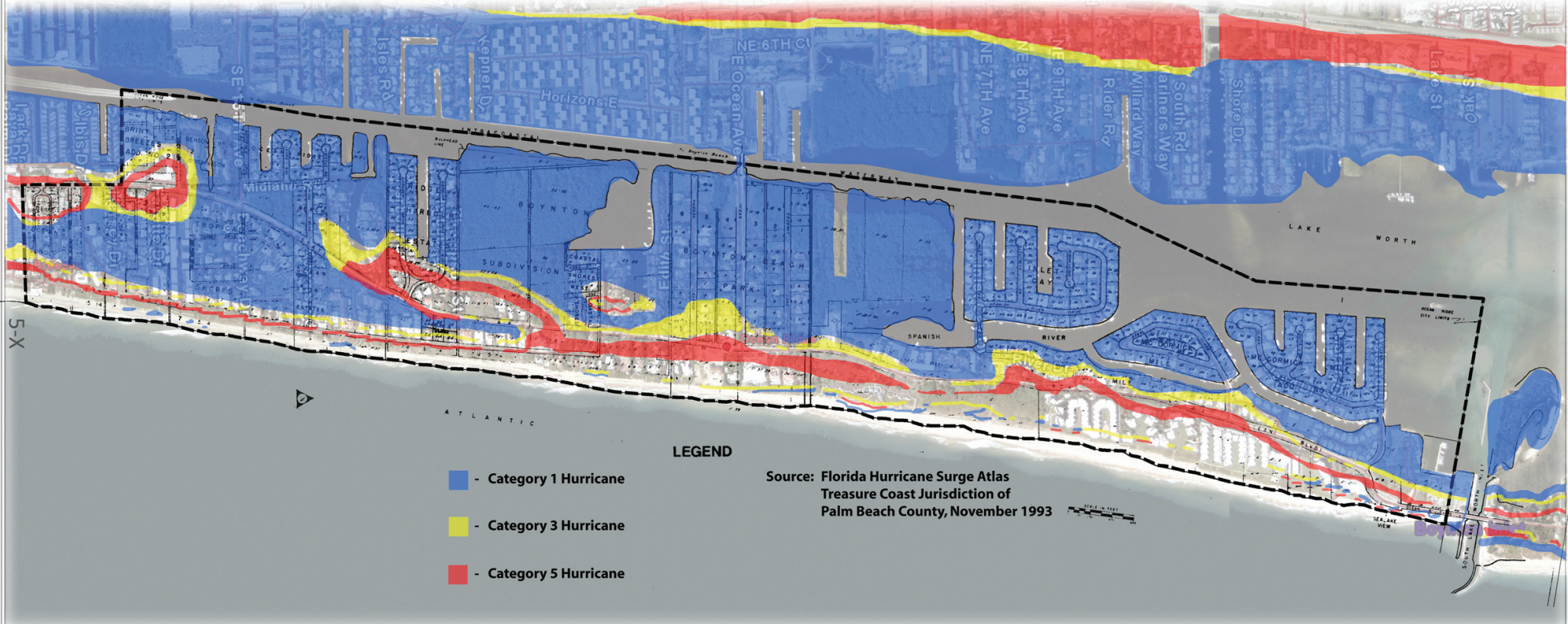
Policy 2.3.54: The Town shall regulate development and redevelopment efforts in the Town to maximize aesthetic, environmental, recreational and economic resources while enhancing resilience to sea level rise impacts.

“Policy 2.3.65: The Town will continue to enforce its building code, Town Code of Ordinances, and drainage requirements. The Town's drainage requirements shall be consistent with, or more stringent than, the flood-resistance construction requirements in the Florida Building Code and applicable federal flood plain management regulations. The Town will coordinate with, and will rely on, the Florida Department of Environmental Protection to enforce building requirements seaward of the Coastal Construction Control Line consistent with applicable Florida Statutes.”

**Map 5 – Coastal High Hazard Areas**

Town of  
**Ocean Ridge**  
Florida

Map 5 - Coastal High Hazard  
Areas



**Map 6 – Coastal Construction Control Line**

# Map 6 - Coastal Construction Control Lines



**TOWN OF OCEAN RIDGE**  
**SEPTEMBER 2024**  
 PALM BEACH COUNTY, FLORIDA

- Legend**
- Coastal Construction Control Line of 1979  
Plat Book 36 Pgs. 91-107
  - Coastal Construction Control Line of 1997  
Plat Book 80 Pgs. 137-155
  - - - Municipal Boundary
  - Beach Cross Overs

**NOTES:**

Property lines provided from the Palm Beach County Property Appraiser's (PAPA) Office at the time that this map was created/updated.

All linework and locations shown are an approximation for illustrative purposes only and shall not be construed as a legal document.

## Conservation Element

### GOALS, OBJECTIVES, & POLICIES

#### **GOAL 1: TO PRESERVE AND ENHANCE THE SIGNIFICANT NATURAL FEATURES IN OCEAN RIDGE.**

##### **Objective 1.1: Maintain the “good” air quality rating 97 percent of the time, based on County Pollution Standards Index.**

Policy 1.1.1: Continue to require landscaping as a part of new private development, adding single family residential to the code requirements, and to landscape public areas.

Policy 1.1.2: The Town shall continue to seek and develop opportunities to implement sustainability practices regarding, but not limited to, water conservation and reuse, recycling, waste and energy reduction, reuse of resources, reduction of greenhouse gas emissions, greater operational efficiency, pollution prevention and environmental improvements.

##### **Objective 1.2: Review and revise as needed, the development code to assure drainage practices and programs that minimize ground and surface water pollution.**

Policy 1.2.1: Continue to review development plans in order to require on-site detention of stormwater runoff, particularly near the Intracoastal Waterway.

Policy 1.2.2: Review the existing emergency water conservation program based upon the South Florida Water Management District model.

Policy 1.2.3: Review and revise as needed, the flood plain provisions.

Policy 1.2.4: Supplement the code provisions with an in-depth look at both sanitary sewer installation and storm sewer direct outfall elimination.

Policy 1.2.5: The Town shall require all new automatic irrigation systems to be equipped with a water sensing device which will automatically discontinue irrigation during periods of rainfall.

##### **Objective 1.3: Continue to protect existing vegetative and wildlife communities, experiencing no net loss in public open space vegetation.**

Policy 1.3.1: Continue to review all development applications in the context of the pervious cover and landscaping provisions of the development code; be particularly diligent in a) the review of any development in the vicinity of mangrove areas where some selective clearance is considered appropriate (with mitigation) but in general, is to be avoided and b) the removal of exotic vegetation.

Policy 1.3.2: Coordinate with County officials to 1) assure that any public open space improvements are sensitive to the hardwood hammock and other vegetative/wildlife/marine habitats, and 2) through the Town police, inform County marine patrols of boat speed violations that may threaten manatees.

Policy 1.3.3: Preserve the hardwood hammock, mangroves and dune vegetation now under public (Town and County) regulation in order to help preserve many of the threatened and endangered species.

**Objective 1.4.: The Town shall adopt land development regulations to protect environmentally-sensitive areas from the adverse impacts of development.**

Policy 1.4.1.: At a minimum, environmentally-sensitive areas shall contain one or more of the following natural resources:

- a. Rare, threatened and endangered wildlife and vegetation; A complete list is defined by the U.S. Fish and Wildlife Service, Florida Fish and Wildlife Conservation Commission, Palm Beach County Environmental Resources Management (ERM), Treasure Coast Regional Planning Council, Florida Endangered Plant Advisory Council, and the Florida Department of Environmental Protection (DEP);
- b. Wetlands, including coastal wetlands, and deepwater habitats;
- c. Tropical hammocks;
- d. Areas of archaeological or historic significance.

Policy 1.4.2.: Any proposed development in an environmentally sensitive area, as defined herein, shall include an environmental assessment report as part of the development review process. The environmental assessment report shall include, at a minimum, the following:

- a. An inventory of existing vegetation and wildlife based on a field survey;
- b. An identification of wildlife or vegetation listed as endangered, threatened or species of special concern and whether or not the environmentally sensitive area potentially will attract and support off-site species and wildlife use;
- c. An assessment of the land identifying the location of all environmentally sensitive habitat or vegetation;
- d. An analysis of the functional viability and quality of the various habitats;
- e. A discussion of the impacts, both positive and adverse, on the resources;
- f. A mitigation plan that describes actions to be taken to replace those functions and values of the ecological community(s) lost as a result of land development; and
- g. A maintenance and management plan for all environmentally sensitive areas proposed for land development.

Policy 1.4.3.: The Town shall require the review of all proposed wetlands development with the Florida Department of Environmental Protection (DEP), the South Florida Water Management District, Palm Beach County Environmental Resources Management

(ERM), the Treasure Coast Regional Planning Council, and the U.S. Army Corps of Engineers to ensure compliance with all applicable agency regulations and standards.

# Recreation and Open Space Element

## Data and Analysis Update

The Town has approximately ~~31.8~~ 35 acres of public recreation and passive open space within the community. The vast majority of ~~this the~~ public lands are owned by other governmental entities, specifically Palm Beach County and the City of Boynton Beach. The locations of public recreation facilities and passive open space areas located within the Town are illustrated on Map 7.

Palm Beach County owns ~~19.93~~ 16.65 acres of active recreation facilities within the Town ~~for its~~ including Ocean Inlet Park and ~~its ocean front~~ Ocean Ridge Hammock Park. The 11.39 acre Ocean Inlet Park, including approximately 2.2 acres located in the unincorporated area, is a popular, active beach park located on both sides of the Boynton Inlet which features guarded beach frontage, a marina, rental boat slips, picnic shelters, snack bar, pavilions, a jetty and ocean overlook. ~~The park is located at the Boynton Inlet.~~ The Ocean Ridge Hammock Park, is consisting of 8.54 7.5 acres, is a resource-based, passive park, which ~~does~~ features saltwater fishing, an unguarded beach, limited parking and an outdoor shower.

The 6.37 acre Boynton Beach Oceanfront Park, located at 6415 N. Ocean Boulevard, is owned by the City of Boynton Beach and is one of the more popular beach parks in Palm Beach County. The park features guarded beaches, rental pavilions, playground, boardwalk and sand volleyball courts. The City also charges for admission into Oceanfront Park.

The sole Town owned recreation facility is John F. Kennedy Park, which is a 0.8 0.27 acre ~~natural area~~ passive park fronting Inlet Cay Drive and facing the Intracoastal Waterway, Spanish River. The Town does feature 10 public beach access points. These 10 points are through the three oceanfront parks listed above and seven points located at the end of public streets, including Sailfish Lane, Beachway Drive, Porter Street, Thompson Street, Corrine Street, Anna Street and Edith Street.

In June 2001, a lease agreement with the Town of Ocean Ridge was approved for Palm Beach County to restore mangrove wetlands, create recreational amenities, and provide for the long term management of 12.35 acres owned by the Town along the Intracoastal Waterway. This parcel, the Ocean Ridge Natural Area, is connected to a 12.5 acre mangrove mitigation project. Both parcels comprise a 25-acre nature preserve located just south of the Ocean Avenue bridge.

The Ocean Ridge Natural Area project consists of 5 acres of enhanced existing mangroves within the Town-owned 12.1 acre parcel creating 4.5 acres of mangroves, open water habitat, and maritime hammock uplands; and building public access facilities. The site has a concrete access path from Ocean Blvd (A1A) to a boardwalk through existing mangrove wetlands to the created upland hammock area where a concrete nature trail leads to a two story observation tower, a kiosk, and a boat docking facility.

**Map 7 – Town Serving Recreation Facilities**

## Map 7 - Town Serving Recreation and Conservation Parcels



**TOWN OF OCEAN RIDGE**  
**SEPTEMBER 2024**  
 PALM BEACH COUNTY, FLORIDA

**Legend**

- Bridges
- Municipal Boundary
- Beach Cross Overs

**NOTES:**

Property lines provided from the Palm Beach County Property Appraiser's (PAPA) Office at the time that this map was created/updated.

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- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1 - Ocean Inlet Park</li> <li>2 - Ocean Ridge Hammock</li> <li>3 - Boynton Beach Ocean Front Park</li> </ul> | <ul style="list-style-type: none"> <li>4 - North Ocean Ridge Mangrove Natural Area</li> <li>5 - Ocean Ridge Natural Area</li> <li>6 - Dorothy Whitney Park</li> <li>7 - Inlet Cay Drive</li> </ul> |
|---|--|

The adopted Level of Service for Recreation and Open Space within the Town is 1 acre per 5,000 residents.

**Table 5 – Recreation Level of Service Analysis**

LOS/Year	<del>2016-2020</del>	<del>2020-2025</del>	<del>2025-2030</del>	<del>2030-2035</del>	<del>2035-2045</del>
Population Projection	<del>1,780-1,830</del>	<del>1,808-1,899</del>	<del>1,837-1,932</del>	<del>1,851-1,964</del>	<del>1,845-1,978</del>
Recreation and Open Space. 1 acre per 5,000 residents.	<del>0.35 acres</del>	<del>0.36 acres</del>	<del>0.37 acres</del>	<del>0.37 acres</del>	<del>0.37 acres</del>
	0.366 acres	0.380 acres	0.386 acres	0.393 acres	0.396 acres

The existing recreation facilities found in the Town meet the demands of current residents and services residents from neighboring communities. There are no capital improvement projects that would incur the expenditure of Town funds projected for either the 5 or 10 year planning periods.

## Recreation and Open Space Element

### GOALS, OBJECTIVES, & POLICIES

**GOAL 1: TO PROVIDE RECREATION AND OPEN SPACE FACILITIES WHICH ARE RESPONSIVE TO THE LEISURE TIME AND ECOLOGICAL DESIRES OF COMMUNITY RESIDENTS.**

**Objective 1.1: Preserve existing access to the Intracoastal Waterway (including Lake Worth) and the ocean i.e. no reduction in the 2,500 lineal feet of public access.**

Policy 1.1.1: Work with the Palm Beach County and the City of Boynton Beach to assure retention of their two park areas as a means of preserving shoreline access for the public.

Policy 1.1.2: Preserve the Town-~~serving active and passive recreation facilities illustrated on Map 7 park on the Intracoastal Waterway.~~

Policy 1.1.3: Preserve the seven public beach access points at the end of (Name Streets) the streets.

**Objective 1.2: Continue the current mix of private facilities that supplement the public inventory as evidenced by an annual inventory.**

Policy 1.2.1: The Town Commission shall monitor private recreational facilities and programs to make certain that they continue to meet a major portion of resident needs.

Policy 1.2.2.: The Town shall seek land donations from property owners and financial contributions from the private sector for the development of recreational opportunities.

**Objective 1.3: Retain the existing recreation facilities, experiencing no net loss of public areas.**

Policy 1.3.1: Retain the existing municipal and County public recreation and open space facilities thereby providing a Level of Service standard of at least 1 acre per 5,000 population.

Policy 1.3.2: The Town shall continue to work with the City of Boynton Beach and Palm Beach County to minimize adverse impacts from their regional parks on the Town. Otherwise, there are no “deficiencies.”

Policy 1.3.3.: The Town shall amend its land development regulations to require a parks and recreation dedication for all new planned developments and subdivisions. At a minimum, residential planned developments and subdivisions shall set aside 600 square feet per new dwelling unit for public parks and recreation purposes. Money in lieu of land dedication may be provided, subject to Town Commission approval, where suitable

land is not available within the planned development or subdivision for public park purposes.

**Objective 1.4: Ensure the preservation of public and private open space.**

Policy 1.4.1: The Town shall maintain its land development regulations to assure adequate private open space requirements, definitions and standards.

Policy 1.4.2: The Town shall continue to coordinate with Palm Beach County to assure preservation of the hardwood hammock in its natural state.

Policy 1.4.3: The Town shall work in tandem with the State to preserve the 75 acres of prime mangrove area.

## Intergovernmental Coordination Element

### GOALS, OBJECTIVES, & POLICIES

**GOAL 1: TO MAINTAIN OR ESTABLISH PROCESSES TO ASSURE COORDINATION WITH OTHER GOVERNMENTAL ENTITIES WHERE NECESSARY TO IMPLEMENT THIS PLAN.**

**Objective 1.1: Achieve formal coordination mechanisms with regional, municipal, County and State agencies that assure implementation of this plan.**

Policy 1.1.1: The Town, in conjunction with the Palm Beach Countywide Intergovernmental Plan Amendment Review Committee (IPARC) ~~and Coordination Program~~, shall be responsible for ensuring an effective intergovernmental coordination program.

Policy 1.1.2: The Manager shall work through the MPO Transportation Planning Agency (TPA) to achieve coordination of such planning issues as the Town's opposition to the widening of State Road A1A and the Boynton Beach Inlet Ocean Avenue bridge.

Policy 1.1.3: The Town shall use the Treasure Coast Regional Planning Council or IPARC mediation process should any conflicts arise such as street widenings.

**Objective 1.2: Coordinate the impact of the Town's comprehensive plan and development applications upon adjacent areas by maintaining direct liaison with adjacent municipal managers/planners as well as participation in the Palm Beach County-wide Intergovernmental Plan Amendment Review Committee.**

Policy 1.2.1: Town officials shall maintain liaison with the adjacent municipalities relative to any land use or major development impacts along the common boundaries (recognizing that the Town is surrounded on three sides by water); ~~the County-wide Planning Council~~ IPARC is also critical to this task.

Policy 1.2.2: The Manager or his/her designee shall review the comprehensive plans (and plan amendments) of Palm Beach County, Manalapan, Boynton Beach and Briny Breezes to assure mutual compatibility through participation in the IPARC review process, particularly in the areas of land use and roadways.

Policy 1.2.3: Coordinate with the ~~Intergovernmental Plan Amendment Review Committee~~ IPARC to provide formal written notification to adjacent municipalities and the county announcing the review of proposed Comprehensive Plan amendments.

Policy 1.2.4: The Town shall work with Boynton Beach, Manalapan, the County and the Corps. of Engineers on joint policies relative to the beach renourishment project, the mangrove hammocks and other estuarine/marine issues.

Policy 1.2.5: The Town shall provide formal written notification to adjacent municipalities and the county announcing the review of proposed Zoning Map amendments if the subject site is within one mile or within the annexation area of a municipality.

Policy 1.2.6: The Town Manager or his designee shall annually meet with a representative from the City of Boynton Beach on water supply planning issues. This discussion should address the water planning issues such as:

- a) Coordinating information on water supply needs;
- b) Water conservation methods; **and**
- c) Coordination on revising the potable water level of service standard; and
- d) Required updates of the Town's Water Supply Facilities Work Plan.**

**Objective 1.3: Assure level of service standards coordination with other governmental entities by formal agreements with the County and the City of Boynton Beach.**

Policy 1.3.1: In particular, Town officials shall work with County MPO officials to agree upon acceptable roadway level of service standards, and the County and City of Boynton Beach relative to parks, the City of Boynton Beach relative to water and the County Solid Waste Authority for solid waste.

**Policy: 1.3.2 The Town will work with the School District on population projections and school siting in accordance with Section 163.3177(6)(h)(2) of the Florida Statutes.**

**Policy 1.3.3: The Town shall abide by, and participate in, the "Interlocal Agreement between the School Board of Palm Beach County and Municipalities of Palm Beach County for Coordinated Planning", adopted by the Palm Beach County Board of County Commissioners through Resolution 2015-1864.**

# Capital Improvement Element

## Data and Analysis Update

Ocean Ridge is a beach-oriented town characterized primarily by single family **homes subdivisions** with lush, **well maintained** landscaping and extensive outdoor recreational opportunities. There are also Intracoastal and beachfront condominiums and **cooperatives a few multi-family** buildings **scattered** throughout the Town. There are **very little few** commercial improvements left in Town.

There has been little change in Ocean Ridge since the adoption of the original Comprehensive Plan. The stability of the Town is primarily due to its near built-out status, small size and water-locked location. Since the great majority of the land is built-out, the primary concern for the Town is redevelopment. The **current** permanent population estimate per the **2000 2020** Census **for the Town** was **1,636 1,830** persons. **The population is projected to increase to 1,899 residents in 2025; an increase of 69 residents during the 2020 to 2025 period.** Housing status, economic and social conditions, the provision of essential utilities and services, and the financial feasibility of accommodating the limited growth potential has incurred minimal change since the 1989 Comprehensive Plan was adopted.

The future population projections for the Town used the methodology and studies undertaken by the ~~Shimberg Center for Affordable Housing, Rinker School of Building Construction, College of Design, Construction and Planning at the University of Florida (September 2006)~~ **Palm Beach County Planning Division (2024)** The projections and level of service analysis are provided below. As indicated in the analysis, there ~~is~~ **are** minimal **projected** impacts to the Town’s levels of service. As ~~such, a result,~~ the Town’s Capital Improvement budget for the next five years ~~do~~ **does** not introduce any new capital improvements, but ~~it~~ **it** does provide for the continued maintenance of the Town’s facilities.

**Table 6 – Levels-of-Service Projections Summary**

LOS/Year	<b>2009-2020</b>	<b>2014-2025</b>	<b>2019-2030</b>	<b>2024-2035</b>	<b>2029-2045</b>
<b>Population Projection</b>	<b>1,681 1,830</b>	<b>1,705 1,899</b>	<b>1,724 1,932</b>	<b>1,739 1,964</b>	<b>1,747 1,978</b>
<b>Potable Water, 200 gallons per capita per day, 175 gallons per capita per day after 2013 Average Finished Potable Water 131 gallons per capita per day</b>	<b>336,200 239,730 gal/day</b>	<b>298,375 248,769 gal/day</b>	<b>301,700 253,092 gal/day</b>	<b>304,325 257,284 gal/day</b>	<b>305,725 259,118 gal/day</b>

<b>Sanitary Sewer, 115 per gallons per capita per day*</b>	<u>193,315</u> <u>210,450</u> gal/day	<u>196,075</u> <u>218,385</u> gal/day	<u>198,260</u> <u>222,180</u> gal/day	<u>199,985</u> <u>225,860</u> gal/day	<u>200,905</u> <u>227,470</u> gal/day
<b>Solid Waste, 9.54 pounds per capita per day</b>	<u>16,036</u> <u>17,092</u> lbs/day	<u>16,265</u> <u>18,116</u> lbs/day	<u>16,446</u> <u>18,431</u> lbs/day	<u>16,590</u> <u>18,737</u> lbs/day	<u>16,666</u> <u>18,870</u> lbs/day
<b>Drainage, 24 hour, 3 year storm event and rainfall of one inch in one hour</b>	Requirement placed on all development and redevelopment in the Town.				
<b>Recreation and Open Space. 1 acre per 5,000 residents.</b>	<u>0.33</u> <u>0.366</u> acres	<u>0.34</u> <u>0.380</u> acres	<u>0.34</u> <u>0.386</u> acres	<u>0.35</u> <u>0.393</u> acres	<u>0.35</u> <u>0.396</u> acres
<b>Transportation, Level of Service “D”</b>	State Road A1A, which bisects the Town, is a constrained roadway and is limited by the existing conditions to a maximum of two lanes. All roadways meet the adopted Level of Service of “D” and are not projected to exceed that amount during the planning timeframes.				

\* Sanitary Sewer service in the Town is provided through private septic systems and package plants. The LOS analysis applies to all systems.

## Capital Improvement Element

### GOALS, OBJECTIVES, & POLICIES

**GOAL 1: TO UNDERTAKE CAPITAL IMPROVEMENTS WHEN NECESSARY TO KEEP ITS PRESENT PUBLIC FACILITIES IN GOOD CONDITION AND TO ACCOMMODATE ANY MAJOR NEW DEVELOPMENT, WITHIN SOUND FISCAL PRACTICES.**

**Objective 1.1: Achieve compliance with public facility standards through use of the capital improvement programming and budgeting mechanisms.**

Policy 1.1.1: The operating budget shall continue to fund annual systematic replacements.

Policy 1.1.2: Staff and engineering studies shall form the basis for the annual preparation of a five year and ten year capital improvement program. The capital improvement program preparation shall be incorporated within the Town's annual budget process. Systematic renovation/replacement criteria shall be used in this process.

Policy 1.1.3: Overall priority for fiscal planning shall be those projects that enhance residential neighborhoods, upgrade infrastructure and minimize traffic volumes, as per other plan elements.

Policy 1.1.4: In setting priorities, the following kinds or criteria will be used:

1. Public safety implications: a project to address a threat to public safety will receive first priority.
2. Level of service or capacity problems: next in priority would be projects needed to maintain the stated Level of Service.
3. Ability to finance: A third criteria is the budgetary impact; will it exceed budget projections?
4. State and regional plans: the Town will devote resources to support those projects with which it agrees (e.g. sand transfer) but not those harmful to the Town (e.g. Ocean Avenue Bridge).
5. Quality of life projects: lowest priority would be those projects not in categories 1 or 2 but that would enhance the quality of life.

Policy 1.1.5: Continue to pursue a prudent policy in terms of borrowing for major capital improvements; in no case borrow more than one percent of the total assessed value in any one bond issue.

Policy 1.1.6: The Town shall create a Capital Improvements Fund (by amending the Town Charter) to facilitate capital expenditures by using this fund to carry over funds from one fiscal year to another.

Policy 1.1.7.: The Town shall undertake a comprehensive study of municipal services, including Police and Fire Protection services, to ensure that services are being provided in the most efficient, economical and desired manner.

**Objective 1.2: Use both the Future Land Use Plan and financial analysis of the kind contained herein as a basis for reviewing development applications, in order to maintain an adequate facility level of service.**

Policy 1.2.1: The potable water Level of Service Standard shall be 200 gallons per person per day and 175 gallons per person per day by 2013 in cooperation with the City of Boynton Beach.

Policy 1.2.2: The sewage disposal level of service shall be septic systems except in the case of package treatment plants where the level of service shall be at least 115 gallons per person per day.

Policy 1.2.3: The drainage Level of Service Standard shall accommodate a 24 hour, 3 year storm event and to adequately detain runoff from one inch of rain in one hour.

Policy 1.2.4: The municipal recreation and open space Level of Service Standard in the Recreation Element (1 acre per 5,000 population) shall form the basis for assessing park improvement needs keeping in mind the role of the Boynton Beach and County parks plus public access beach all within Ocean Ridge.

Policy 1.2.5: The roadway Level of Service Standards of “D” shall be used in reviewing land use and development proposals.

Policy 1.2.6: The solid waste Level of Service shall be the ability to collect 9.54 pounds of solid waste per capita per day, consistent with Solid Waste Authority waste generation rate estimates.

**Objective 1.3: Major future development projects shall pay their fair share of the public improvement needs they generate.**

Policy 1.3.1: The building permit review process shall continue to require on-site detention and drainage structures acceptable to regional environmental agencies and all applicable municipal codes.

Policy 1.3.2: The development code review shall include the consideration of impact fees for new housing construction.

**Objective 1.4:** Public facility requirements generated by new development shall be adequately funded in a timely manner, including a concurrency management system to assure compliance.

Policy 1.4.1: ~~The development code shall be amended to specify that no~~ A development permit shall not be issued unless assurance is given that the public facilities necessitated by the project (in order to meet level of service standards) will be in place concurrent with the impacts of the development.

**Objective 1.5:** Avoid any new public infrastructure construction that would induce any new development in the high hazard area.

Policy 1.5.1: Plan all water, sewer and street improvements with capacities to serve existing development intensities (including vacant lots) but not development intensity increases or new development in the FEMA flood map V8 zone (Figure 6.3) (Ref: Map 8).

**Objective 1.6:** The Town shall adopt a Capital Improvements Program covering at least 5 and 10 fiscal years and shall adopt a Capital Budget on an annual basis as part of the Town’s annual budgeting process.

Policy 1.6.1.: The Town shall include in the Five-Year and Ten-Year Schedule of Capital Improvements all publicly funded projects which are over \$50,000.00 necessary to ensure that adopted level-of-service standards are achieved and maintained. Improvements may include developer-funded for which the Town has no fiscal responsibility. For capital improvements that will be privately funded by the developer, financial feasibility shall be demonstrated by being guaranteed in an enforceable development agreement, interlocal agreement, performance bond, or other enforceable agreement.

Policy 1.6.2.: ~~The Schedule of Capital Improvements in Table 9A is hereby adopted as the Town’s Five Year Capital Improvement Plan.~~

Table 9A Town of Ocean Ridge Five Year Schedule of Capital Improvements Plan					
Improvement	2009/2010	2010/2011	2011/2012	2012/2013	2013/2014
Maintenance of Town facilities	\$100,000	\$100,000	\$100,000	\$100,000	\$100,000
Coconut Road Drainage improvements	\$500,000				

The Island Drive Bridge repair, the Inlet Cay Seawall repair and Coconut Road Drainage improvements are being funded through existing balance reserves. Funding for Maintenance activities is generated from the Town's General Operating Revenue. Funding Projected funding for capital projects are estimates. If additional Capital Improvement work is anticipated, the above Table 9A shall to be updated annually to reflect the planning, and available funding sources and amounts costs of such activities.

Policy 1.6.3.: This element and the Five-Year Schedule of Capital Improvements shall be reviewed each year during preparation of the Annual Capital Budget. The review shall include an analysis of the Town's financial condition and an updated projection of revenues which takes into account any changes in potential revenue sources that had been anticipated to fund scheduled improvements. In addition, it will incorporate any new capital improvement needs that have arisen since the last update and shall include a discussion of any change in the prioritization of the proposed improvements

Policy 1.6.4.: Prior to the adoption of the Annual Capital Budget, the Town will review all existing and potential revenue sources and take the necessary actions to balance the budget.

**Map 8 – FEMA Flood Map**



## **PROPERTY RIGHTS ELEMENT**

### **INTRODUCTION**

Under current law, local governments create and adopt local comprehensive plans to control and direct land use and development within a county or municipality. First adopted in 1975 and extensively expanded in 1985, Florida's comprehensive land planning laws were significantly revised in 2011, becoming the Community Planning Act (Act) of Chapter 163, Florida Statutes. The Act directs how local governments create and adopt their local comprehensive plans.

In 2021, the Florida Legislature passed HB 59 and Governor DeSantis signed the bill into law (Chapter 2021-195, Laws of Florida), which amended the statutory provisions in Chapter 163, Florida Statutes, related to comprehensive plans to require each local government to adopt a Property Rights Element into their comprehensive plan. Inclusion of the Property Rights Element is intended to protect private property rights and to ensure private property rights are considered in local decision-making. The new law adds Section 163.3177(6)(i), Florida Statutes (effective July 1, 2021), which requires each local government to adopt a Property Rights Element by the earlier of: (1) the adoption of its next proposed plan amendment that is initiated after July 1, 2021, or (2) the date of the next scheduled evaluation and appraisal of its comprehensive plan pursuant to Section 163.3191, Florida Statutes.

### **GOALS, OBJECTIVES, & POLICIES**

**GOAL 1: ACKNOWLEDGE THE FLORIDA CONSTITUTION AND ITS PROTECTION OF PRIVATE PROPERTY RIGHTS AND ENSURE THAT PRIVATE PROPERTY RIGHTS ARE CONSIDERED IN LOCAL DECISION MAKING.**

**Objective 1: The Town shall ensure that private property rights are considered in local decision-making.**

Policy 1.1: The following rights shall be considered in local decision making:

1. The right of a property owner to physically possess and control his or her interests in the property, including easements, leases, or mineral rights.
2. The right of a property owner to use, maintain, develop, and improve his or her property for personal use or for the use of any other person, subject to Florida Statutes and the Town of Ocean Ridge Code of Ordinances including, without limitations, the Town's Land Development Code.

3. The right of the property owner to privacy and to exclude others from their property for the protection of the owner's possessions and property.
4. The right of a property owner to dispose of his or her property through lineal transfer, sale, or gift.

Policy 1.2: All development applications, including comprehensive plan amendments, shall be made available for public review and an affected person/party shall be provided equal opportunity for participation in all associated hearings.